

March 1, 2024

PROJECT NAME: FREEDOM LIBRARY EXPANSION

PROJECT NUMBER: 2023040045

APPLICATION: MAJOR SITE PLAN #29998

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency
STATUS OF REVIEW: INFO
REMARKS: This criteria to be reviewed with resubmittal.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or kevin.vickers@marionfl.org.
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 7/27/23 - add waivers if requested in the future
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: all onsite hydrants must be painted yellow as private; info comment only -

- 8 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: INFO
REMARKS: All gaps in north buffer to be filled in, buffer must meet Type C requirements.
- 9 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.11 - Landscape installation
STATUS OF REVIEW: INFO
REMARKS: Pine straw mulch breaks down quickly, consider mini pine bark nuggets
- 10 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: Additional Landscape comments
STATUS OF REVIEW: INFO
REMARKS: All trees to remain to be properly pruned by an ISA certified arborist.
- 11 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.
STATUS OF REVIEW: INFO
REMARKS: will there be any new signage?
- 12 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 29998

DEVELOPMENT REVIEW PLAN APPLICATION

Date: April 11, 2023

A. PROJECT INFORMATION:

Project Name: Freedom Library Expansion

Parcel Number(s): 35695-025-06

Section 21 Township 16 S Range 21 E Land Use Public Zoning Classification G-U

Commercial ☐ Residential ☐ Industrial ☐ Institutional ☐ Mixed Use ☐ Other Public Library

Type of Plan: MAJOR SITE PLAN

Property Acreage 3.00 Number of Lots 1 Miles of Roads N/A

Location of Property with Crossroads 5870 SW 95th Street Ocala, FL

Additional information regarding this submittal: _____

B. CONTACT INFORMATION *(Check the appropriate box indicating the point for contact for this project. Add all emails to receive correspondence during this plan review.)*

☒ Engineer:

Firm Name: Kimley-Horn and Associates, Inc. Contact Name: Joe London, P.E.

Mailing Address: 1700 SE 17th Street, Suite 200 City: Ocala State: FL Zip Code: 34471

Phone # 352-438-3000 Alternate Phone # _____

Email(s) for contact via ePlans: ocala.permits@kimley-horn.com & thomas.trexler@kimley-horn.com

☐ Surveyor:

Firm Name: R.M. Barrineau and Associates, Inc Contact Name: Travis Barrineau, PSM

Mailing Address: 1309 SE 25th Loop, Suite 103 City: Ocala State: FL Zip Code: 34470

Phone # 352-622-3133 Alternate Phone # _____

Email(s) for contact via ePlans: travis@rmbarrineau.com

Property Owner:

Owner: Marion County Contact Name: Jared Goodspeed

Mailing Address: 501 SE 25th Ave City: Ocala State: FL Zip Code: 34471

Phone # 352-368-8300 Alternate Phone # _____

Email address: _____

Developer:

Developer: Same as Owner Contact Name: _____

Mailing Address: _____ City: _____ State: _____ Zip Code: _____

Phone # _____ Alternate Phone # _____

Email address: _____

Revised 6/2021

LAND USE DEVELOPMENT DATA

<u>PARCEL NUMBER</u>	35659-025-06
<u>PRESENT ZONING</u>	GOVERNMENTAL USE
<u>LAND USE</u>	PUBLIC
<u>PROPOSED PROJECT USE</u>	LIBRARY EXPANSION
<u>PARCEL AREA</u>	3.00 ACRES (130,695 SF)
<u>EXISTING IMPERVIOUS AREA</u>	1.10 ACRES (47,449 SF)
<u>PROPOSED ADDED IMPERVIOUS AREA</u>	1.00 ACRES (43,781 SF)
<u>TOTAL PROJECT IMPERVIOUS AREA</u>	2.10 ACRES (91,230 SF) (71%)
<u>PERCENT IMPERVIOUS AREA</u>	0.68 ACRES (27,465 SF) (21%)
<u>DESIGN/DESIGNED/DESIGN AREA</u>	0.51 ACRES
<u>FLOOR AREA RATIO</u>	0.25
<u>SPACING PROTECTION ZONE</u>	ENDS

WATER
POTABLE WATER WILL BE PROVIDED BY MARION COUNTY UTILITIES DEPARTMENT.

SEWER
SEWER WATER WILL BE PROVIDED BY MARION COUNTY UTILITIES DEPARTMENT.

GARBAGE
CITY OF WADE PICKUP WILL BE PROVIDED BY A CENTRAL WASTE HAULER.

FIRE PROTECTION
FIRE PROTECTION IN ACCORDANCE WITH ARTICLE 8, DIVISION 18 OF THE MARION COUNTY L.O.C.

FLOOD DETERMINATION
THE PROJECT IS WITHIN FEMA FLOOD ZONE "X" AN AREA OUTLINED THE 0.2% ANNUAL CHANCE FLOODPLAIN AS PER FEMA DETERMINATION MAP, COMMUNITY PANEL NO. 1030202C, EFFECTIVE APRIL 15, 2017.

ROADWAYS, DRAINAGE AND COMMON AREAS
THE PROJECT WILL PROVIDE PERMANENT MAINTENANCE FOR THE STREETS, DRAINAGE SYSTEM AND COMMON AREAS OF THE PROJECT.

ASBESTOS
TEST RESULTS ARE NEGATIVE ON THE PLANS.

TREE CALCULATIONS
SEE CALCULATIONS ARE NOTED ON THE PLANS.

BASE OF FINISH
SEARINGS AND STATE PLANE COORDINATES SPECIFIED HEREON ARE GRID, WEST FLORIDA ZONE, NAD-83. ELEVATION (HEIGHT) IS IN FEET, BASED ON THE VERTICAL DATUM OF THE STATE PLANE AND REFERENCED TO THE VERTICAL DATUM OF MARION COUNTY CIVIL CONTROL DEPARTMENT, POINT 0013.

VERTICAL DATUM
VERTICAL DATUM IS BASED ON DATA OF CIVIL ENGINEERING DEPARTMENT, POINT 0013 WITH AN ELEVATION OF 44.79, NAVD-83.

NOTES
THIS PROJECT WILL REQUIRE ADDITIONAL PERMITS FROM:

- 1. SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT

TRAFFIC STUDY
A TRAFFIC STUDY IS BEING PERFORMED AND WILL BE SUBMITTED AT A LATER DATE.

ADDITIONAL NOTES

- 1. GEOGRAPHIC AND OTHER DATA IS BASED ON A SURVEY BY R.M. BARNES/AND ASSOCIATES, INC. DATED SEPTEMBER 1, 2002. TOPOGRAPHY SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
- 2. NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.
- 3. ALL LIGHTING SHALL BE SHIELDED TO NOT CAST GLARE INTO ADJACENT PROPERTY.

UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL, A LANDSCAPE ARCHITECT AND PROSTATE AS WELL AS CERTIFICATION SHALL BE ISSUED AND SIGNED BY THE DESIGN PROFESSIONAL, AND SUBMITTED TO THE COUNTY ENGINEER FOR REVIEW AND APPROVAL. THE PROJECT WILL BE THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

THIS PROJECT HAS NOT BEEN GUARANTEED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY OTHER PARTICULARS. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A LATER DETERMINATION AND APPROVAL, AND APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONSTRUCTION REVIEW AND APPROVAL HAS BEEN DEFERRED TO A LATER DATE.

PER WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 2578, PAGE 26 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

THE WEST 361.50 FEET OF THE NORTH 401.50 FEET OF THE EAST 4889.00 FEET OF THE SOUTH 1/2 OF SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST, EXCEPT THE NORTH 40.00 FEET FOR RIGHT-OF-WAY OF S.W. 25TH STREET.

JANUARY 2024



ELECTRIC SUMTER ELECTRIC 330 SOUTH US HWY 301 SUMTERVILLE, FL 33586 LINA VARGAS (352) 569-0873	TELEPHONE CHARTER COMMUNICATIONS 602 EAST STATE ROAD 50, SUITE A CLEERMONT, FL 34711 JOHN WOLSKO (352) 717-3702	CABLE TV ZITO MEDIA 11250 SW 80 CR RD, SUITE 700 OCALA, FL 34481 BEN ARKLES (352) 496-0470
WATER & SEWER MARION COUNTY UTILITIES 11800 SE US HWY 441 BELLEVILLE, FL 34420 JOSH KRAMER MAINTENANCE MANAGER (352) 458-2838	TELEPHONE CENTURY LINK 319 SE BROADWAY ST OCALA, FL 34471 KURT JUDD (352) 401-8555	

<u>OWNER/APPLICANT</u> MARION COUNTY BOARD OF COUNTY COMMISSIONERS 601 BE 25TH AVENUE OCALA, FL 34711 (352) 438-2523	<u>CIVIL ENGINEERING CONSULTANT</u> KIRLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200 OCALA, FL 34711 (352) 438-3000
<u>SURVEYOR</u> R.M. BURRHEAD AND ASSOCIATES, INC. 1309 SE 25TH LOOP, SUITE 113 OCALA, FL 34711 (352) 622-3133	<u>GEOTECHNICAL CONSULTANT</u> GEO-TECH, INC. 1016 SE 3RD AVENUE OCALA, FL 34711 (352) 604-7111

ARCHITECT:
HARVARD JOLLY ARCHITECTURE
2714 DR. M.K. JR. STREET N.
ST. PETERSBURG, FL 33704
(727) 896-4611

RISPOLI AND ASSOCIATES ARCHITECTURE, INC.
114 SOUTH MAGNOLIA AVENUE
OCALA, FL 34471
(352) 620-0909



JARED GOODSPEED
FACILITIES MANAGEMENT DIRECTOR
MARION COUNTY BOARD OF
COUNTY COMMISSIONERS

KHA PROJECT 142990202	LICENSED PROFESSIONAL
DATE JANUARY 2024	<u>JOSEPH C. LONDON, P.E.</u>
SCALE AS SHOWN	FLORIDA LICENSE NUMBER 33694
DESIGNED BY KHA	
DRAWN BY DSC	
REVIEWED BY JCI	DATE

SHEET	TITLE
C001	- COVER SHEET
C002	- GENERAL NOTES
C003	- EXISTING CONDITIONS & DEMOLITION PLAN
C004	- SITE PLAN
C005	- PAVING GRADING AND DRAINAGE PLAN
C006	- UTILITY PLAN
C007	- CONSTRUCTION DETAILS
C008	- UTILITY DETAILS
C009	- EROSION CONTROL NOTES AND PLAN
C010	- EROSION CONTROL DETAILS

S001 - BOUNDARY & TOPOGRAPHIC SURVEY (R.M. BARRINEAU)

Name _____ Title _____ Date _____

By ignoring this document and design header, you are indicating approval with no exceptions. Any requested revisions after this date and sign off will incur an additional expense which will be based on our hourly rate for each original proposal. This fee will be required to cover the related expense of revising all affected drawings and details required to update the project.

**CALL 2 BUSINESS
DAYS BEFORE
YOU DIG
IT'S THE LAW!
DIAL 811**

811

**Know what's below,
Call before you dig**

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



100 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471
PHONE: 352-438-3000
BROADVIEW TV, MOBILE.COM RECEIVING NO SIGNAL

KHA PROJECT 142990202	LICENSED PROFESSIONAL
DATE JANUARY 2024	<u>JOSEPH C. LONDON, P.E.</u>
SCALE AS SHOWN	FLORIDA LICENSE NUMBER 33694
DESIGNED BY KHA	
DRAWN BY DSC	
CHECKED BY JCI	PAGE

COVER SHEET

**FREEDOM LIBRARY
EXPANSION
PREPARED FOR
MARION COUNTY**

SHEET NUMBER
C001

MAJOR SITE PLAN

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES' SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.

11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS AND WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF ANY IDENTIFIED CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.

15. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATERBODIES EXISTS. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS, AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
16. SOIL, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS

17. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER AND WASTE MANAGEMENT DISTRICT REPRESENTATIVES.
18. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ANY AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
19. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLY WITH AND COMPLETE THE WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

- ## EROSION CONTROL NOTES
1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

1. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FROM THE OWNER AND BE FAMILIAR WITH THE SWPPP AND THE STATE SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
2. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE NPDES PERMIT, ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, AND LOCAL REGULATIONS OR OTHER POLLUTANT DISCHARGE ELIMINATION REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
4. EROSION CONTROL PLAN MUST ALWAYS MAINTAIN ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IN OR NEAR STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
5. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
6. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA, WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA. A DESIGNATED STORAGE AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
7. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
8. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR OIL SPILLS.
9. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
10. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIALLY IMPLEMENTED AS PRACTICABLE.

13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.

14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRE TREADS MUST BE WASHED AS THEY ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DRAINAGE DITCHES AND AREAS ADJACENT TO THE DRAINAGE DITCHES FROM THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
17. ON-SITE A OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW SHALL BE PERMITTED IN ACCORDANCE WITH MINIMUM PERMANENT REQUIREMENTS.
18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUDDY VELOCITIES AND EROSION.
19. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
20. ALL BACKFILL SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF PERMANENT LIMITING MATERIALS.

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETRIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF GRASS HAS BEEN ESTABLISHED. FERTILIZER, WATERED AND RESEEDED AS NEEDED, FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. DAMAGED SILENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS REDUCE.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 5% OR CLOSURE VARIES BY 10%.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

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DIAL 811

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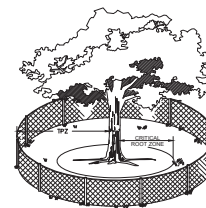
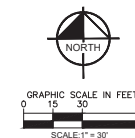
KHA PROJECT 142990202	DATE OCTOBER 2023	SCALE AS SHOWN	DESIGNED BY KHA	DRAWN BY DSC	CHECKED BY JCI	DATE
LICENSED PROFESSIONAL <u>JOSEPH C. LONDON, P.E.</u> FLORIDA LICENSE NUMBER 33694						

GENERAL NOTES

**FREEDOM LIBRARY
EXPANSION**
PREPARED FOR
MARION COUNTY

SHEET NUMBER
C002

MAJOR SITE PLAN



TREE PROTECTION NOTES

1. TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.
2. FOR LARGE GROUPS OF TREES, BARRICADES MAY BE PLACED BETWEEN THE PROTECTED TREES AND THE CONSTRUCTION ACTIVITY AREA.
3. BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE CONSTRUCTION.
4. BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND REPAIRED/REINSTALLED AS REQUIRED.
5. CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE (TPZ) OF ANY TREE IS NOT ALLOWED.
6. THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE IS NOT ALLOWED.

LEGEND



- EXISTING TREE TO BE REMOVED



- EXISTING CONCRETE/ASPHALT TO BE REMOVED



- EXISTING FEATURED TO BE REMOVED

SEE DEMO NOTES ON SHEET C002.

TREE PRESERVATION NOT

TREE PRESERVATION MEASURES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY DEMOLITION ACTIVITIES.

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PHONE: 352.458.8000

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KHA PROJECT 142990202	LICENSED PROFESSIONAL
DATE	
JANUARY 2024	JOSEPH C. LONDON, P.E.
SCALE AS SHOWN	
DESIGNED BY KHA	FLORIDA LICENSE NUMBER
DRAWN BY DSC	33694
CHECKED BY JCL	DATE:

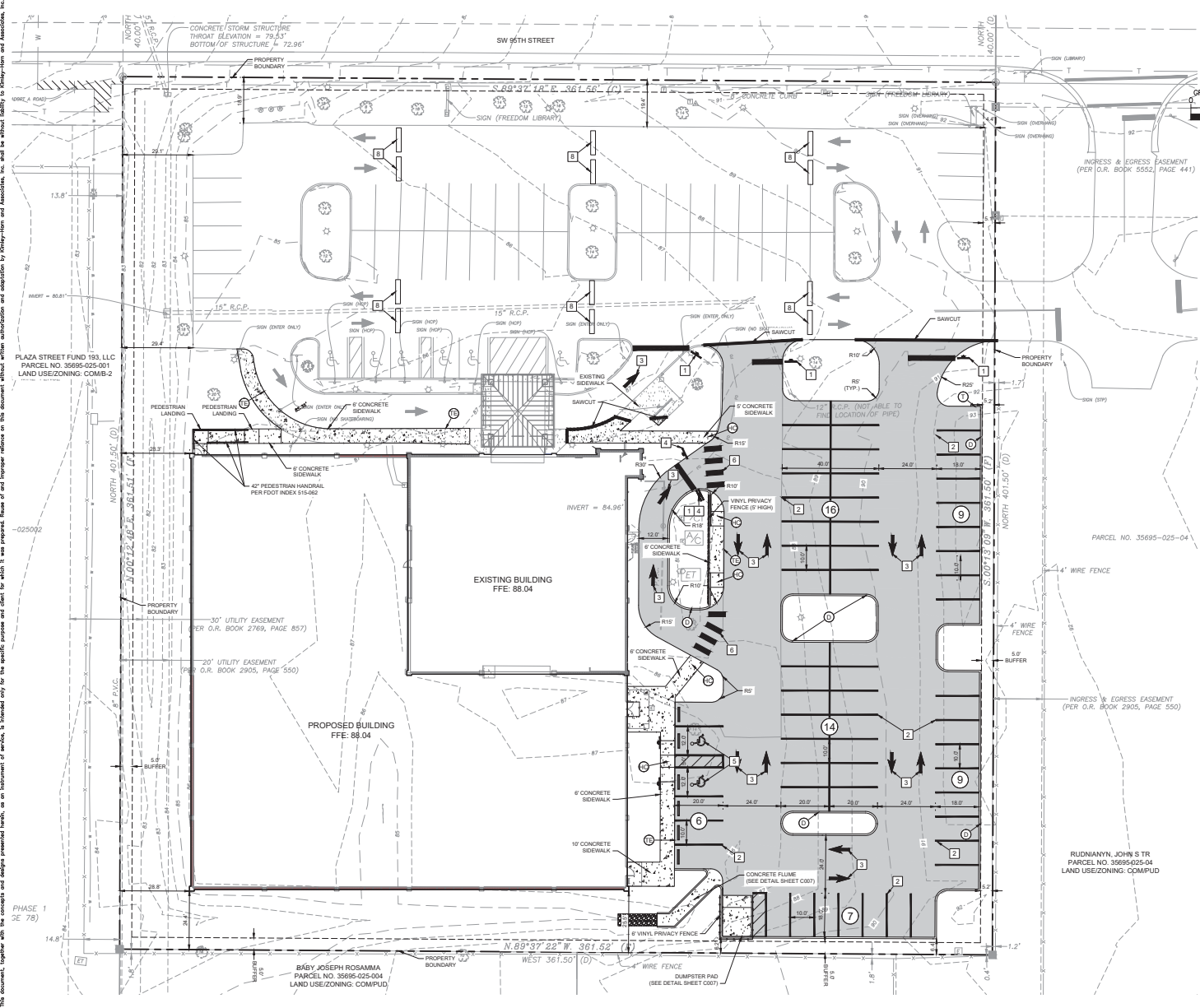
EXISTING
CONDITIONS &
DEMOLITION PLAN

**FREEDOM LIBRARY
EXPANSION**
PREPARED FOR
MARION COUNTY
MARION COUNTY
FLORIDA

SHEET NUMBER
C003

MARION
MAJOR SITE PLAN

Printed By: Courtney, Darryl Sheet: Site-Plan Layout: C004 SITE PLAN October 05, 2023 09:43:21am K:\C04_Civ\142990202-Freedom Library Exp\04_Visit\Site\Site PLAN.dwg
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- PAVEMENT LEGEND**
- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET - C007)
 - CONCRETE SIDEWALK (SEE DETAIL SHEET - C007)
- CURB LEGEND**
- TYPE 'I' CURB
 - CURB END TAPER
 - THICKENED EDGE SIDEWALK
 - ACCESSIBLE CURB RAMP (PER FOOT INDEX NO. 522-002)
- SIGN AND PAVEMENT MARKING LEGEND**
- 34" STOP SIGN (R1-1) WITH 24" WHITE STOP BAR
 - 8" WHITE STRIPE
 - DIRECTIONAL ARROW (WHITE)
 - R5-1 (30"X30") DO NOT ENTER SIGN
 - HANDICAP SPACES PER FLORIDA ACCESSIBILITY CODE WITH SIGN AND WHEEL STOP (SEE SHEET C007 FOR DETAILS)
 - 6" WIDE CROSSWALK, W24" WHITE STRIPES SPACED 60" ON CENTER (AS SHOWN)
 - 30" X 30" LEFT TURN ONLY SIGN (R3-5)
 - SPEED BUMP (BY OTHERS)
 - ALL SIGN POSTS SHALL BE 2"X2" GALVANIZED STEEL (14 GAUGE THICKNESS) UNLESS NOTED IN THE CONSTRUCTION DETAILS.
- NOTES:**
- ALL ON-SITE PAVEMENT MARKINGS ARE TO BE PAINTED USING NON-SLIP PAINT.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DRIVEWAYS, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK CIRCLES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED SEPTEMBER 1, 2022, UPDATED SEPTEMBER 27, 2022, BY R.M. BARRINBAU & ASSOCIATES, INC.
 - REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 - MINIMUM FINISHING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.00% (1:20).
 - MINIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% (1:50).
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:50) IN ANY DIRECTION.

SITE DATA TABLE	
EXISTING LIBRARY AREA	6,380 SF
PROPOSED LIBRARY EXPANSION	24,204 SF
FULL BUILDOUT AREA	32,683 SF
PARKING CALCULATIONS	
LIBRARY (32,683 SF) (1 SPACE PER 300SF)	109
TOTAL SPACES REQUIRED	109
STANDARD SPACES PROVIDED (10'X18' MIN.)	115
VAN/ACCESSIBLE SPACES REQUIRED	5
VAN/ACCESSIBLE SPACES PROVIDED	8
TOTAL SPACES PROVIDED	115
BUFFER REQUIREMENTS (FROM PREVIOUSLY PERMITTED PLANS)	
BUFFER TYPE	1'
BUFFER WIDTH	5 FEET
BUILDING SETBACK REQUIREMENTS	
NORTH AND SOUTH	0 FEET
EAST AND WEST	0 FEET

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FORT MYERS, FLORIDA 33909
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Site Plan

Freedom Library Expansion
PREPARED FOR
MARION COUNTY
FLORIDA

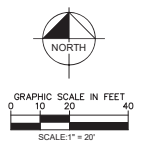
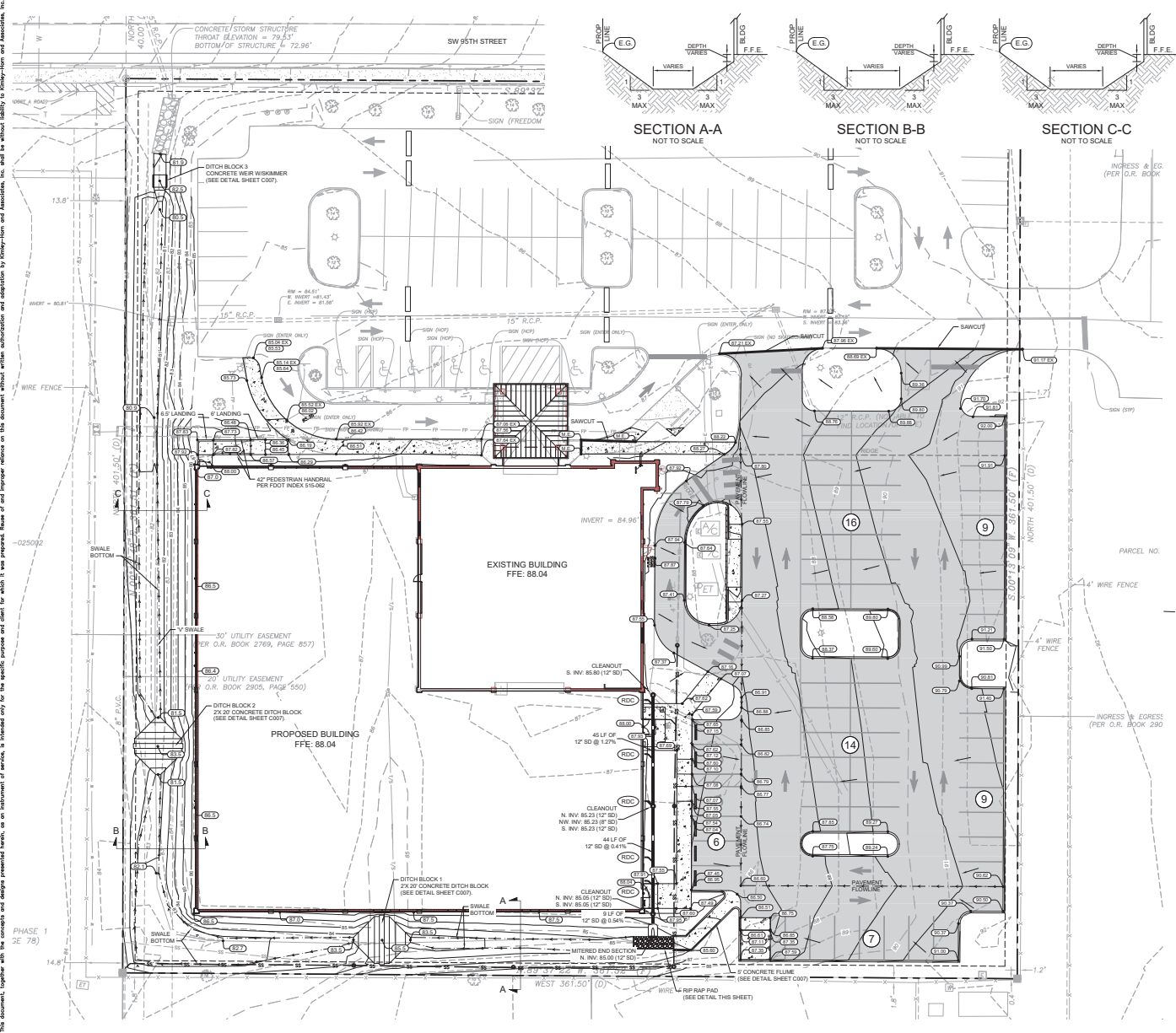
Site Plan

Sheet Number
C004

Major Site Plan

NO.	DATE	REVISIONS
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Printed By: Courtney, Darryl Sheet: Set-Khs Layout: CDDP PAVING GRADING AND DRAINAGE PLAN October 25, 2023 09:52:08pm K:\CADD\142990202-Freedom Library Exp\142990202-CDDP PAVING GRADING AND DRAINAGE PLAN.dwg
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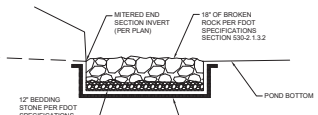


LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING STORM PIPE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED FLOW DIRECTION ARROWS
- PROPOSED PAVED SWALE
- ROOF DRAIN CONNECTION (BY OTHERS)

NOTES:

1. ALL GRADES ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
2. MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 3.00% (1:33).
3. MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1:50).
4. MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% (1:50) IN ANY DIRECTION.
5. STORM PIPE MATERIALS Labeled "10" SHALL BE A 3000' PVC UP STORM RIGID WALL WATER TIGHT HOPE, OR RCP AND CONFORM WITH THE LATEST EDITION OF THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. STORM PIPES WITH A REQUIRED SPECIFIC MATERIAL ARE NOTED ON THE PLANS.
6. ALL FINAL STORM DRAIN MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND NOTED ON THE RECORD DRAWINGS.
7. ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE SOODED WITH BAHIA.



RIP-RAP PAD DETAIL

NOTE:
RIP-RAP PADS SHALL BE PLACED A MINIMUM OF 30' THICK TO THE DIMENSIONS SHOWN ON THE PLANS AND FLUSH WITH THE ADJACENT GRADE. SEE DETAIL THIS SHEET.

DITCH BLOCK 1 STAGE STORAGE TABLE

STAGE (FT)	AREA (FT ²)	AREA (AC)	VOLUME (AC-FT)
83.5	0	0.00	0.00
84.5	45.1	0.01	0.01
85.5	1595	0.04	0.03

DITCH BLOCK 2 STAGE STORAGE TABLE

STAGE (FT)	AREA (FT ²)	AREA (AC)	VOLUME (AC-FT)
81.5	0	0.00	0.00
82.5	1095	0.03	0.01
83.5	2655	0.06	0.00

DITCH BLOCK 3 STAGE STORAGE TABLE

STAGE (FT)	AREA (FT ²)	AREA (AC)	VOLUME (AC-FT)
80.5	0	0.00	0.00
81.5	2139	0.05	0.02
82.5	3394	0.08	0.09

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WWW.KHAFIRM.COM REGISTRATION NO. 9889

KHA PROJECT	142990202
DATE	OCTOBER 2023
SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	DSG
CHECKED BY	JCL
DATE	

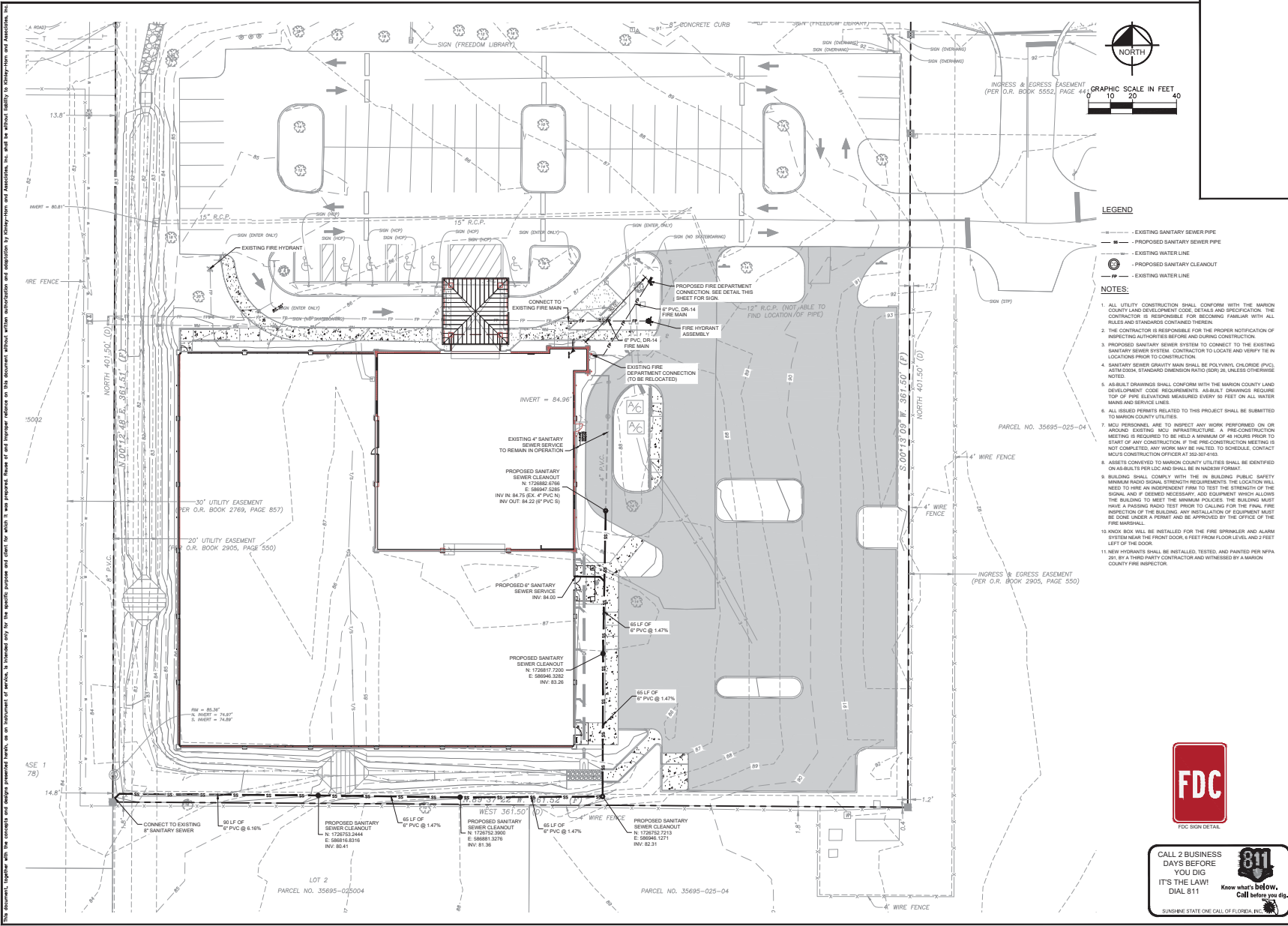
PAVING GRADING AND DRAINAGE PLAN

FREEDOM LIBRARY
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MARION COUNTY
FLORIDA

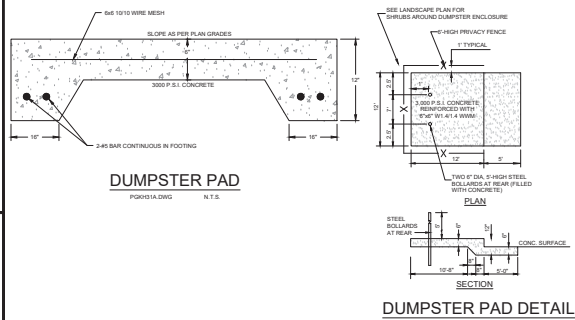
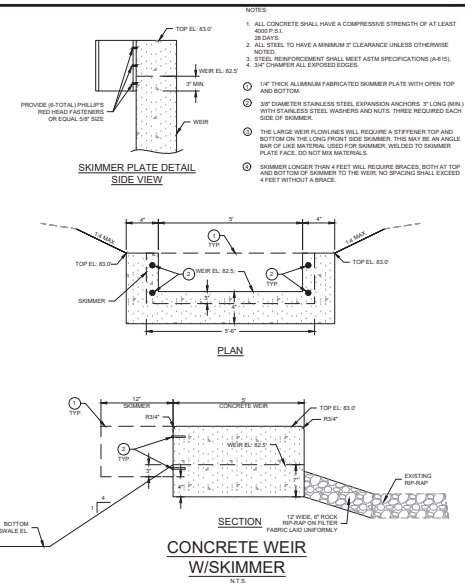
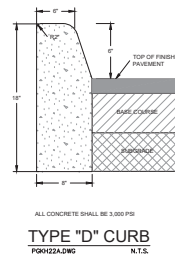
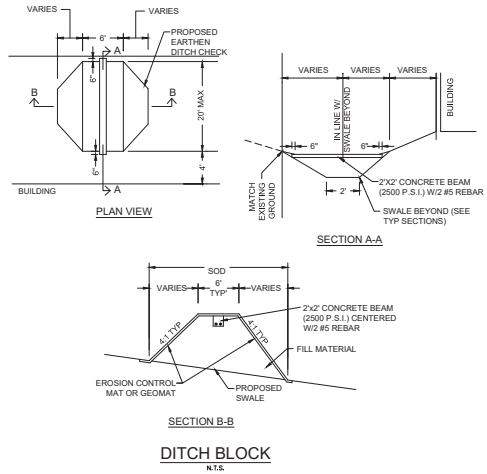
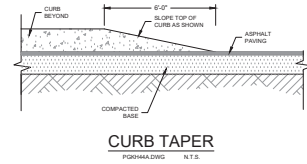
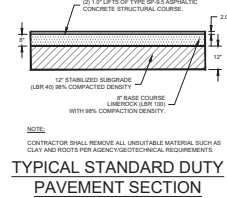
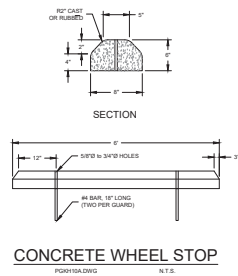
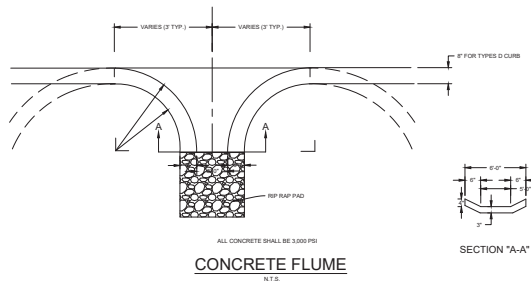
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REVISIONS			
1	NOT FOR CONSTRUCTION		
2			

Printed By: Trevor, Thomas Sheet Set: KHA Layout: C006 UTILITY PLAN January 25, 2024 03:14:38pm K:\LOCAL\CH\142990202-Freedom Library Exp\CAD\PlotSheet\006 UTILITY PLAN.dwg
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KHA PROJECT 142990202	
LICENSED PROFESSIONAL	
JANUARY 2024	
JOSEPH C. UNION, P.E.	
SCALE AS SHOWN	
DESIGNED BY KHA	
DRAWN BY DSC	
CHECKED BY JCL	
DATE	
UTILITY PLAN	
FREEDOM LIBRARY EXPANSION	
PREPARED FOR MARION COUNTY	
MARION COUNTY, FLORIDA	
SHEET NUMBER C006	
MAJOR SITE PLAN	



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PHONE: 352-436-5000

KHA PROJECT 142990202	LICENSED PROFESSIONAL
DATE OCTOBER 2023	<u>JOSEPH C. LONDON, P.E.</u>
SCALE AS SHOWN	FLORIDA LICENSE NUMBER 33694
DESIGNED BY KHA	
DRAWN BY DSC	
CHECKED BY JCL	DATE:

CONSTRUCTION DETAILS

FREEDOM LIBRARY
 EXPANSION
 PREPARED FOR
 MARION COUNTY
 MARION COUNTY FLORIDA

MARION
MAJOR SITE PLAN



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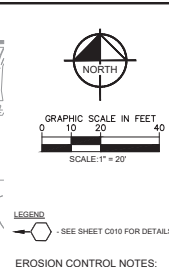
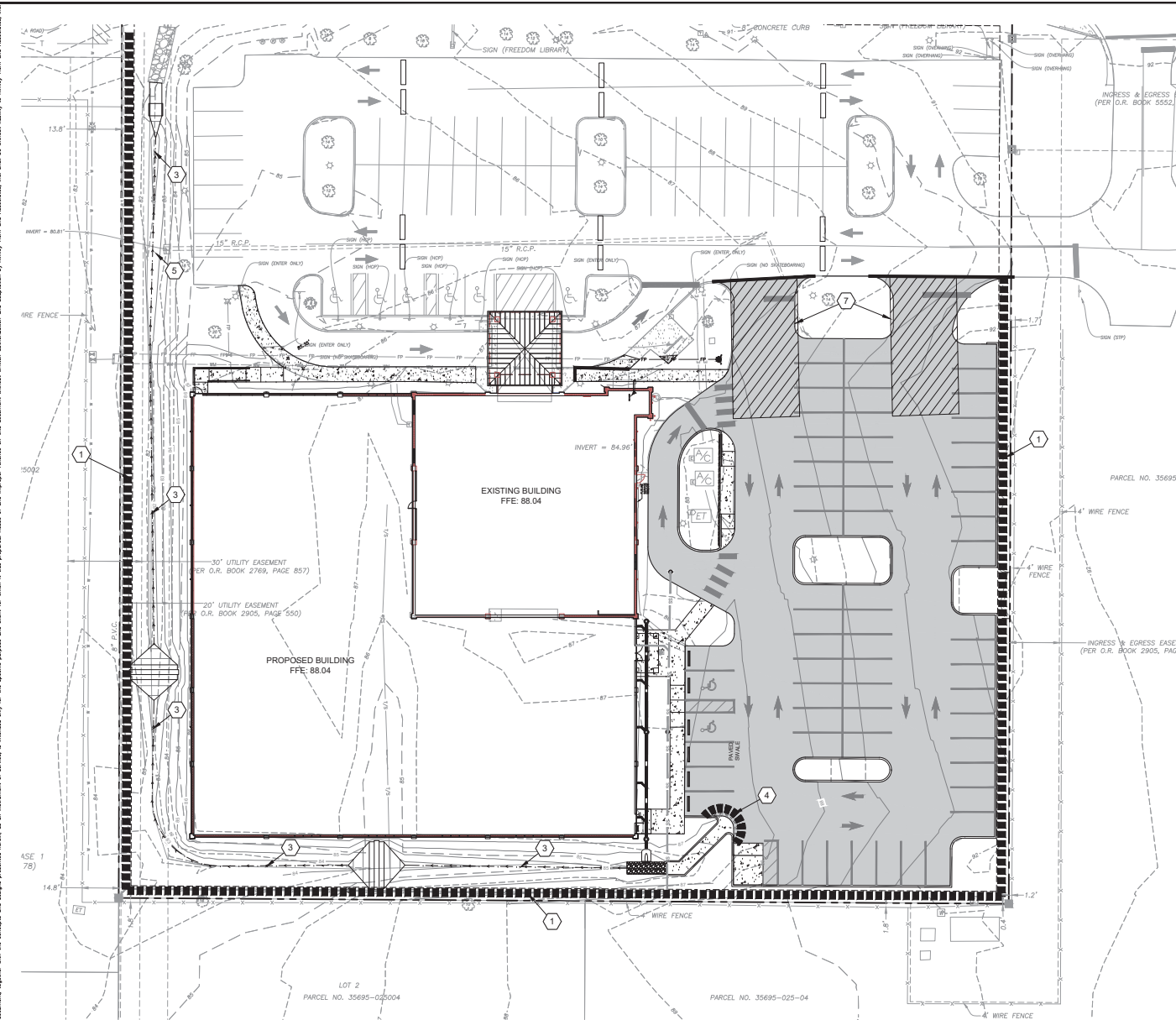
KHA PROJECT 142990202	DATE OCTOBER 2023	SCALE AS SHOWN	DESIGNED BY KHA	DRAWN BY DSC	CHECKED BY JCL	DATE:
LICENSED PROFESSIONAL <u>JOSEPH C. LONDON, P.E.</u> FLORIDA LICENSE NUMBER 33694						

**FREEDOM LIBRARY
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MARION COUNTY
FLORIDA**

SHEET NUMBER
C008

MARION	MAJOR SITE PLAN
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Printed By: Courtney, Darryl Sheet: S01-003 Layout: C000 EROSION CONTROL NOTES AND PLAN October 06, 2023 09:44:30am K:\CADD\14299202-Freedom Library Exp\CA0\VanSchaik\008 EROSION CONTROL PLAN.dwg
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EROSION CONTROL NOTES:

1. DISCHARGE CONTROL AND EROSION PROTECTION MEASURES SHALL BE EMPLOYED AND OPERATED AT ALL TIMES DURING CONSTRUCTION TO AVOID ADVERSE IMPACTS TO RECEIVING WATERS OR ADJACENT PROPERTY. DETENTION/RETENTION STORAGE STRUCTURES, SEDIMENT BARRIERS, FLOW CONVEYANCES, RETENTION, DISCHARGE CONTROL, STRUCTURES, AND OTHER STORMWATER MANAGEMENT STRUCTURES SHOULD BE BUILT AND CONTINUOUSLY MAINTAINED DURING PROJECT CONSTRUCTION IN A MANNER SUCH THAT, TO THE EXTENT POSSIBLE, THE STRUCTURES ARE INCORPORATED INTO AND BECOME PART OF THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM.
2. THE OWNER/PERMITTEE SHALL ENSURE THAT THE SURFACE WATER AND STORMWATER MANAGEMENT MEASURES PROPOSED IN THE PLAN ARE EFFECTIVELY IMPLEMENTED UNTIL COMPLETION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL.
3. THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS CUMULATING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY (FOR EACH OCCURRENCE).
4. ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
5. SILT FENCE, STRAW BALE INLET FILTERS, AND ANY OTHER EROSION/SEDIMENTATION PROTECTION SHOWN ON THESE PLANS SHALL BE INSTALLED IMMEDIATELY FOLLOWING SITE CLEARING AND PRIOR TO ANY SITE DEVELOPMENT. ALL EROSION/SEDIMENTATION PROTECTION SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION PROJECT AND REMOVED AFTER COMPLETION.
6. CONSTRUCTION WASTE - WASTE SHALL BE COLLECTED AT A DESIGNATED AREA ON-SITE. ADEQUATE NUMBER OF CONTAINERS SHALL BE PROVIDED (WHEN POSSIBLE COVER CONTAINERS OR PROVIDE LIDS ON CONTAINERS) ARRANGE FOR WASTE COLLECTION BEFORE CONTAINERS OVERFLOW. PROVIDE CLEAN UP IMMEDIATELY IF SPILLAGE OCCURS.
7. CONTROL AND DISPOSAL OF WASTES - CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT, CHEMICALS, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE CITY'S STORM WATER SYSTEM.
8. CONCRETE TRUCKS - EMPTYING OR WASH OUT OF EXCESS CONCRETE MAY BE ALLOWED ON-SITE. EXCESS CONCRETE AND WASH WATER SHOULD BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORMWATER WHICH WILL BE DISCHARGED FROM THE SITE. FOR EXAMPLE, DIKES COULD BE CONSTRUCTED AROUND THE AREA TO CONTAIN THESE MATERIALS UNTIL THEY HARDEN, AT WHICH TIME THEY MAY BE PROPERLY DISPOSED OF.
9. CONTRACTOR SHALL PERIODICALLY SWEEP ALL EXISTING ON-SITE PAVED SURFACES AND OFF-SITE ADJUTING CITY STREETS AND STATE HIGHWAYS AS NEEDED TO KEEP THOSE SURFACES IN A SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE BY MECHANICAL MEANS, WITH WATER SUPPLEMENT, ON A REGULAR BASIS SEVERAL TIMES A WEEK INCLUDING, MOST PARTICULARLY, AFTER FLOWS RISE EVENT AND EVERY FIFTH AFTERNOON PRIOR TO CLEANING WORK FOR THE WEEK.
10. PETROLEUM PRODUCTS - OIL, GASOLINE, LUBRICANTS, AND ASPHALTIC SUBSTANCES SUCH AS PAVING MATERIALS SHOULD BE HANDLED CAREFULLY TO MINIMIZE THEIR EXPOSURE TO STORM WATER. EQUIPMENT SHOULD BE ON SITE TO CONTAIN AND CLEAN UP PETROLEUM SPILLS IN FUEL STORAGE AREAS OR ON BOARD MAINTENANCE AND FUELING VEHICLES. CONTAIN AND CLEAN UP PETROLEUM SPILLS IMMEDIATELY.
11. HAZARDOUS PRODUCTS - THESE PRODUCTS SHALL BE USED IN A SAFE MANNER TO AVOID POLLUTION OF STORM WATER. EQUIPMENT SHOULD BE ON SITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. CONTAIN AND CLEAN UP SPILLS IMMEDIATELY AFTER THEY OCCUR.
12. NON-STORM WATER DISCHARGES - THESE DISCHARGES INCLUDE BUT NOT LIMITED TO: FIRE HYDRANT FLUSHINGS, POTABLE WATER SOURCES (FLUSHING), IRRIGATION, BUILDING WASH-DOWN, AND AIR CONDITIONING CONDENSATION PRIOR TO ANY DISCHARGE. ALL DOWNSLOPE SITE SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN PLACE. DISCHARGE SHALL ONLY BE DIRECTED TO AREAS THAT ARE STABILIZED TO MINIMIZE EROSION (E.G. BUFFER ZONE, VEGETATED FILTER STRIP, INLET AND OUTLET PROTECTION LEVEL SPREADERS, ETC.) DO NOT DISCHARGE NON-STORM WATER FLOWS ONTO DISTURBED AREAS.
13. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT IS REQUIRED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.5 INCHES OR GREATER. THE REPORTS ARE TO BE FILED AT THE PROJECT SITE WITH THE STORM WATER POLLUTION PREVENTION PLAN.

OPERATION AND MAINTENANCE INSTRUCTIONS

MARION COUNTY
AS REQUIRED BY THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT, AS OWNER, YOU AND YOUR SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE PROPOSED DRAINAGE SWALES, TOGETHER WITH ALL PROPOSED DRAINAGE FACILITIES FOR THIS SERVICE REFERENCED PROJECT. THE SWALES SHALL BE MAINTAINED ON A REGULAR BASIS AND ANY EROSION OR DEBRIS SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY. ANY TRASH OR DEBRIS SHALL BE REMOVED FOLLOWING EACH STORM. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED EVERY (6 MONTHS) FOLLOWING THE NEED FOR ANY REPAIR OR CLEARANCE OF SEDIMENT. SEDIMENT SHOULD BE REMOVED FROM THE SWALES WHEN IT ACCUMULATES TO A POINT AT WHICH STORAGE VOLUMES ARE REDUCED BELOW DESIGN LEVELS.

IN ADDITION, YOU OR YOUR DESIGNATED REPRESENTATIVE SHALL INSPECT THE SWALES ON A WEEKLY BASIS FOR THE FORMATION OF SNOWDRAINS. SNOWDRAINS SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY. ANY SNOWDRAIN FORMATION MUST BE NOTIFIED THE SWAMPING WITHIN 48 HOURS OF DISCOVERY OF SNOWDRAIN FORMATION. A PERMANENT REPAIR PLAN FOR SNOWDRAIN REPAIR SHALL BE SUBMITTED TO THE DISTRICT WITHIN 30 DAYS OF SNOWDRAIN FORMATION. ANY CHANGES TO THE TYPICAL SNOWDRAIN REPAIR DETAIL AS SHOWN ON THE ENGINEERING PLANS SHALL BE DETERMINED AT THIS TIME BASED ON ACTUAL CONDITIONS.

NO.	REVISIONS	DATE

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
1700 E. 17TH STREET, SUITE 200, JACOB, FLORIDA 34741
PHONE: 888-348-3000
WWW.KIMLEY-HORN.COM RESIDENTY NO. 30108

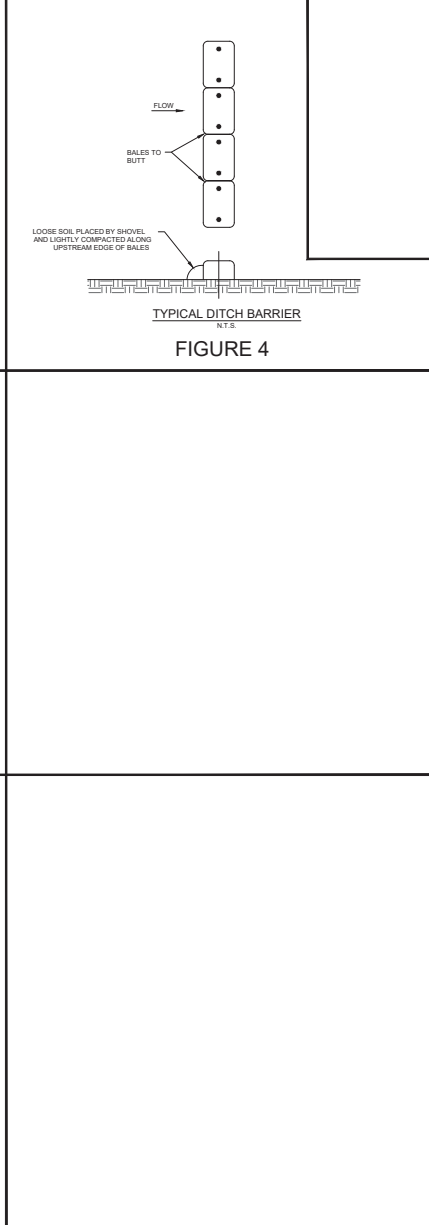
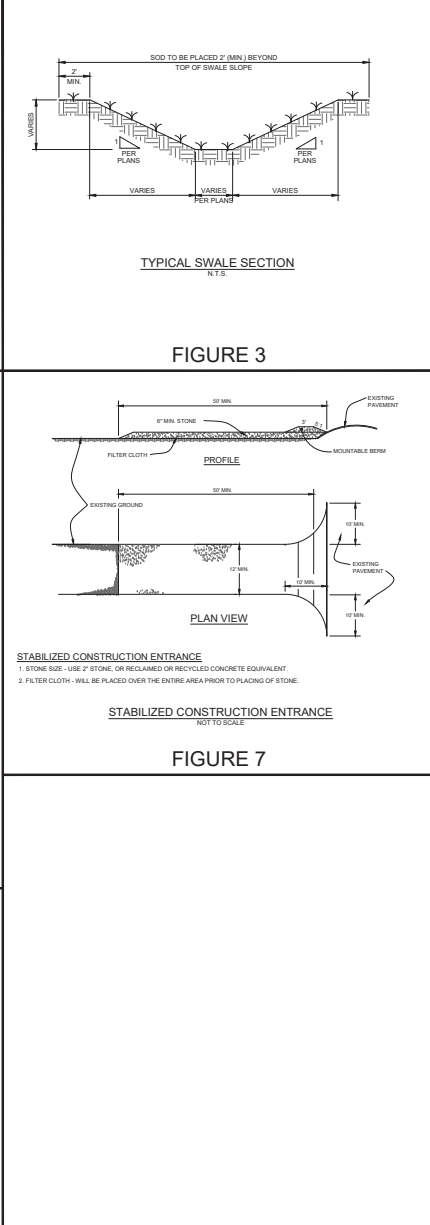
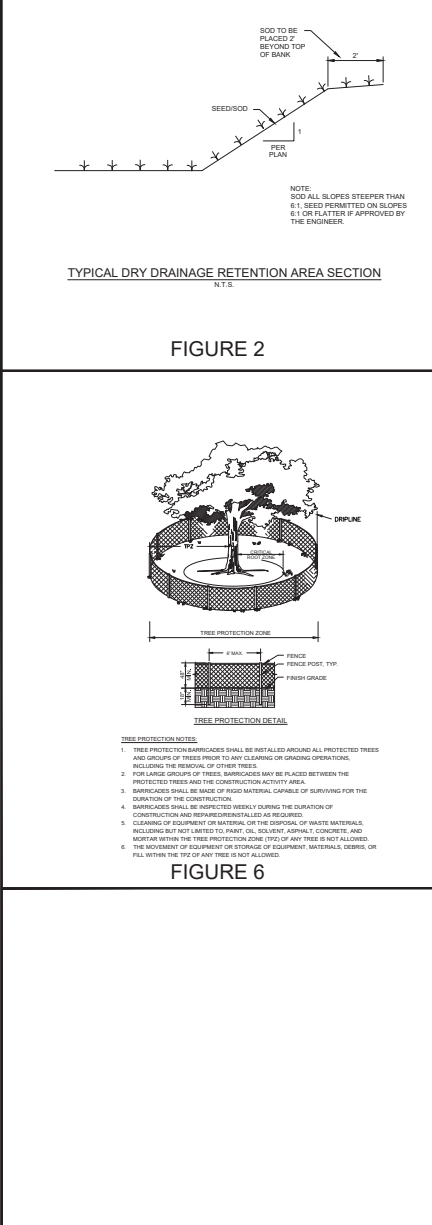
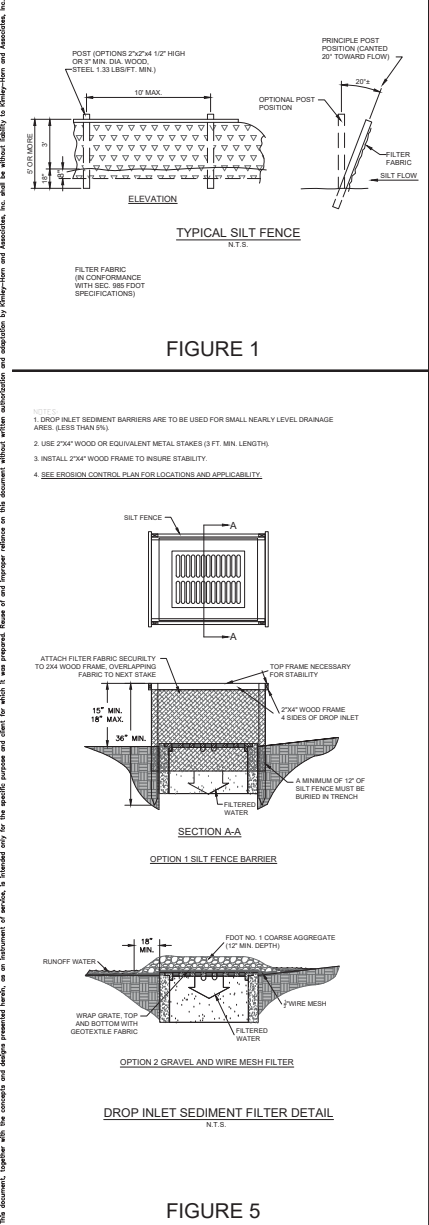
KHA PROJECT 14299202	LICENSED PROFESSIONAL OCTOBER 2023	JOSEPH C. UNION, P.E.
SCALE AS SHOWN	DESIGNED BY KHA	FLORIDA LICENSE NUMBER 33694
DRAWN BY JCL	DISC	
CHECKED BY JCL	DATE	

EROSION CONTROL NOTES AND PLAN

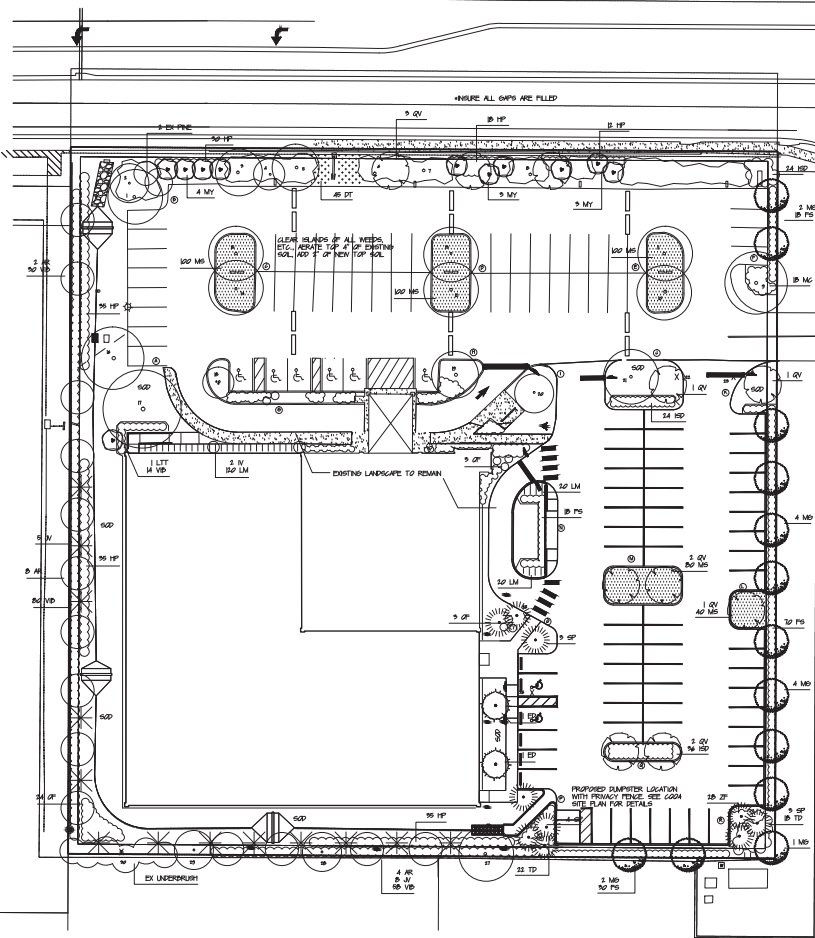
FREEDOM LIBRARY EXPANSION	PREPARED FOR	FLORIDA
	MARION COUNTY	
	MARION COUNTY	
	MAJOR SITE PLAN	

SHEET NUMBER
C009

Printed By: Courtney, Darryl Sheet: Silt-Kha Layout: C010 EROSION CONTROL DETAILS October 06, 2023 09:44:32am K:\Cadd\Civil\44990202-Freedom Library Exp\CAD\Plan\Sheet\Kha\008 EROSION CONTROL PLAN.dwg This document, together with the concepts and designs presented herein, is an instrument of service, to be used only for the specific purpose and client for which it was prepared. reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. is prohibited.



KHA PROJECT 142990202		LICENSED PROFESSIONAL JOSEPH C. LUNDON, P.E.		KIMLEY-HORN & ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200 FORT LAUDERDALE, FL 33316 WWW.KIMLEY-HORN.COM REGISTRY NO. 20108	
SCALE: AS SHOWN		OCTOBER 2023		FLORIDA LICENSE NUMBER 33694	
DESIGNED BY: KHA		DSC		JCL	
DRAWN BY: JCL		DATE:		DATE:	
FREEDOM LIBRARY EXPANSION PREPARED FOR MARION COUNTY		EROSION CONTROL DETAILS		MARION COUNTY FLORIDA	
SHEET NUMBER C010		MAJOR SITE PLAN		DATE	



LANDSCAPE / OPEN SPACE	
TOTAL PROJECT AREA	= 10,600 SF (2.36 AC)
LANDSCAPE SPACE REQUIRED	= 2,500 SF (0.57 AC)
LANDSCAPE SPACE PROVIDED	= 4,700 SF (1.07 AC)
TREE PRESERVATION	
TOTAL EXISTING TREES	= 22
TOTAL EXISTING TREES	= 22
TREE PRESERVATION REQUIRED	= 22
TREE PRESERVATION PROVIDED	= 22
TOTAL EXISTING TREES	= 22
TREE PRESERVATION REQUIRED	= 22
TREE PRESERVATION PROVIDED	= 22
SHRUB TREES	
TOTAL PROJECT AREA	= 10,600 SF
TOTAL SHRUB TREES REQUIRED	= 451 (4.1 / 1000 SF)
LANDSCAPE SPACE REQUIRED	= 16 LF
LANDSCAPE SPACE PROVIDED	= 16 LF
BUILDING LANDSCAPE	
TOTAL BUILDING FOOTPRINT	= 100 LF
LANDSCAPE SPACE REQUIRED	= 10 LF (40%)
LANDSCAPE SPACE PROVIDED	= 10 LF

NORTH BUFFER - 160 LF, TYPE V, 5' WIDE, 1450 SF	
SHRUB TREES REQUIRED	= 72 (2 / 100 LF)
SHRUB TREES PROVIDED	= 72
LANDSCAPE SPACE REQUIRED	= 10 LF (4.1 / 100 LF)
LANDSCAPE SPACE PROVIDED	= 10 LF
EAST BUFFER - 160 LF, TYPE V, 5' WIDE, 1450 SF	
SHRUB TREES REQUIRED	= 72 (2 / 100 LF)
SHRUB TREES PROVIDED	= 72
LANDSCAPE SPACE REQUIRED	= 10 LF (4.1 / 100 LF)
LANDSCAPE SPACE PROVIDED	= 10 LF
SOUTH BUFFER - 160 LF, TYPE V, 5' WIDE, 1450 SF (ENHANCED)	
SHRUB TREES REQUIRED	= 72 (2 / 100 LF)
SHRUB TREES PROVIDED	= 72
LANDSCAPE SPACE REQUIRED	= 10 LF (4.1 / 100 LF)
LANDSCAPE SPACE PROVIDED	= 10 LF
WEST BUFFER - 160 LF, TYPE V, 5' WIDE, 1450 SF (ENHANCED)	
SHRUB TREES REQUIRED	= 72 (2 / 100 LF)
SHRUB TREES PROVIDED	= 72
LANDSCAPE SPACE REQUIRED	= 10 LF (4.1 / 100 LF)
LANDSCAPE SPACE PROVIDED	= 10 LF

LANDSCAPE ISLANDS	
TOTAL AREA	= 16,250 SF
LANDSCAPE ISLANDS REQUIRED	= 16,250 SF (100%)
LANDSCAPE ISLANDS PROVIDED	= 16,250 SF
WETLAND PLANTS	
TOTAL NEW PLANT MATERIAL	= 1200
WETLAND PLANTS REQUIRED	= 1200
WETLAND PLANTS PROVIDED	= 1200

LANDSCAPE NOTES

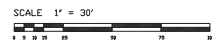
1. ALL MATERIAL SHALL BE FLORIDA OR GREATER.
2. ALL LANDSCAPED AREAS SHALL BE MAINTAINED AT 1" - 2" OF THE SOIL SURFACE.
3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHRUB OR ORNAMENTAL TREES.
4. ALL MATERIAL INSTALLED SHALL MEET THE SUB GRASSES AND STANDARDS FOR LANDSCAPE INSTALLATION.
5. CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHOWN FOR GRASSES AND STANDARDS.
6. ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE.
7. ALL NEW TREES MUST BE GROWN OR SHOWN AS DETAIL.
8. EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION.
9. THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPES THAT IS TO BE DONE AND SHALL VERIFY THE SCOPE OF WORK.
10. PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
11. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER.
12. ALL PALMS SHALL HAVE STRAIGHT, UNBENT TRUNKS AS APPROVED BY LANDSCAPE ARCHITECT.
13. SWEET PINE SHALL BE THINNING CUT BUT MUST MAINTAIN A FULL HEALTHY TOP.
14. ALL SWEET PINE SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND THE VARIOUS HEIGHTS MUST BE APPROVED AS APPROVED BY THE LANDSCAPE ARCHITECT.
15. ALL MATERIAL SHALL BE GUARANTEED FOR 90 DAYS FROM THE DATE OF ACCEPTANCE.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AIR-POCKETED FROM TREES AND PALMS.
17. DURING THE ESTABLISHMENT PERIOD (FIRST 90 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 40 - 50 GPD TO ALL NEW TREES AND PALMS.
18. DURING INSTALLATION OF ALL PALMS SHOWN PALM TRANSPLANT SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS AND CONTRACTOR MUST VERIFY THIS TO THE LANDSCAPE ARCHITECT.
19. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
20. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 5' VERTICAL OVERHANG AREA.
21. ALL DISTURBED AREAS (GRASS BEDS) WITHIN THE NEW CONSTRUCTION AREA SHALL BE SOOED.
22. ALL SOO SHALL BE ARGENTINE DATA SOO INSTALLED WITH NO GAPS OR OVERLAPS.
23. JOINTS SHALL BE SAVED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
24. ALL SOO AREAS SHALL BE ROLLED TO REMOVE BUMP, HUMP, AND SPIN IN THE FINISHED SOOING.
25. ALL WIRE / METAL BODIES MUST BE COMPLETELY REMOVED PRIOR TO ANY ACCEPTANCE.
26. ANY SOOING REQUESTED WITHIN THE EXISTING LANDSCAPE AREAS WILL BE ADDITIONAL.
27. SEE CIVIL PLAN TO COORDINATE SOOING IN THE SWALE AREAS.
28. PLANTING SOO USED FOR THE BUILDING PLANTERS AND BACKFILL OF THE LANDSCAPE ISLANDS, ETC. MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
29. ALL SOO SHALL BE USED-PINE CONTAIN NO OTHER BODIES OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 50% SAND, 50% LOAM, AND 50% TOP-SOIL.
30. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOO, AND OTHER LANDSCAPE ITEMS REMOVED FROM THE SITE.
31. THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS.
32. THE CONTRACTOR SHALL KEEP THE SITE CLEAN OF ALL DEBRIS, DEWET, ETC., AND ENSURE THAT THAT DEBRIS SYSTEM REMAINS CLEAN AND THAT REVISIONS ARE NOT ALLOWED.
33. DO NOT PLANT NEW TREES TOO DEEP UNLESS THE TRUNK FLARE AND SET THIS AT OR ABOVE THE SUBSURFACE SOO LEVEL.
34. REMOVED ANY TREE NEW FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED.
35. ALL NEW TREES AND SHRUBS MUST MEET THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI 340).
36. LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES HAVE A SINGLE DOMINANT LEADER ESTABLISHED OR CLUSTER BRANCHES REMOVED.
37. HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE.
38. ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT NURSERY GRASSES AND SHRUBS.

EXISTING TREES	
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2	2" OK
3	3" OK
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9	9" OK
10	10" OK
11	11" OK
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LANDSCAPE MATERIAL LIST	
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2	2" OK
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100	100" OK

MARION COUNTY NOTES

1. TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 475.1 SHALL BE COMPLIED WITH BY ALL CONTRACTORS OPERATING ON SITE.
2. ALL REQUIREMENTS OUTLINED IN SECTION 475.2 SHALL BE COMPLIED WITH FOR ANY REPLACEMENT TREES REQUIRED ON SITE BY THE CONTRACTOR.
3. THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 475.3 SHALL BE COMPLIED WITH. NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED.
4. NOTES HAVE BEEN GIVEN REGARDING LICENSES (A-20, A-21, TREE PROTECTION (A-20), MAINTENANCE (A-20), A-22, FERTILIZER USE (A-22), AND WATERING (A-22)).
5. ALL REQUIREMENTS OUTLINED IN SECTION 475.4 REGARDING FERTILIZER AND OTHER LANDSCAPE OPERATIONS SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS.
6. UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND RECALLED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO SIGNATURE OF A CERTIFICATE OF COMPLETION.
7. ALL REQUIREMENTS OUTLINED IN SECTION 475.5 REGARDING LANDSCAPE MAINTENANCE SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS.
8. ALL REQUIREMENTS OUTLINED IN SECTION 475.6 REGARDING LANDSCAPE INSTALLATION AND MAINTENANCE LICENSES AND CERTIFICATION SHALL BE COMPLIED WITH.
9. ANY PERSON PROVIDING LANDSCAPE INSTALLATION SERVICES FOR TREE SHALL MEET THE LICENSED AND CERTIFICATION REQUIREMENTS UNDER SECTION 475.7.
10. ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO BEST MANAGEMENT PRACTICES.
11. TREES AND PALMS SHALL BE PROPERLY PLANTED AND GROWN ON SITES.
12. ALL PLANTINGS SHALL BE PROPERLY WATERED DURING INSTALLATION AND THROUGH THE ESTABLISHMENT PERIOD FOR HEALTHY GROWTH AS RECOMMENDED BY UF/IFAS.
13. INSTALLATION SHALL MEAN SURVIVAL IN PERMANENT PLACEMENT. IF NECESSARY, ALL MATERIALS (SOO, AND/OR OTHER PLANT MATERIAL) SHALL BE REPLACED BY THE OWNER WITHIN 90 DAYS OF NOTIFICATION BY THE COUNTY.
14. ALL TREE PRUNING SHALL BE DONE BY A ISA CERTIFIED ARBORIST.

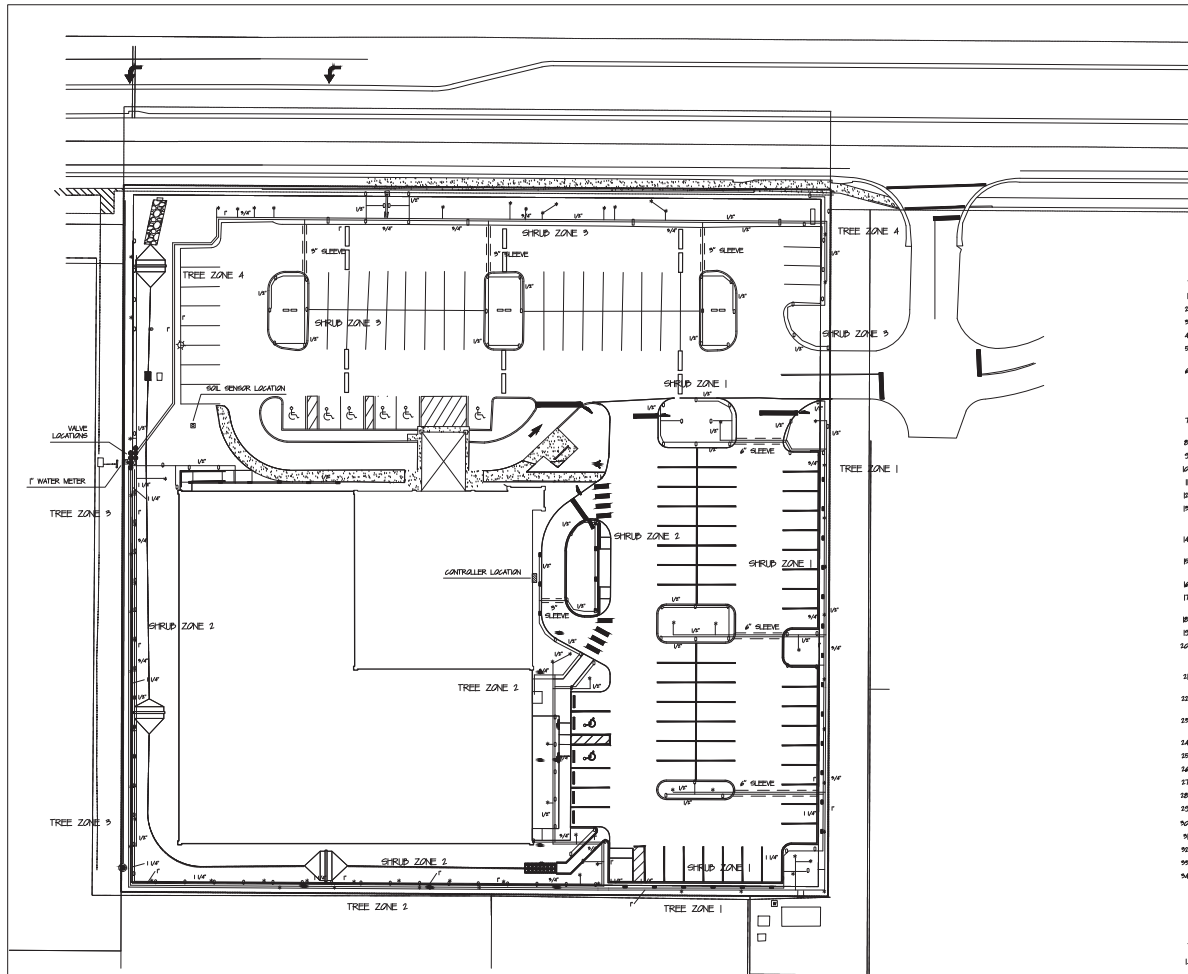


RICHARD A. KESSELING JR., P.L.A. A.S.L.A.
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

DATE: 5 / 23
DRAWN BY: RAK
SCALE: 1" = 30'
JOB NO.:
SHEET 202 OF 202

ENVIRONMENTAL DESIGN
AND KESSELING JR., P.L.A. A.S.L.A.
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858
COUNTY: MARION
PROJECT: FREEDOM LIBRARY
SHEET: 202 OF 202

LIBRARY STAFF COMMENTS
1/23
LIBRARY STAFF COMMENTS
1/23
COUNTY COMMENTS
1/23
DATE
DESCRIPTION



IRRIGATION LEGEND

- HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
- HUNTER MP 1000 SERIES POP-UP SIDE-SPRAY HEADS
- HUNTER P20 SERIES RUBBER HEADS FOR TREES
- NEW 1" WATER METER (IRRIGATION ONLY)
- SOLE REMOVAL LOCATION
- HUNTER X-CORE (8 STATION) CONTROLLER
- 1" NELSON VALVES IN WATER-RESISTENT BOXES
- == SLEEVING - 60# AD PVC

IRRIGATION ZONE DATA

TREE ZONE 1	= 10.0 GPM
TREE ZONE 2	= 25.0 GPM
TREE ZONE 3	= 21.0 GPM
TREE ZONE 4	= 11.0 GPM
SHRUB ZONE 1	= 21.0 GPM
SHRUB ZONE 2	= 24.0 GPM
SHRUB ZONE 3	= 10.0 GPM
SHRUB ZONE 4	= 12.0 GPM
SHRUB ZONE 5	= 10.0 GPM
10.4 GPM x 8 = 83.2 GPM	
1 = 594.0 GPM / 7 = 84.9 GPM	
GPM = GALLONS PER MINUTE	
GPH = GALLONS PER HOUR	
GPD = GALLONS PER DAY	

IRRIGATION NOTES

- MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
- ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
- HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
- SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
- NEW IRRIGATION SYSTEM SHALL BE CONNECTED TO A NEW 1" WATER METER LOCATED AS SHOWN. ANY EXISTING IRRIGATION SHALL REMAIN AS IS AND IS NOT PART OF THIS PROJECT
- PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL INSPECT THE EXISTING SITE AND IRRIGATION SYSTEM AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED PLAN. CONTACT LANDSCAPE ARCHITECT IMMEDIATELY IF THERE ARE ANY ISSUES. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION.
- THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CABINET
- THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
- ALL VALVES SHALL BE INSTALLED IN WATER-RESISTENT BOXES
- ALL SLEEVING MUST BE INSTALLED PRIOR TO THE UNDERLAYING OF THE PAVED AREAS
- ALL SLEEVING SHALL BE 60# AD PVC AND INSTALLED A MINIMUM OF 18" DEEP
- ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 18" DEEP
- PAVED/PAVEMENT DRIVE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (80% RAINFALL). IN ADDITION, AN AGRICULTURAL REMOVAL WITH SOIL CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION ADJUSTMENTS
- THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
- THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
- ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
- THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
- PAVEMENT/PAVEMENT DRIVE MUST BE INSTALLED AT THE NEW METER PER APPLICABLE CODES
- SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
- ZONES ARE DESIGNED TO FUNCTION AT 50 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGES
- CONTRACTOR SHALL COMPLY WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TIMING OF THE SYSTEM, BASED ON CURRENT WATER RESTRICTIONS
- SYSTEM DOES NOT PROVIDE SURE COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW PLANT INSTALLATION AND SOI AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT
- ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
- ALL IRRIGATION HEADS SHALL BE LOW-VOLUME, MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
- SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY FAS @ EDHS/PAUL/LESLIE/REIS
- ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD
- ANY EXISTING IRRIGATION COMPONENTS SHALL REMAIN UNLESS DIRECTED BY OWNER
- POP-UP HEADS WITHIN SOI AREAS SHALL BE SET AT 4"
- ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER ENTRY AND VERIFIED BY CONTRACTOR
- VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- ALL IRRIGATION INSTALLATION SHALL MEET SOI GRADING AND STANDARDS
- NO IRRIGATION HEADS SHALL BE INSTALLED ON RISERS UNLESS SPECIFICALLY NOTED AND DETAILED
- ALL AS-BUILT VERIFICATIONS, ETC., MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
- BUILDINGS AT ALL TREES AND PALMS SHALL BE STAYED AT THEIR PROPER LOCATIONS

MARION COUNTY NOTES

- UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DRAWING AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE ISSUED AND SIGNED BY THE IRRIGATION DESIGN PROFESSIONAL, AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 404 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
- ALL REQUIREMENTS IN SECTION 404 REGARDING SYSTEM INSTALLATION, OPERATIONAL, AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH CURRENTLY ESTABLISHED MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM
- ALL REQUIREMENTS OUTLINED IN SECTION 404 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
- ALL REQUIREMENTS OUTLINED IN SECTION 404 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH
- NOTES HAVE BEEN SHOWN REGARDING CLOSE-OUT REQUIREMENTS (404) WATERING INSTALLATION (405) AND INSTALLATION LICENSING REQUIREMENTS (405)

SCALE 1" = 30'



RICHARD A. KESSELRING, JR., P.L.A., A.S.L.A.
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

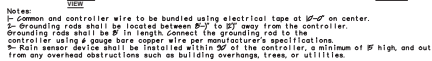
NO.	DATE	DESCRIPTION
1	10/15	LIBRARY STAFF COMMENTS
2	10/15	COUNTY COMMENTS
3		
4		
5		

DATE: 5 / 23	SCALE: 1" = 30'	JOB NO.:
DRAWN BY: RAK	SCALE: 1" = 30'	JOB NO.:
CHECKED BY: RAK	SCALE: 1" = 30'	JOB NO.:
DATE: 5 / 23	SCALE: 1" = 30'	JOB NO.:

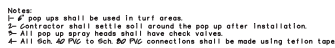
ENVIRONMENTAL DESIGN
ANDY KESSELRING, JR., ARCHITECT
1920 SE 8th STREET
GAINESVILLE, FLORIDA 32609
(352) 622-8889
www.rakdesign.com
GOLF COURSE DESIGN, COMMERCIAL, RESIDENTIAL DESIGN

IRRIGATION PLAN
FREEDOM LIBRARY
MARION COUNTY
FLORIDA

SHEET 0022 OF 0022



WALL MOUNTED CONTROLLER



POP UP-SPRAY HEAD

SCALE 1" = 30'



ENVIRONMENTAL DESIGN
ANDY KESSLER, LANDSCAPE ARCHITECT
1920 SE. 8th STREET
OCALA, FLORIDA 34478
P.O. BOX 5121
(352) 622-8899

LANDSCAPE ARCHITECTURE, SITE PLANNING,
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



LANDSCAPE & IRRIGATION DETAILS



















FREEDOM LIBRARY

MARION COUNTY FLORIDA

PAGE 003 of 000

RICHARD A KESSELRING JR., PLA, ASLA
LANDSCAPE ARCHITECT , STATE OF FLORIDA #858

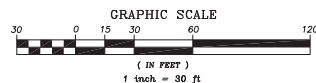
[illegible]

-  CAMPHOR
-  CEDAR
-  CHERRY
-  CHINABERRY
-  CRAPE MYRTLE
-  CYPRESS
-  DOGWOOD
-  ELM
-  HICKORY
-  HOLLY
-  MAGNOLIA
-  MAPLE
-  MISC
-  OAK
-  PALM
-  PECAN
-  PINE
-  SWEETGUM

- LEGEND**
- = UNLESS OTHERWISE NOTED
- ☐ = CENTERLINE OF RIGHT OF WAY
- = CHORD BEARING
- = OFFICIAL RECORDS OF MARION COUNTY
- = FOUND 5/8" IRON ROD & CAP - LB 5091
- = SET 5/8" IRON ROD & CAP - LB 5091
- = FOUND 4" x 4" CONCRETE MONUMENT - RLS 1918
- = FOUND 4" x 4" CONCRETE MONUMENT - LB 5091
- = BENCHMARK/CONTROL POINT
- = FIELD MEASUREMENT
- = DEED DIMENSION
- = CALCULATED DIMENSION
- = DRAINAGE MANHOLE
- = STORM DRAINAGE CURB
- = CURB INLET GRATE
- = GUY DRAINS
- = SANITARY MANHOLE
- = SANITARY CLEANOUT
- = SEWER VALVE
- = GREASE MANHOLE
- = WOOD POWER POLE
- = METAL LIGHT POLE
- = CONCRETE POWER POLE
- = ELECTRIC TRANSFORMER
- = ELECTRIC BOX
- = ELECTRIC METER
- = GUY ANCHOR
- = SPOT-DRAINAGE LIGHT
- = TELEPHONE VAULT
- = TELEPHONE BOX
- = TELEPHONE CABLE MARKER
- = TELEPHONE MANHOLE
- = CABLE BOX
- = SATELLITE DISH
- = FIBER OPTIC CABLE MARKER
- = FIRE HYDRANT
- = WATER VALVE
- = WATER METER
- = BACKFLOW PREVENTER
- = IRRIGATION CONTROL VALVE
- = FIRE DEPARTMENT CONNECTION
- = GAS METER
- = GAS VALVE
- = GAS LINE MARKER
- = AIR CONDITIONER PAD
- = METAL REFLECTOR POST
- = BOLLARD
- = KEY PAD
- = MAILBOX
- = SIGN
- = TRAFFIC SIGNAL CONTROL BOX
- = TRAFFIC SIGNAL SIGNAL BOX
- = TRAFFIC SIGNALIZATION MAST ARM
- = FLAG POLE
- P.V.C. = POLYVINYL CHLORIDE
- R.C.P. = REINFORCED CONCRETE PIPE
- C.R.M.P. = CORRUGATED METAL PIPE
- H.D.P.E. = HIGH DENSITY POLYETHYLENE
- = AERIAL ELECTRIC
- = OVERHEAD TRAFFIC SIGNALIZATION
- = UNDERGROUND TELEPHONE LINE
- = UNDERGROUND FIBER OPTICS
- = UNDERGROUND WATER LINE
- = UNDERGROUND GAS LINE
- = UNDERGROUND SANITARY SEWER LINE
- = UNDERGROUND ELECTRIC
- = UNDERGROUND FORCEMAIN
- = BROKEN LINE, NOT DRAWN TO SCALE
- = DENYED CONCRETE
- = DOWNSIDE ASHTRAY

DESCRIPTION:
PER WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 2578, PAGE 26 OF
THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

THE WEST 361.50 FEET OF THE NORTH 401.50 FEET OF THE EAST 4889.00 FEET OF
THE SOUTH 1/2 OF SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST, EXCEPT THE
NORTH 40.00 FEET FOR RIGHT-OF-WAY OF S.W. 95TH STREET.



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- NOTES:**
1. DATE OF FIELD SURVEY: SEPTEMBER 1, 1922
 2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
 3. UNLESS OTHERWISE CHOWN, SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE NOT LOCATED.
 4. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
 5. BEARINGS AND STATE PLANE COORDINATES DEPICTED HEREON ARE GRID, WEST FLORIDA ZONE, MAG-83 (CORRSG)
 6. VERTICALLY DELETED ON CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0013
 7. VERTICALLY DELETED ON CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0013 WITH AN ELEVATION OF 84.75' MAG-88
 8. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
 9. ANYTHING DELETED ON THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 10. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE
 11. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND THAT THE SURVEY IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE.

SIGNATURE DATE TRAVIS P. BARRINEAU, P.S.M. - LS 6897
TRAVIS@RMBARRINEAU.COM OF R.M. BARRINEAU & ASSOCIATES, INC.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

[illegible]

DRAWN:	S.W.M.
REVISED:	
REVISED:	
CHECKED:	T.P.B.
APPROVED:	T.P.B.



**BOUNDARY & TOPOGRAPHIC
SURVEY FOR:
FREEDOM LIBRARY EXPANSION**

REFERENCES:
F.B. 629, PGS. 55

J.O.# 22133
DWG.# 22133R2

SHT 1 OF 1