

March 15, 2024

PROJECT NAME: PIONEER RANCH PH 5

PROJECT NUMBER: 2023080013

APPLICATION: IMPROVEMENT PLAN #30472

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.9/10 - Existing Drainage Right-of-Way/Easements  
STATUS OF REVIEW: INFO  
REMARKS: Existing easements will need to be reconciled during the final plat process.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 2.12.9/10 - Proposed Drainage Right-of-Way/Easements  
STATUS OF REVIEW: INFO  
REMARKS: Easements will be reviewed with the final plat.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(8) - Calculation & Plan Consistency  
STATUS OF REVIEW: INFO  
REMARKS: This criteria to be reviewed with resubmittal.
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Please provide a copy of the District permit prior to construction.
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval  
STATUS OF REVIEW: INFO  
REMARKS: 11/8/23 - add waivers if requested in the future
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.18.2.G - Easement requirements of each utility shall be indicated by the utility on a copy of the Preliminary Plat or by letter. (Letters/emails of easement acceptance due with improvement plan.)  
STATUS OF REVIEW: INFO  
REMARKS:
- 8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.19.4.C - No Final Plat shall be accepted for filing by the Clerk of the Circuit Court until...an MSBU, CDD, or other special district for the purposes of maintaining the improvements for this plat has been established  
STATUS OF REVIEW: INFO  
REMARKS:

9 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 6.3.1.F(1) - A copy of the documents demonstrating the establishment of a corresponding MSBU, CDD, or other State recognized special district responsible for the maintenance and operation of the dedicated improvements

STATUS OF REVIEW: INFO

REMARKS:

10 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

11 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.11 - Landscape installation

STATUS OF REVIEW: INFO

REMARKS: Installation of required plant material shall mean survival in perpetuity

12 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Improvement Plan

STATUS OF REVIEW: INFO

REMARKS: IF APPLICABLE:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

13 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.7 - Geotechnical Criteria

STATUS OF REVIEW: NO

REMARKS: (1) Please note that the LDC requires a minimum of two borings per DRA, with an additional boring for each half acre of pond bottom. Pond N1B does not meet this requirement as reviewer was unable to locate a geotechnical report with a boring B-5 south of 95th Street. Pond N1C does not meet this requirement due to boring B-26 falling outside of the footprint of DRA. (2) Please also note that the LDC requires that for each retention/detention area utilizing percolation or infiltration in the design model, there shall be a minimum of two infiltration rate tests for each retention/detention area. Pond N1B does not meet this requirement as reviewer was unable to locate a geotechnical report with a boring B-5 south of 95th Street. Pond N1C does not meet this requirement due to boring B-26 falling outside of the footprint of DRA. (3) Please clarify which report the boring B-4 and B-5 on the south side of 95st street is included. Reviewer only able to located a boring B-4 and B-5 in a Geotech report north of SW 95th Street Road.

14 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(1)/(2) - Contributing Basins/Tc

STATUS OF REVIEW: NO

REMARKS: Please provide a table of the lots with a breakdown of the impervious area allocated to each lot. Include the areas allotted for the building, driveway, patio areas, accessory structures (pools, patios, sheds, guest houses, etc.). Please provide the areas in square feet. The impervious number for the lots cannot include the roadway. Zoning and stormwater staff need to be able to determine how much impervious is allocated to each lot for permitting structures.

15 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.4 - Stormwater Quantity Criteria

STATUS OF REVIEW: NO

REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"

16 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis

STATUS OF REVIEW: NO

REMARKS: (1) Engineer to provide documentation that the proposed stages in the modified DRAs won't negative impact the drainage system on SW 95th Street Road. (2) Conveyance system calcs need to be verified when soil boring concerns are addressed.

- 17 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.4.C - Discharge Conditions  
STATUS OF REVIEW: NO  
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 18 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(6) - Freeboard  
STATUS OF REVIEW: NO  
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.4.D - Recovery Analysis  
STATUS OF REVIEW: NO  
REMARKS: See comment under "6.13.2.B(4) - Hydrologic Analysis"
- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis  
STATUS OF REVIEW: NO  
REMARKS: (1) Please provide swale calculations for review. (2) Since the conveyance systems from SW 95th Street Road are being modified, provide updated conveyance system calculations for review.
- 21 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.  
STATUS OF REVIEW: NO  
REMARKS: After all stormwater comments are resolved, please upload a digitally signed and sealed report. A hard copy signed and sealed report can be submitted if desired.
- 22 DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Additional Stormwater comments  
STATUS OF REVIEW: NO  
REMARKS: (1) Modification to the County's conveyance system will require modification of existing agreements regarding maintenance and ownership. Contact the reviewer to discuss further. (2) If you have questions or would like to discuss the stormwater review comments, please contact Kevin Vickers, PE at 352-671-8695 or [kevin.vickers@marionfl.org](mailto:kevin.vickers@marionfl.org).
- 23 DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: Additional Traffic comments  
STATUS OF REVIEW: NO  
REMARKS: 11/6/23 - The traffic study identified the need for offsite improvements. These improvements must be constructed or a developer's agreement entered into for future construction.
- 24 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.18.2.B - Improvement Plan fee of \$1,200.00 + (\$10.00 x per lot)  
STATUS OF REVIEW: NO  
REMARKS: 2/26/24 - fee due with resubmittal  
11/8/23 - fee due with resubmittal



- 25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Additional Utilities comments  
STATUS OF REVIEW: NO  
REMARKS: Sheet 7.01 shows connecting page as "see 7.02" but should be "see 8.02" according to offsite pages numbering
- 26 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Additional Utilities comments  
STATUS OF REVIEW: NO  
REMARKS: Sheet 7.01 - Label force main east of lift station as 16" since the diameter changes at the LS.
- 27 DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Additional Utilities comments  
STATUS OF REVIEW: NO  
REMARKS: Reference sheet 7.01 new sanitary sewer construction - identify how the force main will be protected during the new SS construction.
- 28 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.5 - Landscape area requirements for residential and mixed use developments  
STATUS OF REVIEW: NO  
REMARKS: submit HOA docs showing Florida Friendly principles
- 29 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.6 - Buffers  
STATUS OF REVIEW: NO  
REMARKS: 1. Part of Type C buffer along SW 95th St Rd is outside of the buffer area due to conflict with underground utility, waiver required, staff supports. This section of buffer does not match the Masterplan detail.
- 30 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)  
STATUS OF REVIEW: NO  
REMARKS: Sleeving plan does not show irrigation sleeving



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

AR 30472

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 3/5/2024 Parcel Number(s): 35700-000-04 Permit Number: AR#30472

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Pioneer Ranch Ph 5 Commercial ☐ Residential ☒  
Subdivision Name (if applicable): \_\_\_\_\_  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Tract \_\_\_\_\_

**B. PROPERTY OWNER'S AUTHORIZATION:** The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): 95th Street Holdings, LLC  
Signature: \_\_\_\_\_  
Mailing Address: 1415 SW 17th Street City: Ocala  
State: FL Zip Code: 34471 Phone #: (352) 624-0120  
Email address: chris@armstronghomes.net

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Tillman & Associates Engineering, LLC Contact Name: Timothy Brooker, P.E.  
Mailing Address: 1720 SE 16th Ave., Bldg 100 City: Ocala  
State: FL Zip Code: 34471 Phone #: (352) 387-4540  
Email address: permits@tillmaneng.com

**D. WAIVER INFORMATION:**

Section & Title of Code (be specific): 6.13.7 - Geotechnical Criteria  
Reason/Justification for Request (be specific): Applicant requests waiver to use the number of borings and infiltration tests as provided. During design, some modifications were needed that made some of the borings outside the DRA.  
The soil strata of each boring is consistent.

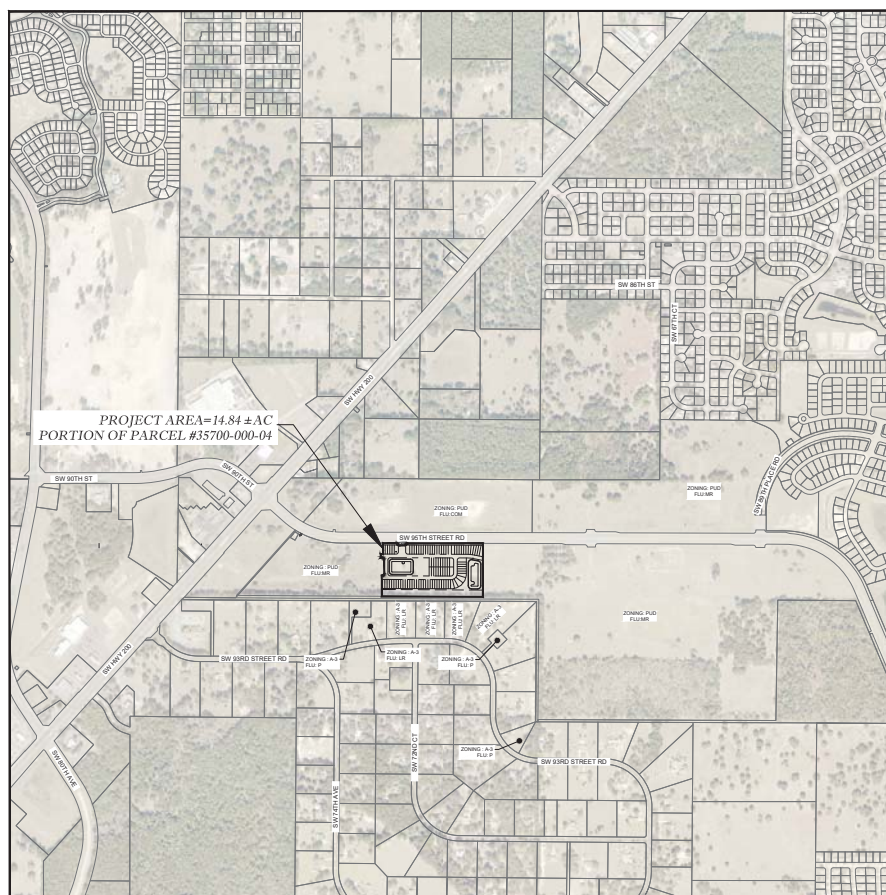
**DEVELOPMENT REVIEW USE:**

Received By: Email 3/6/24 Date Processed: 3/15/24 BM Project #: 2023080013 AR #: 30472

**ZONING USE:** Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐  
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Land Use: \_\_\_\_\_ Plat Vacation Required: Yes ☐ No ☐  
Date Reviewed: \_\_\_\_\_ Verified by (print & initial): \_\_\_\_\_







**Williams & Associates**  
— ENGINEERING, LLC —  
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL  
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545  
COURTESY STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION

## REVIEWS

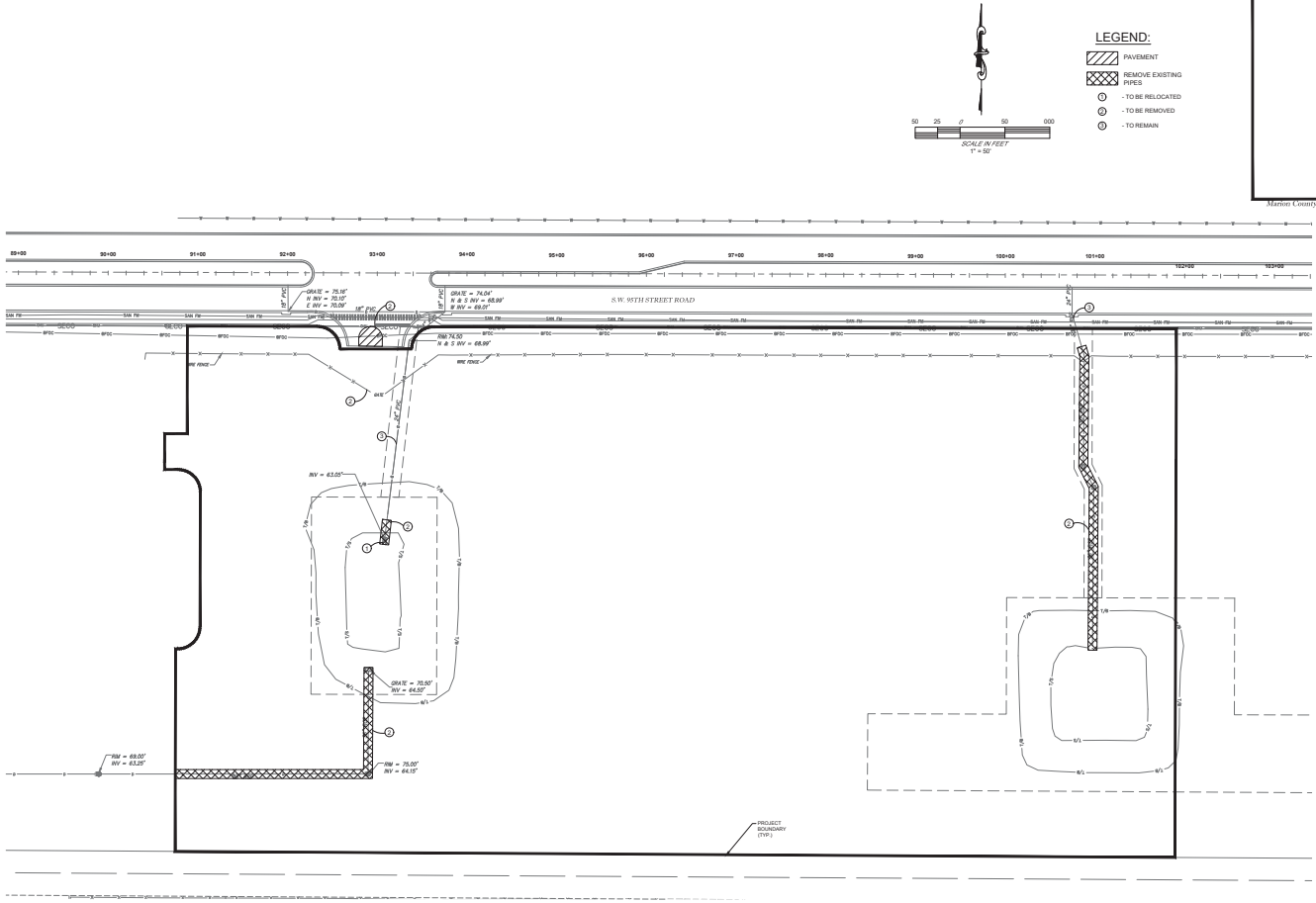
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**IMPROVEMENT PLANS  
PIONEER RANCH PHASE 5  
MARION COUNTY, FLORIDA**

DATE 1/29/2024  
DRAWN BY AS  
CHKD. BY TB  
JOB NO. 21-7135

SHT. 03.01





Marion County Approval Stamp

**Marion County**  
 1720 SE 18th Ave. Bldg. 100, Ocala, FL 34471  
 Office: (352) 387-4540 Fax: (352) 387-4545

REVISIONS

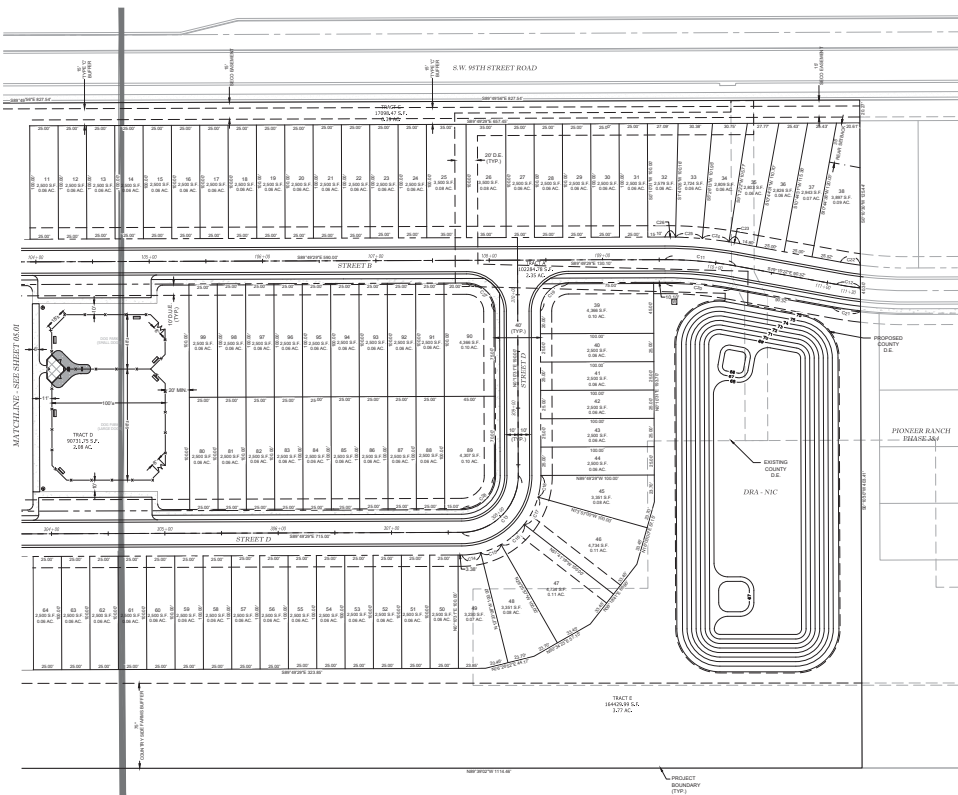
IMPROVEMENT PLANS  
 PIONEER RANCH PHASE 6  
 MARION COUNTY, FLORIDA  
 DEMOLITION PLAN

DATE: 7/27/2023  
 DRAWN BY: JLB  
 CHECKED BY: JLB  
 JOB NO: 22-2115

SHEET 04.01

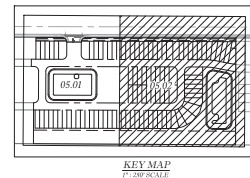
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SEGMENT	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
C14	107°30'00"	345.00'	62.72'	62.62'	S87°32'28"E
C15	17°52'20"	70.00'	19.33'	19.33'	N87°30'30"E
C16	27°10'40"	70.00'	27.00'	27.00'	N87°10'00"E
C17	29°10'40"	70.00'	27.00'	27.00'	N87°10'00"E

SEGMENT	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
C14	107°30'00"	345.00'	62.72'	62.62'	S87°32'28"E
C15	17°52'20"	70.00'	19.33'	19.33'	N87°30'30"E
C16	27°10'40"	70.00'	27.00'	27.00'	N87°10'00"E
C17	29°10'40"	70.00'	27.00'	27.00'	N87°10'00"E
C18	15°52'20"	70.00'	19.33'	19.33'	N87°30'30"E
C19	40°10'00"	25.00'	35.27'	35.30'	N40°10'00"E
C20	107°30'00"	345.00'	62.72'	62.62'	S87°32'28"E
C21	17°52'20"	70.00'	19.33'	19.33'	N87°30'30"E
C22	27°10'40"	70.00'	27.00'	27.00'	N87°10'00"E
C23	29°10'40"	70.00'	27.00'	27.00'	N87°10'00"E
C24	15°52'20"	70.00'	19.33'	19.33'	N87°30'30"E
C25	40°10'00"	25.00'	35.27'	35.30'	N40°10'00"E
C26	107°30'00"	345.00'	62.72'	62.62'	S87°32'28"E
C27	17°52'20"	70.00'	19.33'	19.33'	N87°30'30"E
C28	27°10'40"	70.00'	27.00'	27.00'	N87°10'00"E



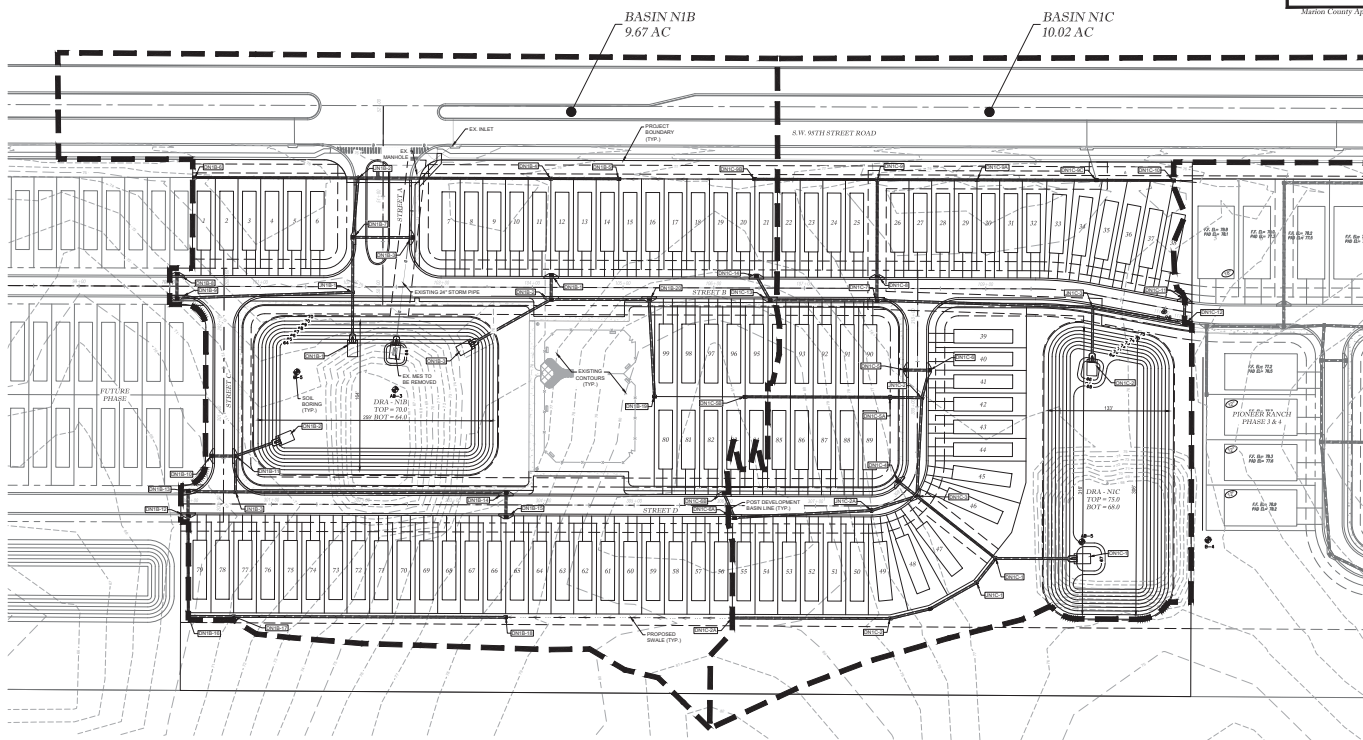
**Marion County, Florida**  
**ENGINEER, INC.**  
 CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - SURVEYING  
 1720 SE 10th Ave, Room 100, Ocala, FL 34471  
 PHONE: (352) 236-1111  
 FAX: (352) 236-1112  
 E-MAIL: info@marioncountyfla.com

REVISION	DATE	BY	APP'D
1	05.02	AS	JD

**GEOMETRY PLAN**  
 PIONEER RANCH PHASE 5  
 MARION COUNTY, FLORIDA

DATE: 1/26/2011  
 DRAWN BY: AS  
 CHECK BY: JD  
 FORNO: 11-102-2-014  
 05.02

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**Thompson & Associates**  
— ENGINEERING, LLC. —  
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL  
1720 SE 16th Ave., Bldg 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4546

## REFERENCES

DATE

MOVEMENT PLANS  
DEER RANCH PHASE  
MON COUNTY, FLORIDA

MASTER DRAINAGE PLAN

DATE 1/29/2024  
DRAWN BY AS  
CHKD. BY TR  
JOB NO. 21-7135

SHT. 06.01

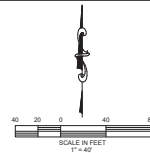
1. A METEORIZED JUNCTION CONNECTION WITH AN BRACKFILL PREVENTION ASSEMBLY IS REQUIRED BETWEEN THE EXISTING WATER MAIN AND NEWLY INSTALLED WATER MAIN LIFT. ALL CLEARANCES HAVE BEEN MAINTAINED AND COORDINATED WITH THE CITY OF FLORENCE, VA FOR FIRE HYDRANT AND PROPOSED SHALL BE KEPT OPEN UNTIL AUTHORIZED PERSONNEL OF MARION COUNTY DEEM APPROPRIATE. TO PLACE INTO SERVICE, THE NEWLY INSTALLED WATER MAIN SHALL BE BELLED TO CONFORM TO THE LATEST CITY OF FLORENCE, VA SPECIFICATIONS. PLEASE ADVISE.
2. ALL FIRE HYDRANTS TO BE INSTALLED, TESTED, AND PAINTED ACCORDING TO FLOW RATES AND WPI 285. BY A THIRD PARTY. A THIRD PARTY CONTRACTOR WILL PROVIDE THE MARION COUNTY FIRE PREVENTION OFFICE WITH A COPY OF THE INSTANT FLOW RATE.
3. ALL FIRE HYDRANTS TO BE INSTALLED ACCORDING TO FLOW RATES AND WPI 285 STANDARDS.
4. REFER TO DETAIL U7109 FOR UTILITIES OUTSIDE OF ROADWAY.
5. MINIMUM 2' SEPARATION BETWEEN WATER MAIN AND SIGNS TO ALLOW FOR REPAIR AND MAINTENANCE OF UTILITIES.
6. ALL PROPOSED SERVICES FOR IRRIGATION WILL REQUIRE A 70% OF 12" DIETER BOX INSTALLED TO GRADE WITH THE SERVICE BURIED AT MINER INSTALLATION DEPTH.

WATER MAIN  
FIRE HYDRANT ASSEMBLY  
TEE  
BEND  
DOUBLE SERVICE  
SINGLE SERVICE  
GATE VALVE & BOX  
REDUCER  
BLOW OFF ASSEMBLY  
SAMPLE POINT NUMBER  
FIRE HYDRANT NUMBER

(A)

	SANITARY SEWER
	MANHOLE
	SANITARY MANHOLE NUMBER
	DOUBLE SERVICE
	SINGLE SERVICE

ALL PROPOSED POTABLE WATER AND SANITARY SEWER INFRASTRUCTURE SHALL COMPLY WITH THE LATEST MARION COUNTY SPECIFICATIONS.



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**Williams & Associates**  
— ENGINEERING, LLC. —  
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL  
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545

## REFERENCES

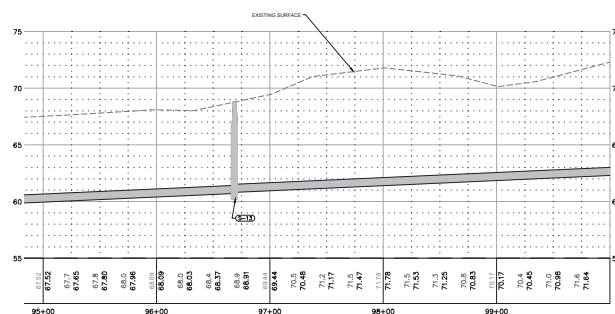
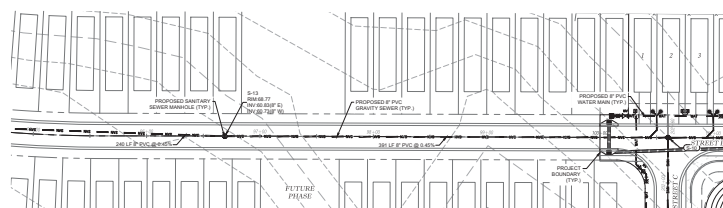
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# EMENT PLANS R R RANCH PHASE 5 COUNTY, FLORIDA MASTER UTILITY PLAN

DATE 1/29/2024  
DRAWN BY AS  
CHKD. BY TR  
JOB NO. 21-7135

SHT. 07.01





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**William & Associates**  
— ENGINEERING, LLC. —  
ARCHITECTURAL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL  
1720 SE 16th Ave., Bldg 100, Ocala, FL 34471  
Office: (352) 387-4640 Fax: (352) 387-4645

CONCLUSION

DATE:

IMPROVEMENT PLANS  
PIONEER RANCH PHASE  
MARION COUNTY, FLORIDA

## OFFSITE UTILITY PLAN

DATE 1/29/2024  
DRAWN BY AS  
CHKD. BY TR  
JOB NO. 21-7135

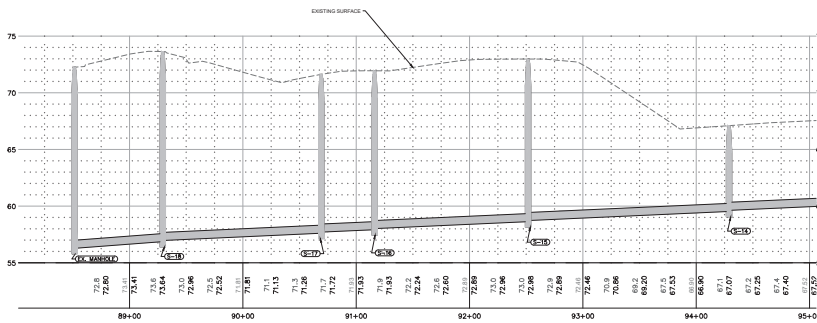
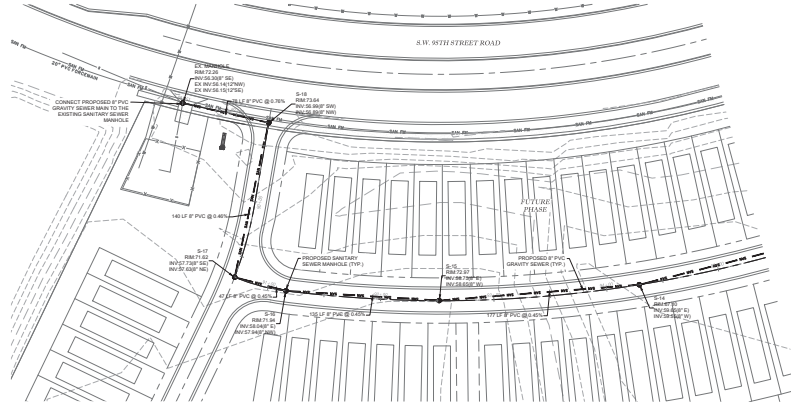
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WATER LEGEND:

- WATER MAIN
- FIRE HYDRANT ASSEMBLY (FHA)
- TEE
- END
- DOUBLE SERVICE
- SINGLE SERVICE
- GATE VALVE & BOX
- REDUCER
- BLOW OFF ASSEMBLY
- SAMPLE POINT NUMBER
- SAMPLE POINT

SANITARY SEWER LEG END:

- SANITARY SEWER
- MANHOLE
- SANITARY MANHOLE NUMBER
- DOUBLE SERVICE
- SINGLE SERVICE



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REVISIONS

OFFSITE UTILITY PLAN

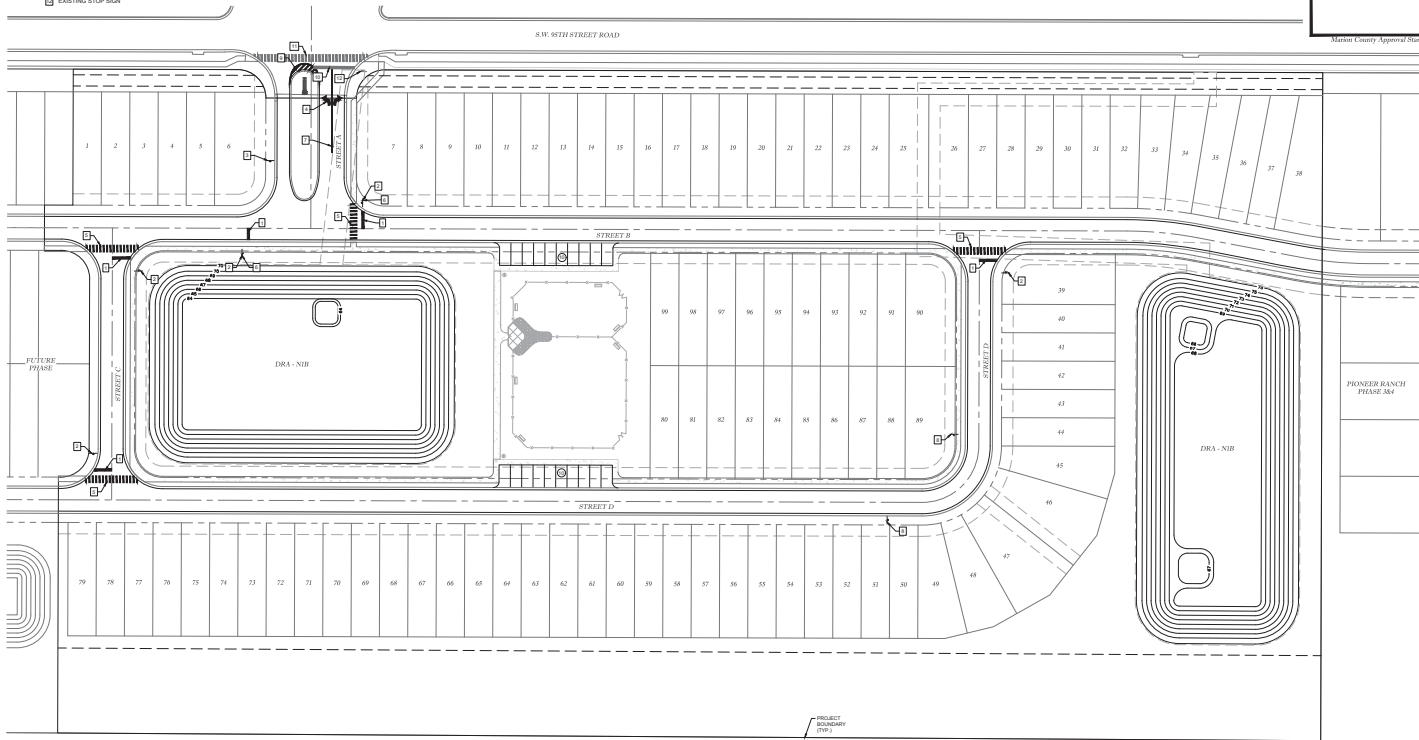
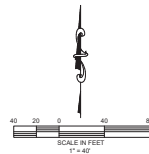
DATE: 12/20/2011  
DRAWN BY: AS  
CHECKED BY: TB  
JOB NO: 11-2114

SHEET 08.02

- 13 24" WHITE STOP BAR
- 14 "STOP" SIGN (R1-1) w/COMBINED STREET SIGNS
- 15 "SPEED LIMIT 25MPH" SIGN (R2-1)
- 16 SOLID WHITE DIRECTIONAL ARROWS
- 17 12" WHITE SOLID CROSSWALK (R-4 LONG)
- 18 "ONCOMING TRAFFIC DOES NOT STOP" SIGN (W4-4P)
- 19 "YIELD" SIGN (R6-1)
- 20 CURVE WARNING SIGNS (W1-1L OR W1-1R)  
w/ADVISORY SPEED PLaque 15MPH (W1P-1S)
- 21 CORNER STRIPING
- 22 EXISTING STOP BAR
- 23 EXISTING CROSSWALK
- 24 EXISTING STOP SIGN

1. ALL STREET NAME SIGNAGE PER 911 MANAGEMENT PLAN (STREET RN.01)

C/L RADIUS	DESIGN	POSTED
107'-197'	20	20
50'-106'	15	15
19'-49'	10	15



Marion County Approval Stamp

PIONEER RANCH  
DEASE 164

**William & Associates**  
— ENGINEERING, LLC. —  
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL  
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545  
CREDIT CARD AUTHORIZATION # 26755

REVISIONS

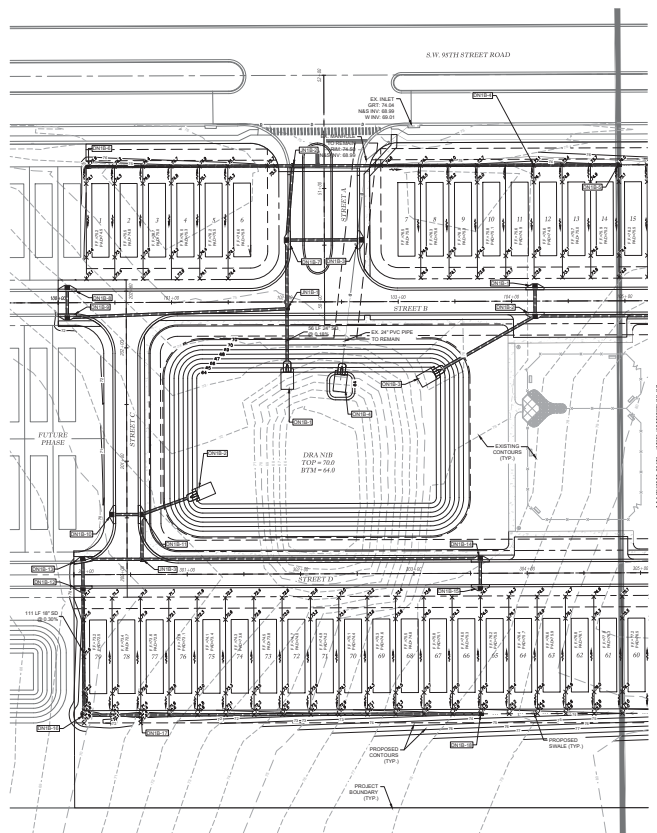
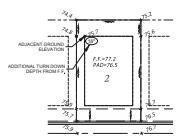
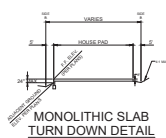
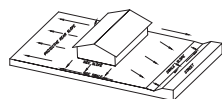
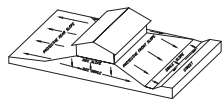
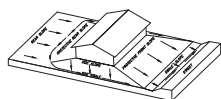
DATE

IMPROVEMENT PLANS  
IONEER RANCH PHASE 5  
MARION COUNTY, FLORIDA

## SIGNAGE & STRIPING PLAN

DATE 1/29/2024  
DRAWN BY AS  
CHKD. BY TR  
JOB NO. 21-7135

SHT. 09.01



### GRADING LEGEND

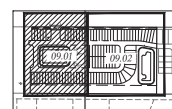
- 

GENERAL:

- 1% MINIMUM GRADE ALONG LOT LINES UNLESS OTHERWISE DENOTED.
- 2% MAXIMUM SLOPE ANYWHERE ON SITE, UNLESS OTHERWISE DENOTED.
- IF (S-7) DIFFERENCE FROM PAD TO FINISHED FLOOR.
- MINIMUM 1% SLOPE FROM PAD TO ADJACENT LOT CORNER UNLESS OTHERWISE DENOTED.
- IF FINAL PRODUCT FALLS OUTSIDE OF PRESCRIBED, ENGINEER MUST

## DRIVEWAYS

- RESTRICT DRIVEWAYS TO HIGH SIDE OF LOT IF STEEPER THAN 8% (BASED ON 25' DRIVEWAY).



### KEY MAP

Marion County Approval Stamp

A vertical stamp with a decorative flourish in the center. Below the flourish is a horizontal scale bar with markings at 40', 20', 0, 40', and 80'.

**Willmott & Berke**  
— ENGINEERING, LLC —  
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • ENVIRONMENTAL  
1720 SE 16th Ave. Bldg 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545  
CERTIFICATION OF AUTHORIZATION # 26756

REVISIONS

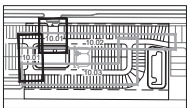
IMPROVEMENT PLANS  
PIONEER RANCH PHASE 5  
MARION COUNTY, FLORIDA

DATE 1/29/2024  
DRAWN BY AS  
CHKD. BY TB  
JOB NO. 21-7135

SHT. 10.01



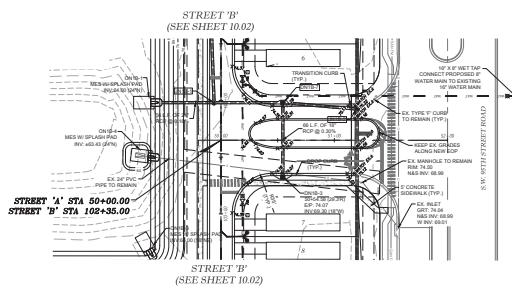




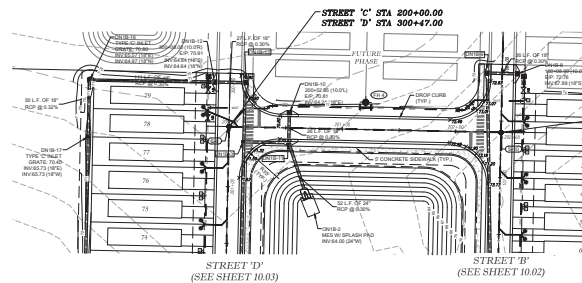
KEY MAP  
SCALE 1" = 50'

- WATER LEGEND:**
- WATER MAIN
  - FIRE HYDRANT ASSEMBLY (FHA)
  - TIE
  - WALL
  - WATER VALVE & BOX
  - REDUCER
  - BLOW OFF ASSEMBLY
  - FIRE HYDRANT NUMBER
  - SINGLE WATER SERVICE
  - DOUBLE WATER SERVICE
- SANITARY SEWER LEGEND:**
- SANITARY SENDER
  - MANHOLE
  - MANHOLE NUMBER
  - SINGLE SANITARY SERVICE
  - DOUBLE SANITARY SERVICE
- STORM WATER LEGEND:**
- STORM CURB INLET
  - STORM MANHOLE
  - STORM PIPE
  - STORM STRUCTURE ID

NOTE:  
INSTALL SEWER LATERALS 1' FROM PROPOSED BACK OF CURB.  
INSTALL WATER LATERALS 1' FROM PROPOSED BACK OF CURB.

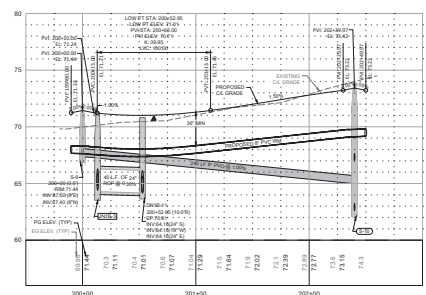
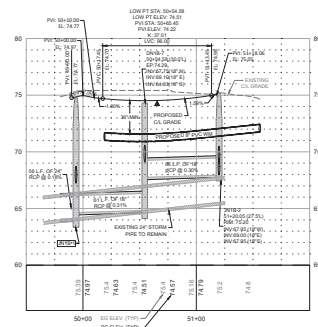
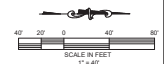


STREET 'A'



STREET 'C'

Marion County Approval Stamp  
STREET 'C' STA 200+40.00  
STREET 'B' STA 100+60.00



HORIZ. SCALE 1" = 40'  
VERT. SCALE 1" = 4'

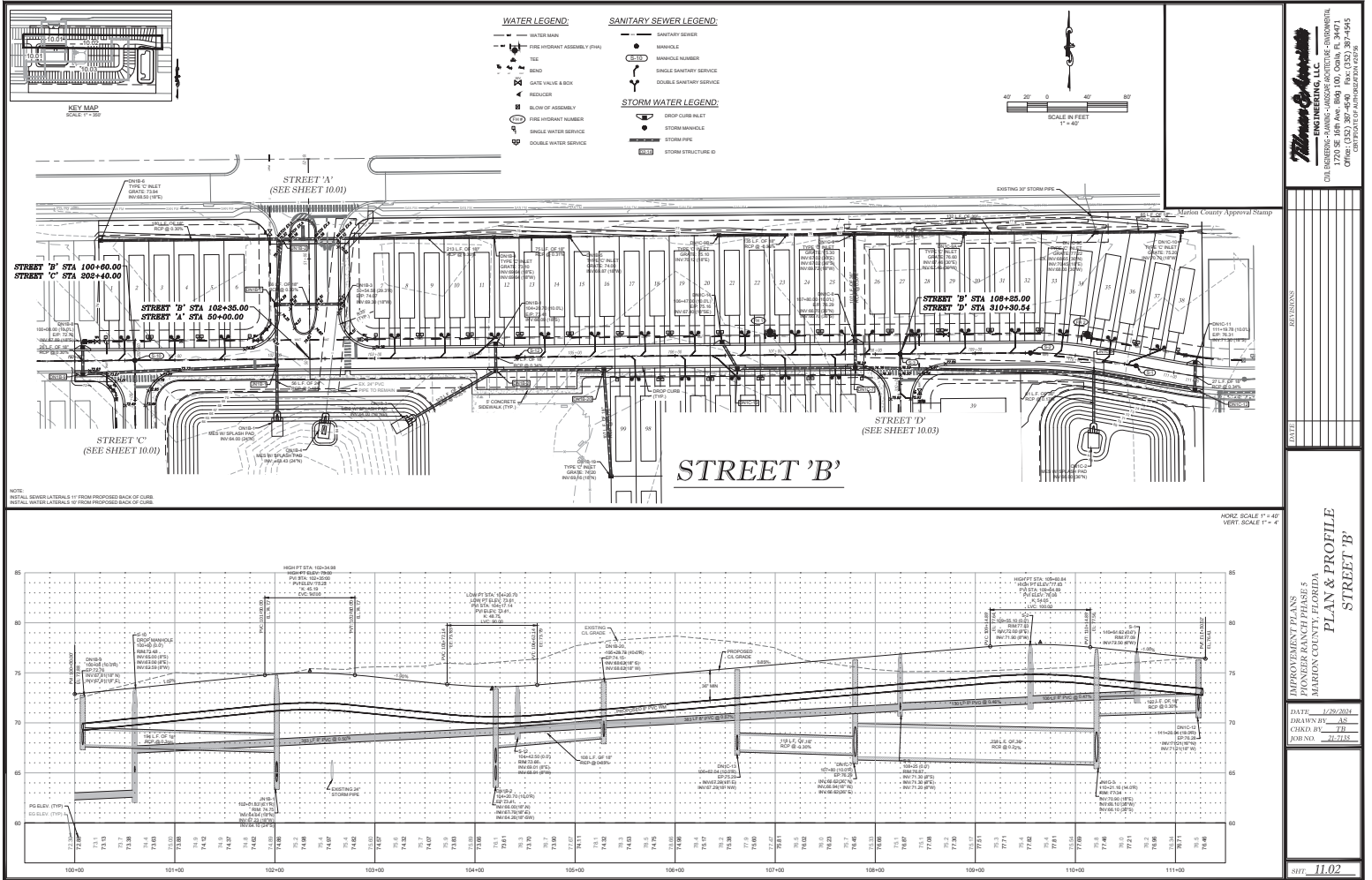
**Marion County**  
ENGINEERING, LLC  
1720 SE 18TH AVE, SUITE 100, OPAWA, FL 33471  
CITY OF OPAWA, FL 33471  
CITY OF OPAWA, FL 33471

DATE	BY	CHKD.	APP.
11/01	AS	TS	TS

IMPROVEMENT PLAN  
STREET 'A' & 'C'  
MARION COUNTY, FLORIDA  
PROJECT NO. 11-01

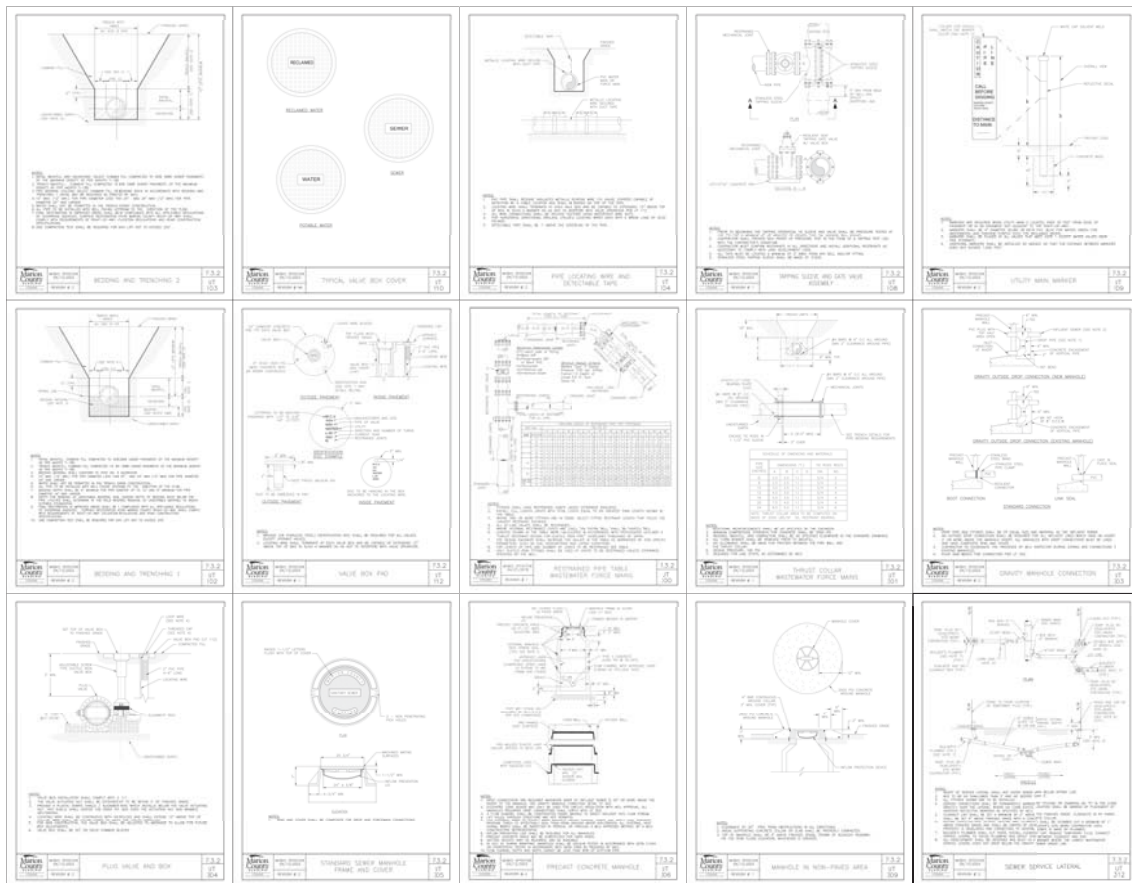
DATE: 11/01/2024  
DRAWN BY: AS  
CHECKED BY: TS  
JOB NO.: 11-01

SHEET 11.01





NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER



Marion County Approval Stamp

**Marion County**  
ENGINEERING, LLC  
CIVIL ENGINEERING - PLANNING - LANDSCAPE ARCHITECTURE - SURVEILLANCE  
7720 SE 10th Ave, Suite 100, Ocala, FL 34471  
904.236.1111  
FLORIDA PROFESSIONAL ENGINEERING CERTIFICATE NO. 12475

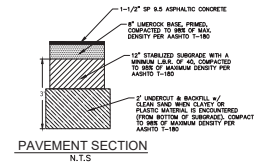
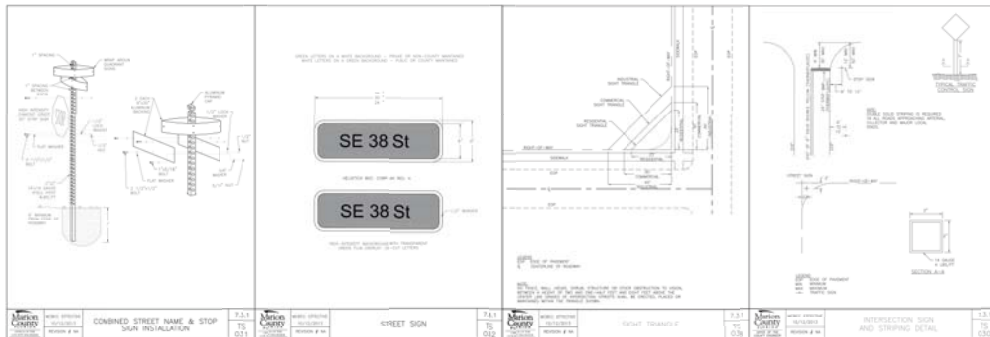
REVISIONS

**SANITARY SEWER DETAILS**  
REVISIONS  
DRAWN BY: **JA**  
CHECKED BY: **JA**  
DATE: **11-21-10**

PROJECT: **PIONEER RANCH PHASE 5**  
LOCATION: **MARION COUNTY, FLORIDA**

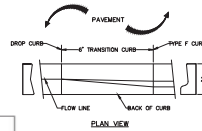
DATE: **1/26/2011**  
DRAWN BY: **JA**  
CHECKED BY: **JA**  
DATE: **11-21-10**



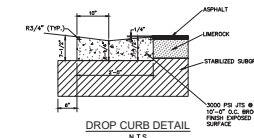


PAVEMENT SECTION  
N.T.S.

NOTE: CONTRACTOR TO INCORPORATE RECOMMENDATIONS FROM GEOTECHNICAL REPORT.

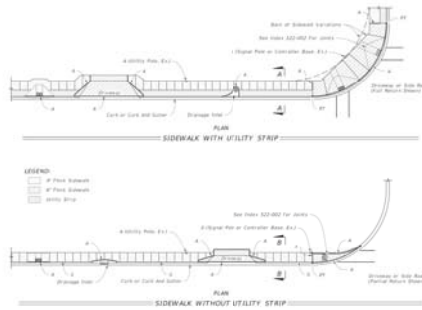


TRANSITION CURB  
DROP CURB TO TYPE F  
N.T.S.



DROP CURB DETAIL  
N.T.S.

- GENERAL NOTES:**
1. Construct sidewalks in accordance with Florida Statute 322.02 (1) (a) for concrete for sidewalks and curb. Sidewalks shall be constructed with concrete. Curb shall be constructed with concrete. All other materials and dimensions shall comply with the Florida Statute.
  2. For concrete sidewalks, use 3000 PSI concrete.
  3. All concrete sidewalks shall be constructed with a minimum of 4" thickness. All other materials and dimensions shall comply with the Florida Statute.
  4. All concrete sidewalks shall be constructed with a minimum of 4" thickness. All other materials and dimensions shall comply with the Florida Statute.
  5. All concrete sidewalks shall be constructed with a minimum of 4" thickness. All other materials and dimensions shall comply with the Florida Statute.



LEGEND

4" Thick Concrete

4" Thick Concrete

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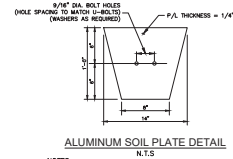
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DATE	DESCRIPTION	DATE	DESCRIPTION
11/11/2023	11/11/2023	11/11/2023	11/11/2023

GENERAL NOTES AND CONCRETE SIDEWALK ON CURBED ROADWAYS  
CONCRETE SIDEWALK

11/11/2023

11/11/2023



ALUMINUM SOIL PLATE DETAIL  
N.T.S.

NOTES:

1. ALUMINUM SOIL PLATE BOTTOM AT 2\"/>

2. SLEET UP TO 1\"/>

3. RECTANGULAR SOIL PLATE OF SIZE 1\"/>

"ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE."

NOTES:

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER OR OWNER A COPY OF ALL PERTINENT PERMITS RELATED TO THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL THE NECESSARY PERMITS AND TO COMPLY WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS.
2. GRADES AND ELEVATIONS OF EXISTING SOILS SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. CONTRACTOR IS TO COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.

**Marion County**  
ENGINEERING, LLC  
2720 SE 18th Ave, Suite 100, Ocala, FL 34471  
OFFICE: 352.236.1111  
CELL: 352.236.1111  
FAX: 352.236.1111

Marion County Approval Stamp

DATE: 11/11/2023

TIME: 11:11 AM

11/11/2023

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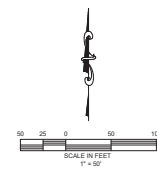
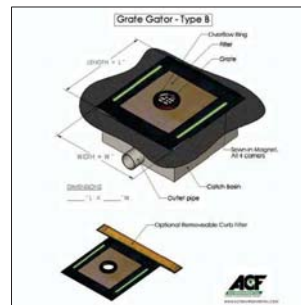
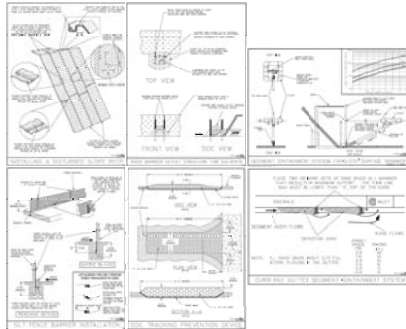
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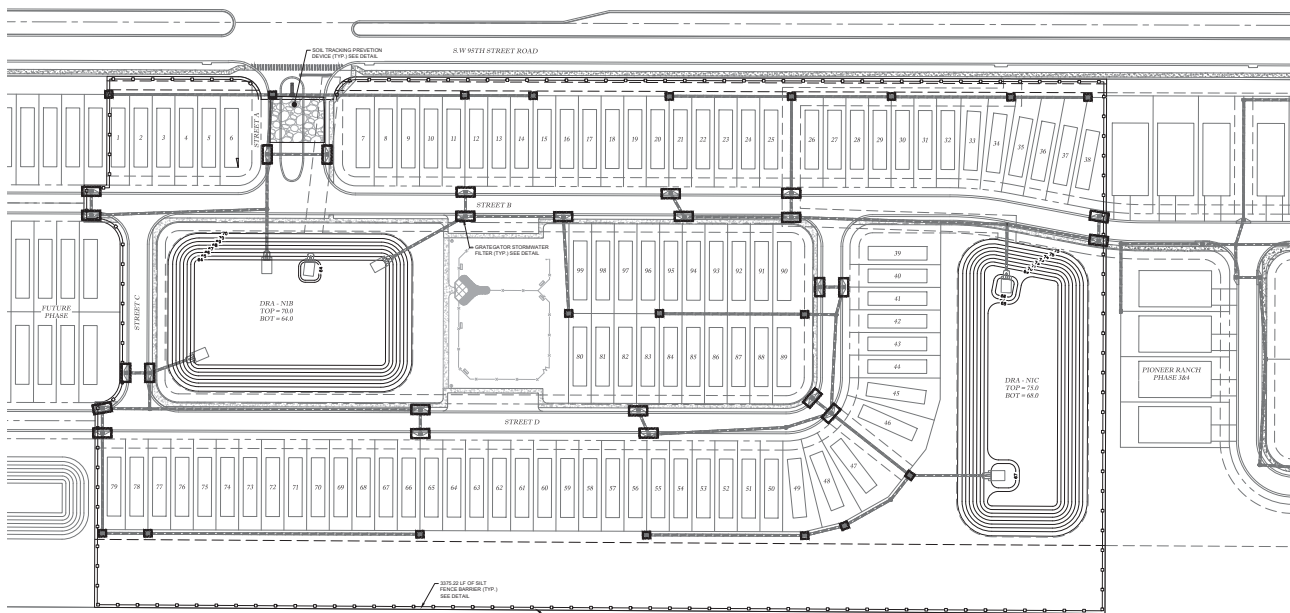
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**EROSION CONTROL LEGEND**

———— PROJECT BOUNDARY

—●—●—●— PROPOSED SILT FENCE

Marion County Approval Stamp



**William S. Anderson**  
—ENGINEERING, LLC—  
CIVIL ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • BUSINESS/RETAIL  
1720 SE 16th Ave, Bldg 100, Ocala, FL 34471  
Office: (352) 387-4540 Fax: (352) 387-4545  
CERTIFICATION OF AUTHORIZATION #2879

REVISIONS

DATE \_\_\_\_\_

IMPROVEMENT PLANS  
PIONEER RANCH PHASE 5  
MARION COUNTY, FLORIDA

## EROSION CONTROL PLAN

DATE 1/29/2024  
DRAWN BY AS  
CHKD. BY TR  
JOB NO. 21-7135

SHT. 16.01

NOT VALID UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER

Project: 16-BRANCH DEVELOPMENT, 806 26TH ST SE, SUITE 110		Project No: 16-1747-01-0	
Billing Location: 1000 37TH PLACE		Engineer: SUNDANCE	
Client: CHESAIR INTERNATIONAL		Endowment: 100% PLAIN	
Depth (ft)	Description	Thickness (ft)	Remarks
0	Gravel Surface	0.2	
0	FINE SAND TO LIGHT BROWN FINE SAND (SP)		
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Log of Borehole: B-6		Project No.: 15-1747-01-1	<b>GEO-TECH</b> Geotechnical Consulting Engineers 1000 10th Avenue Calgary, Alberta T2C 1P4 Phone: 403.243.0000 www.geotechnical.ca
Project: 06 IN-0403 DEVELOPMENT, 600 N 6TH ST, RD. 100A, PL		Engineer: K. J. GARDNER	
Boring Location: 06B SITE PLUG		End User: SITE PLUG	
Client: CH2M HILL		End User: SITE PLUG	
Depth (ft)	Description	Depth (m)	Remarks
0	Ground Surface	0.0	
1	1.00	0.30	
2	2.00	0.61	
3	3.00	0.91	
4	4.00	1.22	
5	5.00	1.52	
6	6.00	1.83	
7	7.00	2.13	
8	8.00	2.44	
9	9.00	2.74	
10	10.00	3.05	
11	11.00	3.35	
12	12.00	3.66	
13	13.00	3.96	
14	14.00	4.27	
15	15.00	4.57	
16	16.00	4.88	
17	17.00	5.18	
18	18.00	5.49	
19	19.00	5.79	
20	20.00	6.10	
21	21.00	6.40	
22	22.00	6.71	
23	23.00	7.01	
24	24.00	7.32	
25	25.00	7.62	
26	26.00	7.93	
27	27.00	8.23	
28	28.00	8.54	
29	29.00	8.84	
30	30.00	9.14	
31	31.00	9.45	
32	32.00	9.75	
33	33.00	10.06	
34	34.00	10.36	
35	35.00	10.67	
36	36.00	10.97	
37	37.00	11.28	
38	38.00	11.58	
39	39.00	11.88	
40	40.00	12.19	
41	41.00	12.49	
42	42.00	12.80	
43	43.00	13.10	
44	44.00	13.41	
45	45.00	13.71	
46	46.00	14.02	
47	47.00	14.32	
48	48.00	14.63	
49	49.00	14.93	
50	50.00	15.24	
51	51.00	15.54	
52	52.00	15.85	
53	53.00	16.15	
54	54.00	16.46	
55	55.00	16.76	
56	56.00	17.07	
57	57.00	17.37	
58	58.00	17.68	
59	59.00	17.98	
60	60.00	18.29	
61	61.00	18.59	
62	62.00	18.90	
63	63.00	19.20	
64	64.00	19.51	
65	65.00	19.81	
66	66.00	20.12	
67	67.00	20.42	
68	68.00	20.73	
69	69.00	21.03	
70	70.00	21.34	
71	71.00	21.64	
72	72.00	21.95	
73	73.00	22.25	
74	74.00	22.56	
75	75.00	22.86	
76	76.00	23.17	
77	77.00	23.47	
78	78.00	23.78	
79	79.00	24.08	
80	80.00	24.39	
81	81.00	24.69	
82	82.00	25.00	
83	83.00	25.30	
84	84.00	25.61	
85	85.00	25.91	
86	86.00	26.22	
87	87.00	26.52	
88	88.00	26.83	
89	89.00	27.13	
90	90.00	27.44	
91	91.00	27.74	
Ground Water Depth Not FLOWED			Colored by PGCEB
Soil Color: UNWEATHERED, UNDISTURBED			Soil Method: ASTM D2958
Remarks: OPTIMIZED SOIL CLASSIFICATION SYMBOL, AS DETERMINED BY VISUAL REVIEW			Soil Profile: 16.17.17

# Log of Borehole 09-26

## Log of Borehole RB-08

Project: GEOTECH DEVELOPMENT, 500 BETH RD. SCARLA, IL

Project No. 20-170-00-0

Boring Location: 0002 SITE PLANS

Original: 10/20/20

Client: CH2M HILL

Enduse: 10/20/20

Depth (ft)	Chart	Description	Depth (m)	Notes	Remarks
0		Gravel Surface	0.0		
3		FINE SAND BROWN FINE SAND (A-1)			
4					
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Ground Water Depth: NOT LOGGED

Site Date: 09/04/2020 (A. JONES)

Preparing: H. J. JANSZKO FOR CH2M HILL CONSULTING LTD.

Drawn By: H. JANSZKO

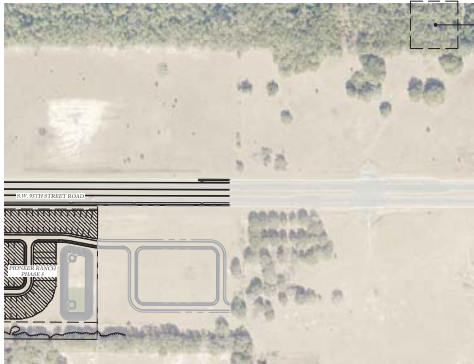
200 Worksheet: 10/20/20/00-0

Rev: 00/00/00, 00/00/00

[illegible][illegible]

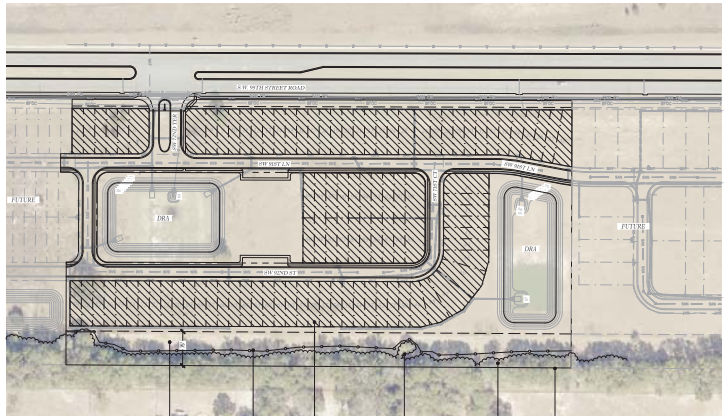






ONE-ACRE SAMPLE AREA  
BY TREES WITH A TOTAL OF 2,007"

ONE-ACRE TREE SAMPLE LOCATION MAP (PER MASS GRADING)  
SCALE: 1" = 200'



FOR APPROVED MASTER PLAN, EXISTING TREES AND UNDERSTORY SHALL REMAIN WITHIN THE 75' BUFFER

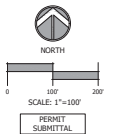
TREE PROTECTION BARRICADE

SINGLE FAMILY EXCLUSION

EXISTING TREELINE LOCATION IS APPROXIMATE SEE ABOVE

SURVEY SHOWING NO EXISTING TREES 30' +/- IN THIS PHASE

PROJECT BOUNDARY



**W. J. & S. J. ENGINEERING, LLC**

1730 SE 10TH AVE, SUITE 100, OPA, FL 33401

OFFICE: (352) 387-4500 FAX: (352) 387-4545

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

IMPROVEMENT PLANS

PIONEER RANCH PHASE 3

MARION COUNTY, FLORIDA

**TREE PRESERVATION PLAN**

DATE: 1/26/2024

DRAWN BY: JRP

CHECKED BY: JRP

JOB NO: 24-0129

L1.01







[illegible]

DURING CONSTRUCTION, THE CONTRACTOR SHALL DOCUMENT THE ACTUAL FIELD INSTALLATIONS OF THE IRRIGATION SYSTEM. THE CONTRACTOR SHALL MARK-UP A COPY OF THE APPROVED DESIGN PLAN AND PROVIDE TO THE LANDSCAPE ARCHITECT FOR APPROVAL. A CLEAR AND LEGIBLE GRAPHIC SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. THE GRAPHIC SHALL INCLUDE THE FOLLOWING:

- LOCATIONS OF 90° ELBOWS, TEE'S, MANIFOLDS AND VALVES
- LOCATIONS OF 180° ELBOWS, TEE'S, MANIFOLDS AND VALVES
- LOCATIONS OF END OF LINE, END OF ZONE, VALVES AND CORRESPONDING ZONE I.D. NUMBER
- DELINEATION OF ZONE AREAS
- LOCATIONS WHERE IRRIGATION CHANGES UNDER PAVEMENT, WITH THE NUMBER AND SIZE OF SLEEVES
- INITIAL WATER DEMAND PER OPERATING CYCLE FOR EACH ZONE
- CONTROLLER AND SENSOR LOCATIONS
- INITIAL SCHEDULING, SETTINGS, AND POST-INSTALLATION / SEASONAL ADJUSTMENTS

THE CONTRACTOR SHALL PROVIDE TO THE OWNER AND CONFORM THAT THE OWNER HAS RECEIVED IRRIGATION CONTRACT DOCUMENTS AND THE FOLLOWING:

- WRITTEN INSTRUCTIONS COVERING PREVENTIVE MAINTENANCE OF THE IRRIGATION SYSTEM
- WRITTEN INSTRUCTIONS COVERING HOW AND WHEN TO CHECK FOR LEAKS
- ACCESS INSTRUCTIONS FOR THE IRRIGATION SYSTEM THAT SETTING ARE IN ACCORDANCE WITH WATERING RESTRICTIONS GO DAYS FOLLOWING INSTALLATION

1. ALL PLANT MATERIAL SHALL BE FLORIDA GROWN. NO LESS THAN 80% OF THE PLANTS AND SHRUBS AND MAJORITY OF THE TREES SHALL BE FLORIDA GROWN. THE CONTRACTOR SHALL OBTAIN ALL PLANT MATERIAL FROM A REPUTABLE NURSERY, SUCH AS THE FLORIDA NURSERY AND LANDSCAPE ASSOCIATION, LATEST EDITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF QUANTITIES IN THE PLANT LIST. IN THE EVENT OF A CONFLICT BETWEEN THE PLANT LIST AND THE ARCHITECT'S SCHEDULE OF MATERIALS, THE ARCHITECT'S SCHEDULE OF MATERIALS SHALL PREVAIL. THE ATTENTION OF THE ARCHITECT/ARCHITECT FIRM IS DRAWN TO THE FACT THAT QUANTITIES FOR THESE PLANTS MUST BE APPROVED BY THE ARCHITECT/ARCHITECT FIRM PRIOR TO ORDERING.
3. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS, AND IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE WORK.
4. THE CONTRACTOR SHALL EMPLOY A QUALIFIED PROFESSIONAL LANDSCAPE ARCHITECT AND BE LICENSED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
5. THE CONTRACTOR SHALL EXAMINE EXISTING SITE CONDITIONS AND PROMPTLY ADVISE ALL DISCREPANCIES AND UNDESIRABLE CONDITIONS TO THE ARCHITECT/ARCHITECT FIRM PRIOR TO THE COMMENCEMENT OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND SHALL INSURE ALL SOILS ARE SUITABLE FOR PLANTING.
6. THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE SITE AND ALL UTILITIES, INCLUDING WATER, SEWER, GAS, ELECTRIC, AND TELEPHONE LINES, AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL EXIST EXCAVATION OF ALL EXISTING ABOVE GROUND AND SUBGROUNDED STRUCTURES, UTILITIES, SPRINKLERS AND OTHER PIPES NOT SHOWN ON THE PLANS PRIOR TO THE COMMENCEMENT OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RECONSTRUCTION OF EXISTING STRUCTURES AND UTILITIES DISCOVERED WHICH MUST REMAIN OR EXIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
7. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, AND BE RESPONSIBLE FOR THEIR CORRESPONDING REINSTATEMENT IF DAMAGED BY OR AT ADDITIONAL COST, TO THE OWNER.

F. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, CERTIFICATION THAT THE INSTALLATION MEETS REQUIREMENTS SHALL BE SIGNED AND SIGNED BY THE LANDSCAPE ARCHITECT AND SUBMITTED TO HANSON COUNTY IN ACCORDANCE WITH HANSON COUNTY ORDINANCES.

G. UPON COMPLETION OF THE INSTALLATION, AND AT A MINIMUM OF SEVEN (7) DAYS PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR INSPECTION TO THE ENGINEER BY THE LANDSCAPE ARCHITECT. WHEN ACCEPTED TO THE INSPECTION, THE AS-BUILT PLANS WILL BE PROVIDED AND A FINAL INSPECTION REPORT WILL BE RELEASED TO THE CONTRACTOR.

H. THE CONTRACTOR SHALL DEVELOP THE ACTUAL FIELD DRAWING OF THE LANDSCAPE AS OUTLINED BELOW:

DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED DESIGN PLAN AND PROVIDE TO THE ENGINEER UPON REQUEST A CLEAR AND CONCISE RECORD OF THE FOLLOWING INFORMATION:

- CHANGES TO LAYOUT OF MATERIALS
- INSTALLED PLANT SPECIES AND SIZES CONFORM WITH THE FOLLOWING: APPROVED INFORMATION
- INSTALLED PLANT QUANTITIES
- OTHER INSTALLED MATERIALS DOCUMENTATION
- WETLAND PERMITS, FILLING, AND FERTILIZER INSTRUCTIONS AND SCHEDULE

**NOTE:** PREPARATION BY THE LANDSCAPE ARCHITECT IS REQUIRED FOR ANY DESIGN CHANGE, INCLUDING PLANT SPECIES, QUANTITIES, LAYOUT, CHANGES TO MATERIALS, AND FERTILIZER INSTRUCTIONS AND SCHEDULE.

THE OWNER IS RESPONSIBLE FOR CONTINUED SURVIVAL OF THE PLANTS

LDC SECTION 6.8.11 - LANDSCAPE INSTALLATION SHALL MEAN SURVIVAL IN PERPETUITY, AND REPLACEMENT IF NECESSARY OF ALL MATERIALS. DEAD AND/OR DYING PLANT MATERIAL SHALL BE REPLACED BY THE OWNER WITHIN 30 DAYS OF NOTIFICATION BY THE COUNTY.

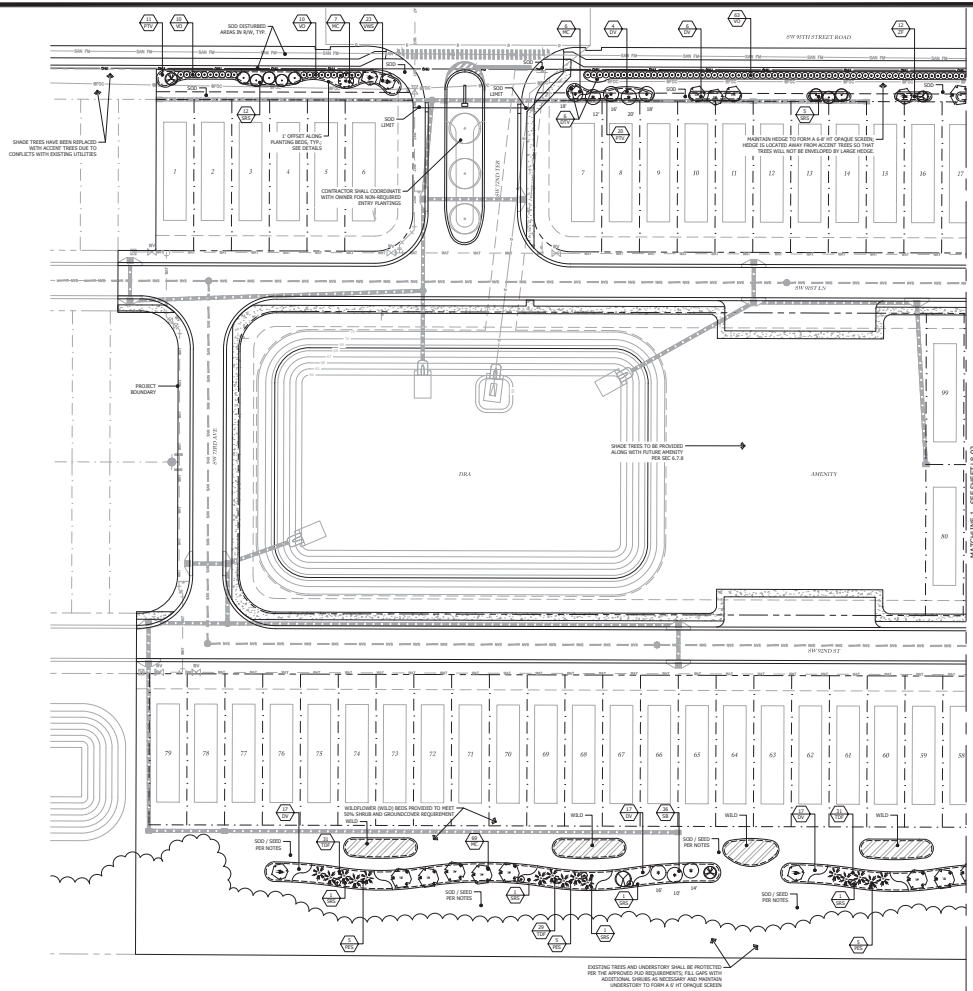
CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF EXISTING CONDITIONS ARE NOT SUBSTANTIALLY COMPARABLE TO THE PHOTOS BELOW:

[illegible]

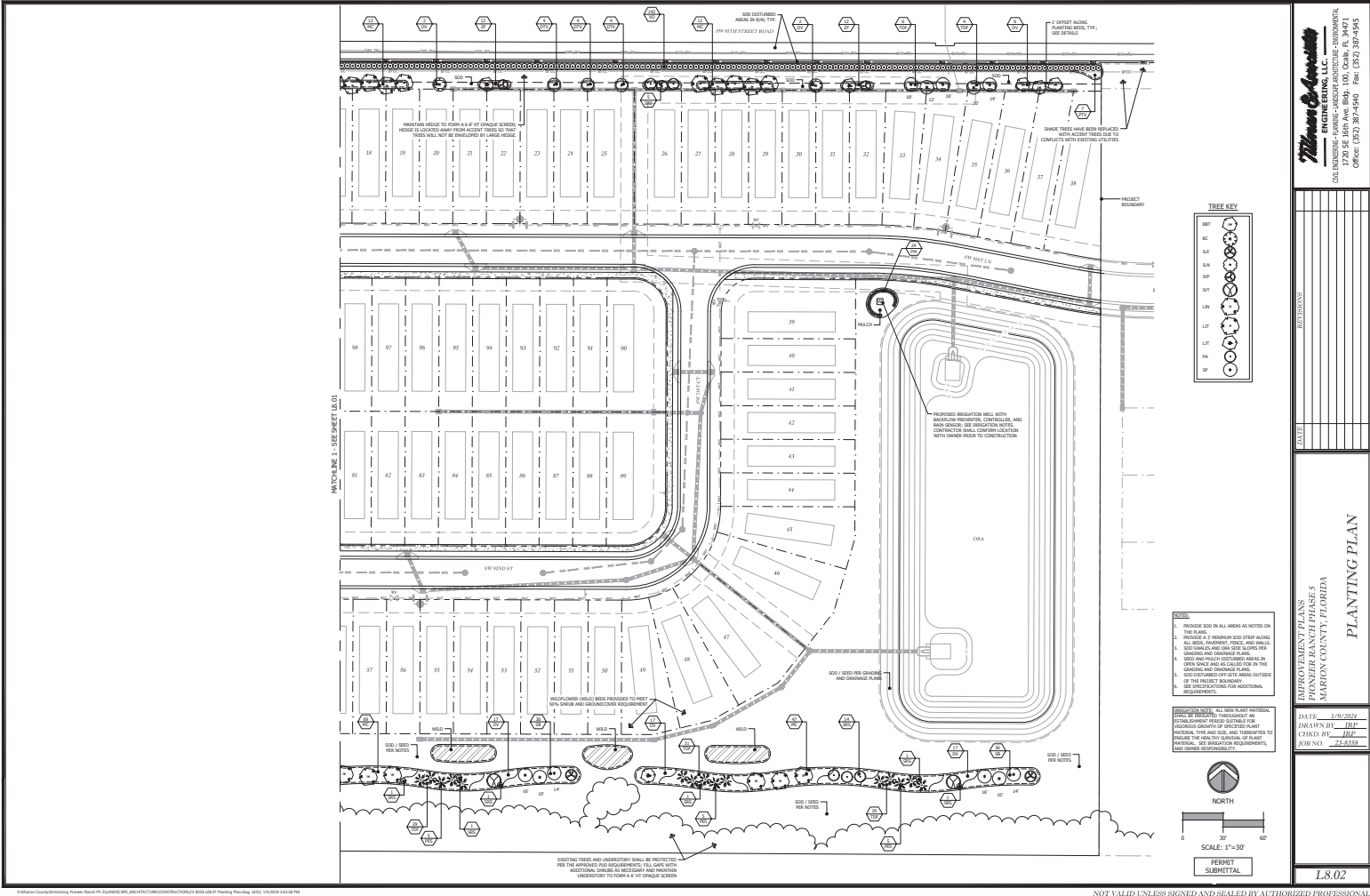
OWNER RESERVES THE RIGHT TO CHANGE, ADD OR REMOVE NON-REQUIRED PLAN MATERIAL THAT IS NOT SUBJECT TO CODE REQUIREMENTS.

[illegible]

DATE 1/9/2024  
DRAWN BY IRP  
CHKD. BY IRP  
JOB NO. 23-8158

[illegible]





**THOMAS & SONS**  
**ENGINEERING, LLC**  
1200 SE 10th Ave, Suite 100, Ocala, FL 34401  
Office: (352) 387-4500 Fax: (352) 387-4545

DATE: 1/26/2024  
DRAWN BY: JRP  
CHECKED BY: JRP  
JOB NO: 22-0129

IMPROVEMENT PLANS  
PIONEER RANCH PHASE 3  
MARION COUNTY, FLORIDA

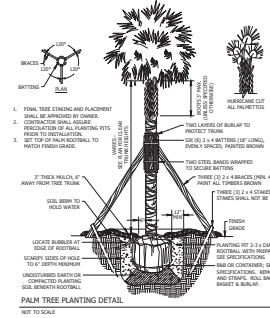
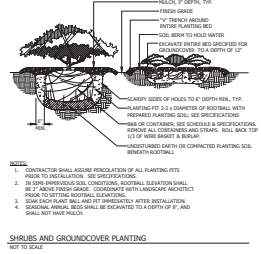
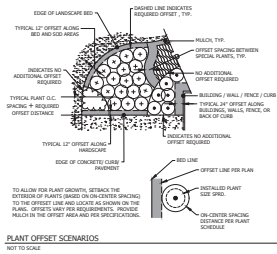
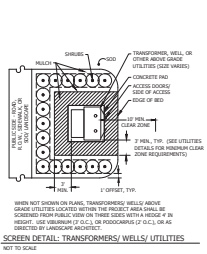
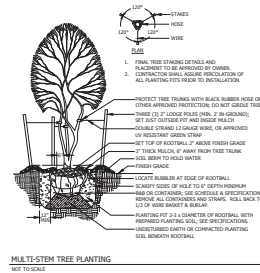
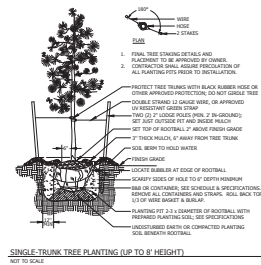
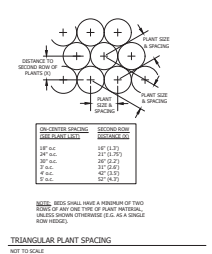
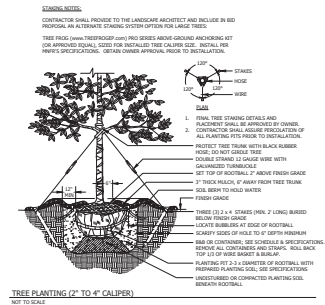
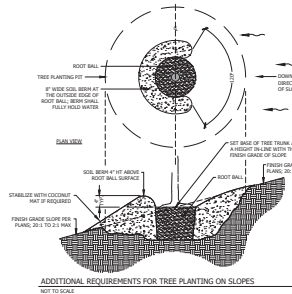
DATE: 1/26/2024  
DRAWN BY: JRP  
CHECKED BY: JRP  
JOB NO: 22-0129

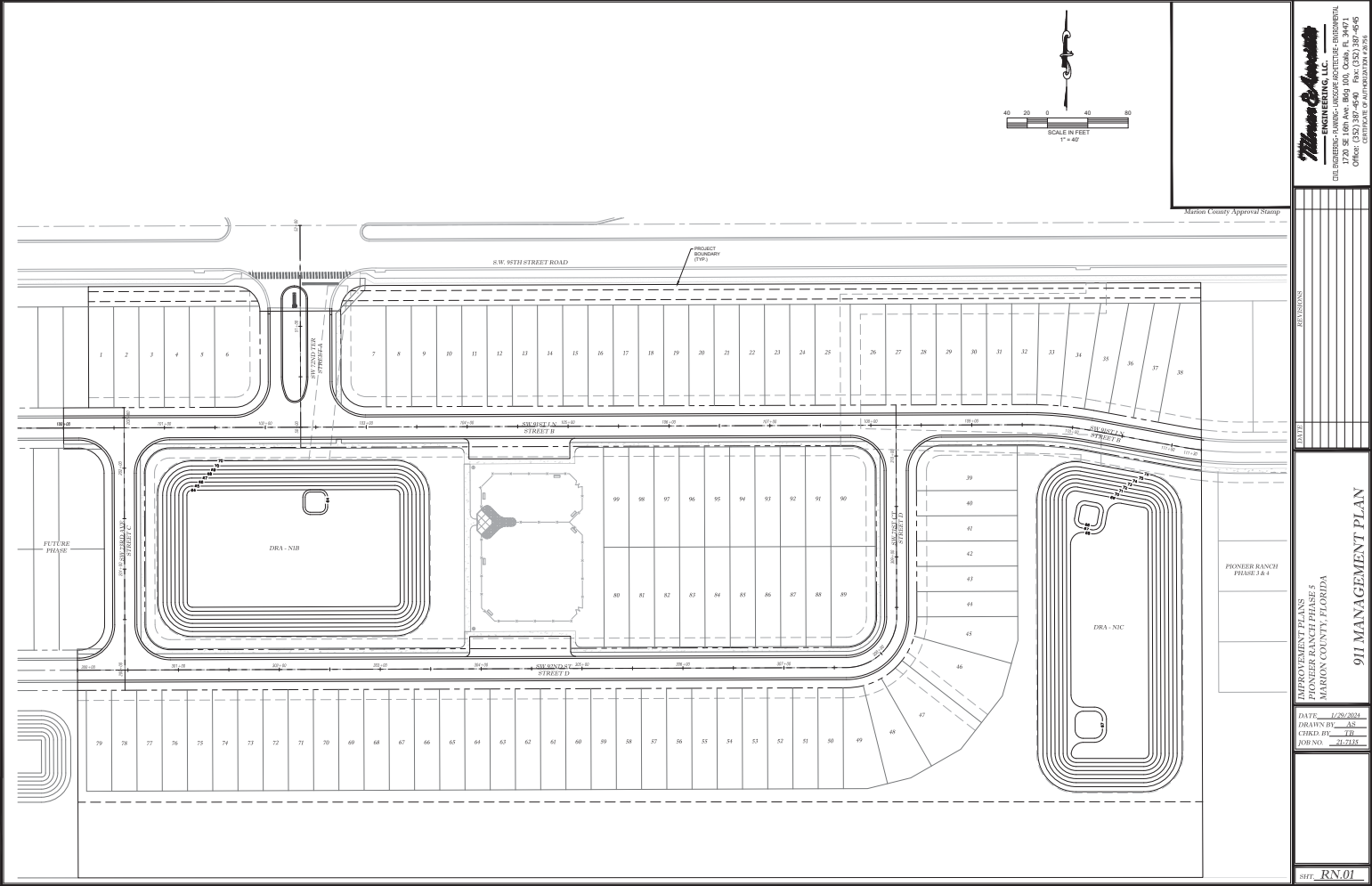
PLANTING PLAN

SCALE: 1"=30'

PERMIT SUBMITTAL

L8.02





IRRIGATION SLEEVE SCHEDULE	ELECTRIC SLEEVE SCHEDULE (DURE)
(1) 4" SCH 40 PVC SLEEVE	(1) 3" GRAY SCH 40 PVC CONDUIT
(1) 4" SCH 40 PVC SLEEVE	(2) 3" GRAY SCH 40 PVC CONDUIT
(1) 2" SCH 40 PVC SLEEVE	(3) 3" GRAY SCH 40 PVC CONDUIT
NATURAL GAS SLEEVE SCHEDULE (TECO)	TELEPHONE/CABLE/INTERNET SLEEVE SCHEDULE (DCA)
(1) 4" SCH 40 PVC SLEEVE	(1) 2" SCH 40 PVC SLEEVE
	(2) 2" SCH 40 PVC SLEEVE
	(1) 3" SCH 40 PVC SLEEVE
	(2) 3" SCH 40 PVC SLEEVE

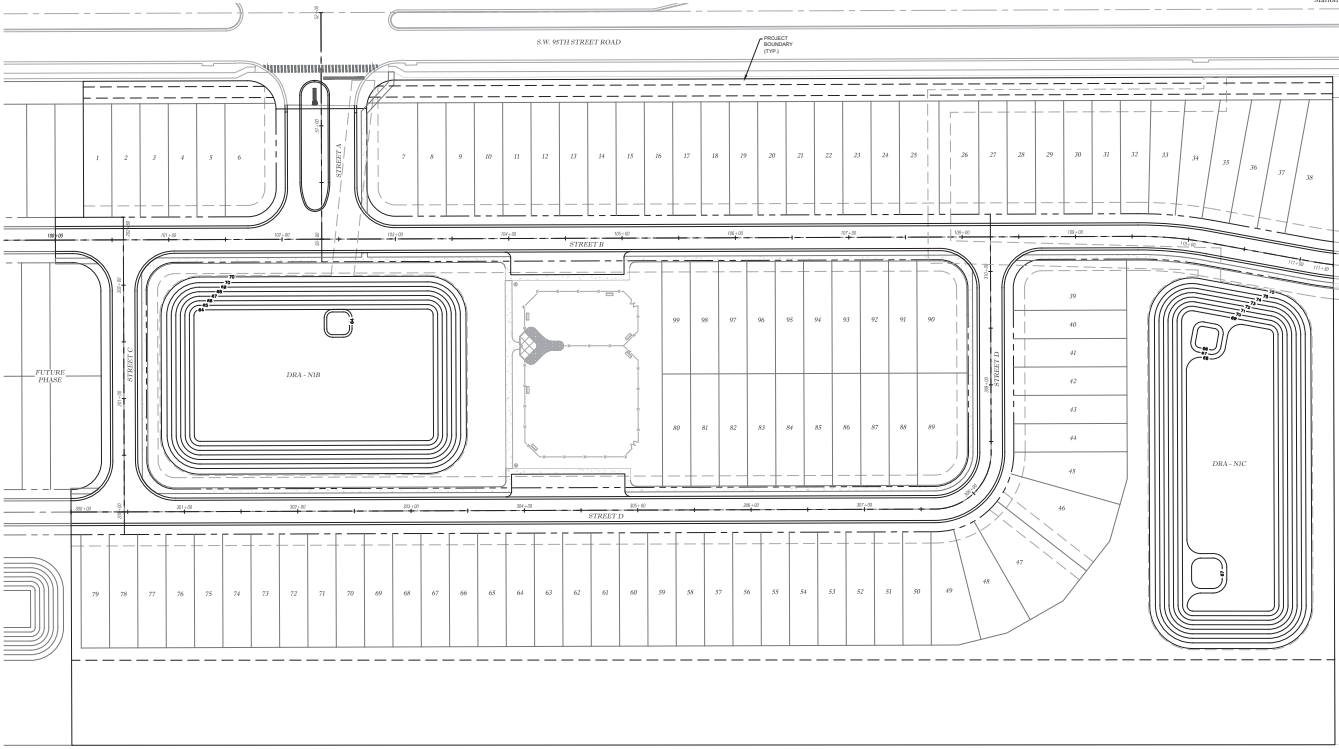
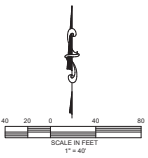
**LEGEND:**

IRRIGATION SLEEVE

TECO SLEEVE

DURE SLEEVE

DCA SLEEVE



Marion County Approval Stamp

REVISIONS	
DATE	

PROJECT: PRINCE RANCH PHASE 3 & 4

LOCATION: PRINCE RANCH PHASE 3 & 4, MARION COUNTY, FLORIDA

DATE: 12/20/2011

DRAWN BY: J.S.

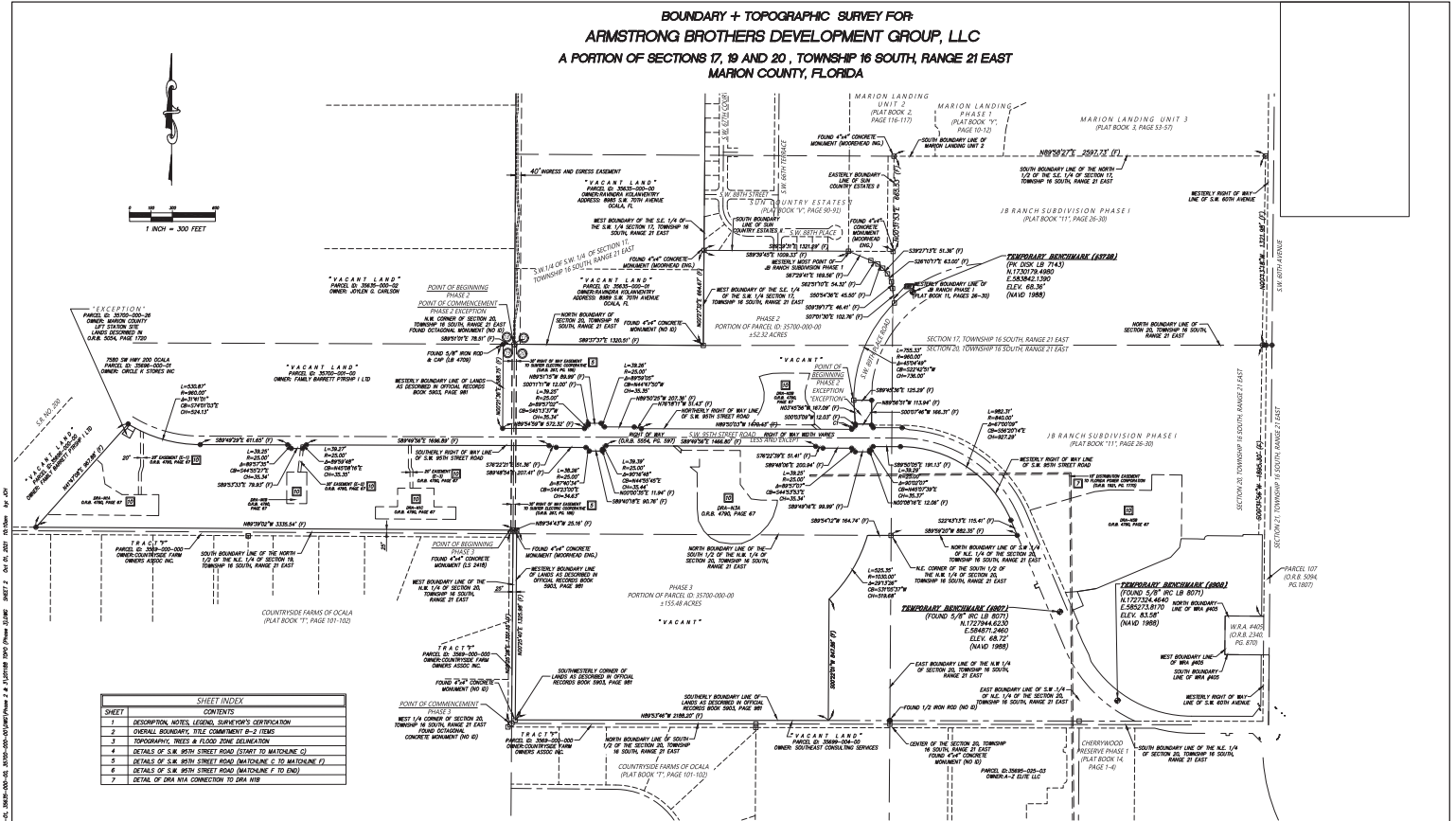
CHECKED BY: J.B.

JOB NO.: 11-2114

SHEET: SL-01



BOUNDARY + TOPOGRAPHIC SURVEY FOR  
ARMSTRONG BROTHERS DEVELOPMENT GROUP, LLC  
A PORTION OF SECTIONS 17, 19 AND 20, TOWNSHIP 16 SOUTH, RANGE 21 EAST  
MARION COUNTY, FLORIDA



SHEET 2 OF 7  
ONE IS NOT COMPLETE WITHOUT THE OTHERS

SEE SHEET 1 OF 7 FOR DESCRIPTION, NOTES,  
LEGEND, SURVEYOR'S CERTIFICATION, ETC.

DATE	REVISION	BY	CHK
21-03	1	RLI	CH
21-03	2	RLI	CH
21-03	3	RLI	CH
21-03	4	RLI	CH
21-03	5	RLI	CH
21-03	6	RLI	CH
21-03	7	RLI	CH



LOCATED IN SECTIONS 17, 19 & 20,  
TOWNSHIP 16  
SOUTH, RANGE 21 EAST  
MARION COUNTY, FLORIDA

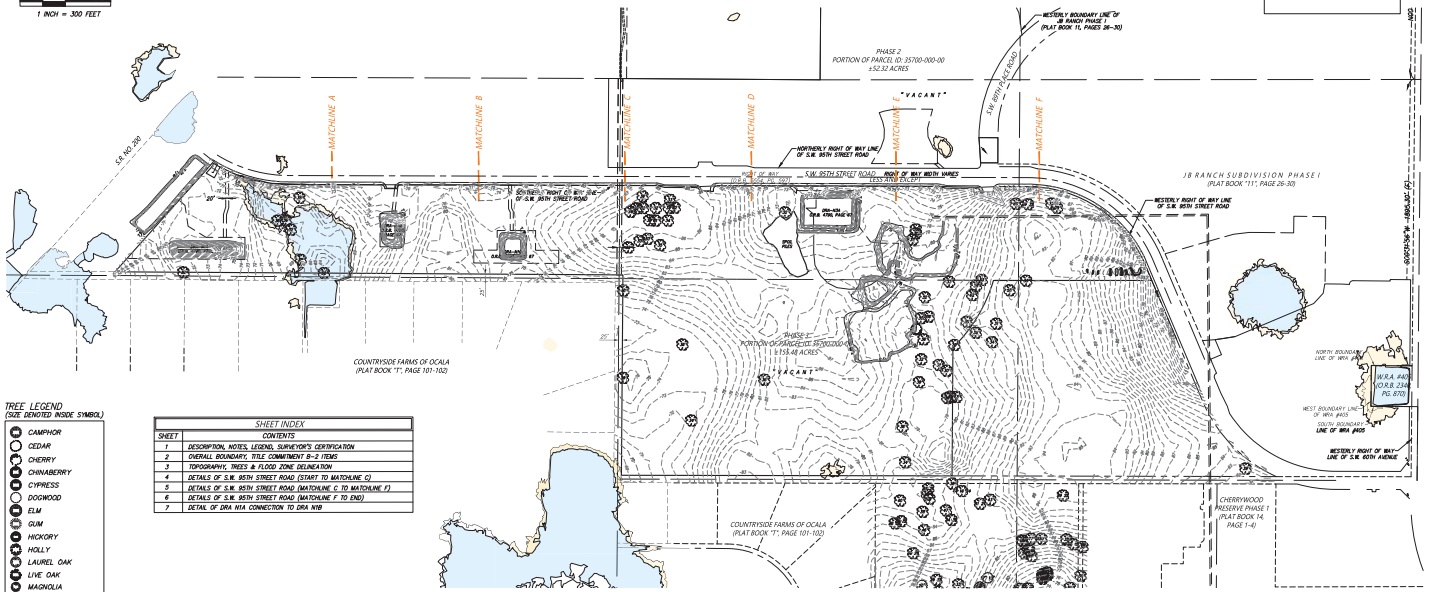
BOUNDARY & TOPOGRAPHIC SURVEY  
-FOR-  
ARMSTRONG BROTHERS DEVELOPMENT  
GROUP, LLC

FILE NO.	FIELD DATE	JOB NO.
21-03-05	06/27/21	201188TOPOPH13
DRAWING DATE	BY	APPROVED
06/02/21	M.A.	CAH
SCALE	1" = 300'	

2 OF 7



BOUNDARY & TOPOGRAPHIC SURVEY FOR  
 ARMSTRONG BROTHERS DEVELOPMENT GROUP, LLC  
 A PORTION OF SECTIONS 17, 19 AND 20, TOWNSHIP 16 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA



- TREE LEGEND**  
 (SEE SHOWN IN-SITU SYMBOLS)
- CAMPBELL
  - CEDAR
  - CHERRY
  - CHINABERRY
  - CYPRESS
  - DOGWOOD
  - ELM
  - GUM
  - HICKORY
  - HOLLY
  - LAUREL OAK
  - LIVE OAK
  - MAGNOLIA
  - MAPLE
  - MIMOSA
  - MISC.
  - OAK
  - PALM
  - PECAN
  - PINE TREE
  - SUGAR HICKBERRY
  - SYCAMORE

SHEET INDEX	
SHEET	CONTENTS
1	DESCRIPTION, NOTES, LEGEND, SURVEYOR'S CERTIFICATION
2	OVERALL BOUNDARY, TITLE COMMENT 8-2 ITEMS
3	TOPOGRAPHIC, TREES & FLOOD ZONE DELINEATION
4	DETAILS OF S.W. 1/4th STREET ROAD (START TO MATCHLINE C)
5	DETAILS OF S.W. 1/4th STREET ROAD (MATCHLINE C TO MATCHLINE F)
6	DETAILS OF S.W. 1/4th STREET ROAD (MATCHLINE F TO END)
7	DETAILS OF S.W. 1/4th CONNECTION TO S.W. 1/4th

SEE SHEETS 4 THROUGH 6 FOR BENCHMARKS

SHEET 3 OF 7  
 ONE IS NOT COMPLETE WITHOUT THE OTHERS  
 SEE SHEET 1 OF 7 FOR DESCRIPTION, NOTES,  
 LEGEND, SURVEYOR'S CERTIFICATION, ETC.

REVISIONS				
FILED	DATE	DRAWN	REVISION	CHK
21-03	08/28/21	RLJ	ADD TOPOGRAPHY & TREES	GM

**JCH**  
 CONSULTING GROUP, INC.  
 LAND DEVELOPMENT, SURVEYING & MAPPING  
 PLANNING, ENVIRONMENTAL & GIS  
 10000 S.W. 10th Street, Suite 100, Ocala, FL 34474  
 PHONE: 352-236-1100 FAX: 352-236-1101  
 www.jchgroup.com

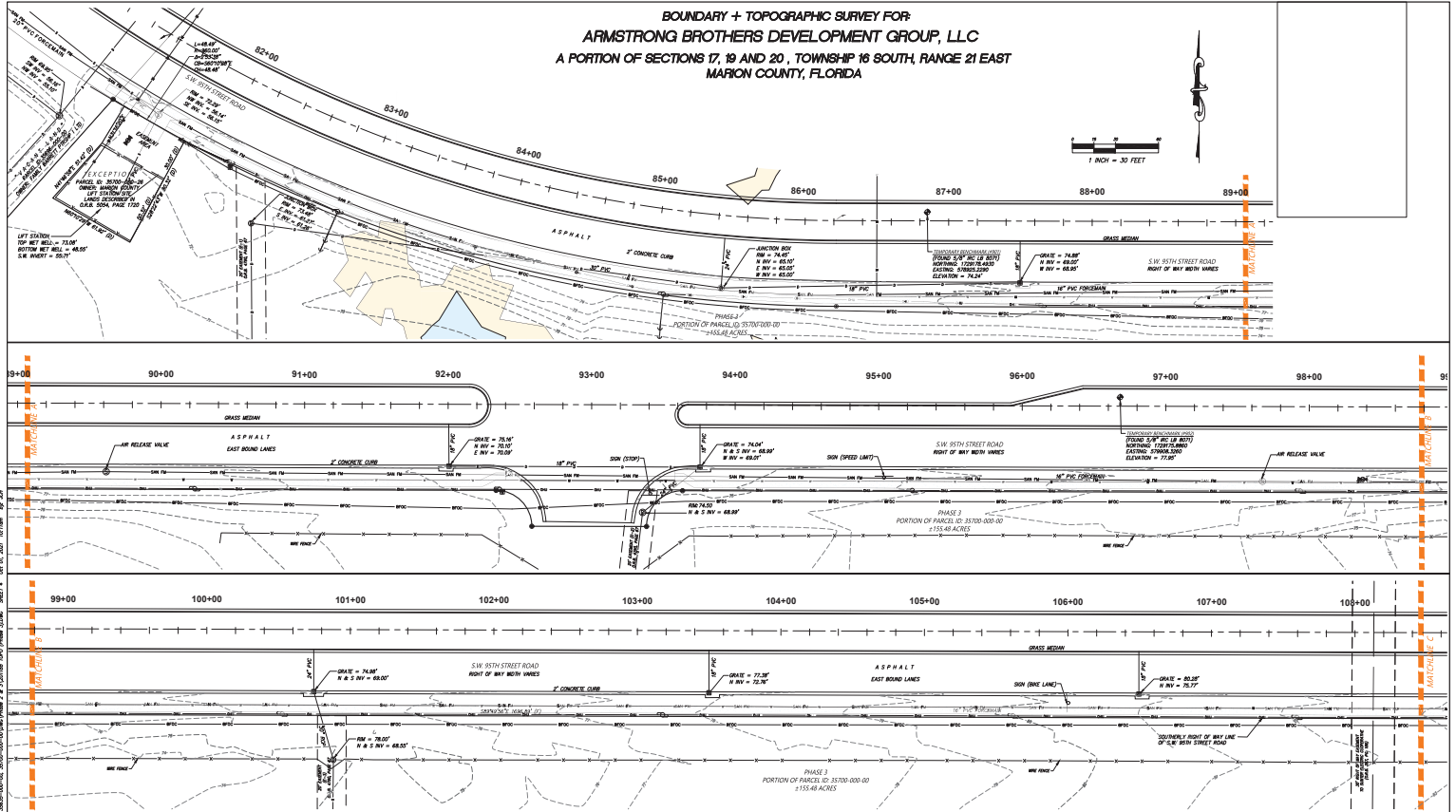
LOCATED IN SECTIONS 17, 19 & 20,  
 TOWNSHIP 16  
 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA

BOUNDARY & TOPOGRAPHIC SURVEY  
 -FOR-  
 ARMSTRONG BROTHERS DEVELOPMENT  
 GROUP, LLC

FILED	FILED DATE	JOB NO.	3 OF 7
21-03-05	08/27/21	201188TOPOPH13	
DRAWING DATE	BY	APPROVED	
08/02/21	M.A.	CAJ	SCALE 1" = 300'

BOUNDARY & TOPOGRAPHIC SURVEY FOR  
ARMSTRONG BROTHERS DEVELOPMENT GROUP, LLC  
A PORTION OF SECTIONS 17, 19 AND 20, TOWNSHIP 16 SOUTH, RANGE 21 EAST  
MARION COUNTY, FLORIDA

1" = 30' FEET



SHEET 4 OF 7  
ONE IS NOT COMPLETE WITHOUT THE OTHERS

SEE SHEET 1 OF 7 FOR DESCRIPTION, NOTES,  
LEGEND, SURVEYOR'S CERTIFICATION, ETC.

DATE	BY	REVISION	APP
01-03	WLI	ADD TOPOGRAPHY & TREES	CM



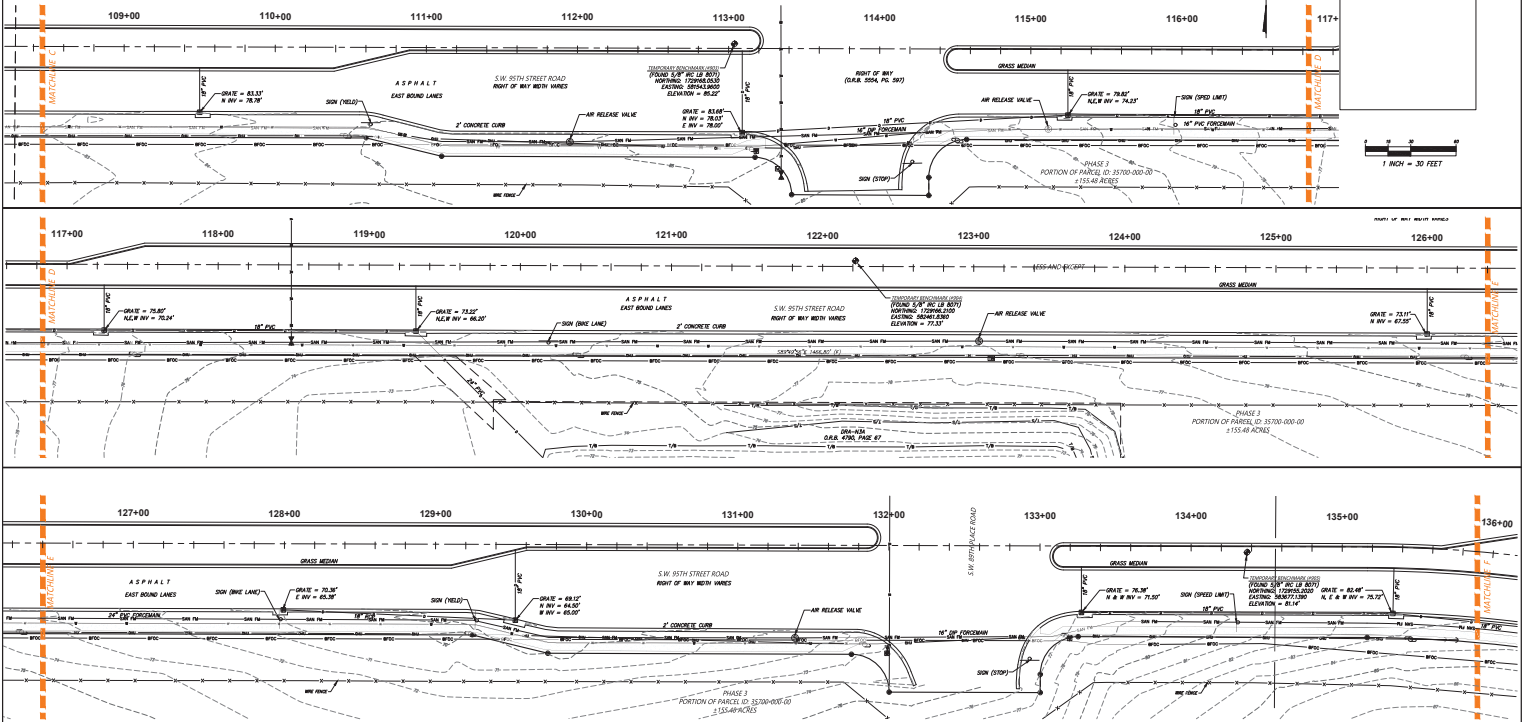
LOCATED IN SECTIONS 17, 19 & 20,  
TOWNSHIP 16  
SOUTH, RANGE 21 EAST  
MARION COUNTY, FLORIDA

BOUNDARY & TOPOGRAPHIC SURVEY  
-FOR-  
ARMSTRONG BROTHERS DEVELOPMENT  
GROUP, LLC

DATE	BY	APPROVED	SCALE
01-03-05	WLI	CM	1" = 30'
06/02/21	WLI	CM	

4 OF 7

BOUNDARY & TOPOGRAPHIC SURVEY FOR:  
**ARMSTRONG BROTHERS DEVELOPMENT GROUP, LLC**  
 A PORTION OF SECTIONS 17, 19 AND 20, TOWNSHIP 16 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA



SHEET 5 OF 7  
 ONE IS NOT COMPLETE WITHOUT THE OTHERS

SEE SHEET 1 OF 7 FOR DESCRIPTION, NOTES,  
 LEGEND, SURVEYOR'S CERTIFICATION, ETC.

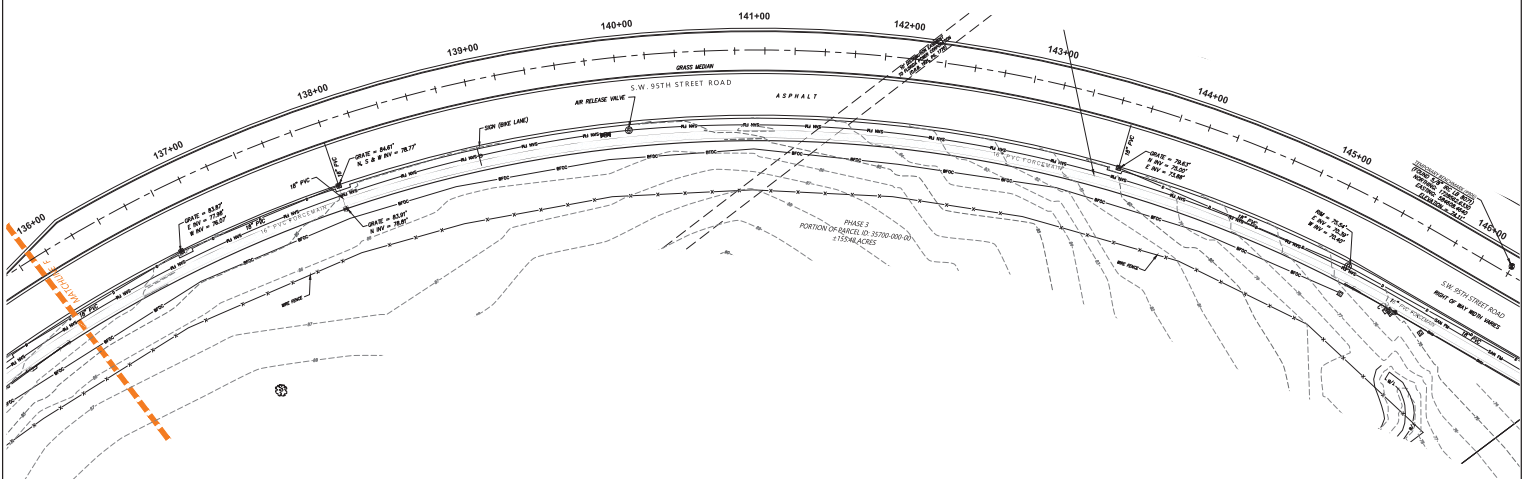
DATE	REVISION	BY	CHK
21-03	ADD TOPOGRAPHY & TREES	CM	



LOCATED IN SECTIONS 17, 19 & 20,  
 TOWNSHIP 16  
 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA

BOUNDARY & TOPOGRAPHIC SURVEY  
 -FOR-  
**ARMSTRONG BROTHERS DEVELOPMENT  
 GROUP, LLC**

DATE	FIELD DATE	JOB NO.	5 OF 7
21-03-05	05/27/21	201188TOPOPH13	
DRAWING DATE	BY	APPROVED	SCALE
06/02/21	M.A.	CM	1" = 30'



SHEET INDEX	
SHEET	CONTENTS
1	DESCRIPTION, NOTES, LEGEND, SURVEYOR'S CERTIFICATION
2	OVERALL BOUNDARY, TITLE COMMITMENT B-2 ITEMS
3	TOPOGRAPHY, TREES & FLOOD ZONE DELINEATION
4	DETAILS OF S.W. 95TH STREET ROAD (START TO MATCHLINE C)
5	DETAILS OF S.W. 95TH STREET ROAD (MATCHLINE C TO MATCHLINE F)
6	DETAILS OF S.W. 95TH STREET ROAD (MATCHLINE F TO END)
7	DETAIL OF DRA. N/A CONNECTION TO DRA. N/R

SEE SHEET 1 OF 7 FOR DESCRIPTION, NOTES,  
LEGEND, SURVEYOR'S CERTIFICATION, ETC.

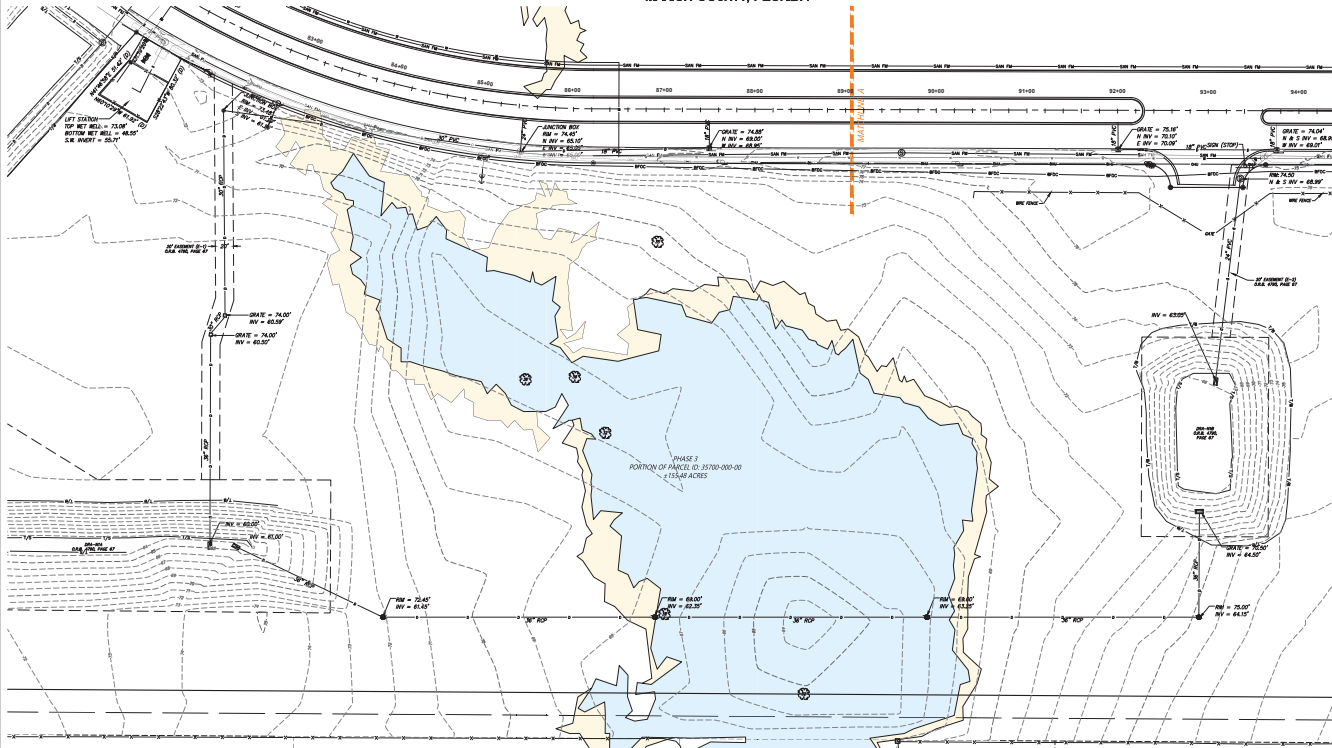
REVISIONS				
FB/PG	DATE	DRAWN	REVISION	OKD
21-03	9/28/21	KLJ	ADD TOPOGRAPHY & TREES	C.H



BOUNDARY & TOPOGRAPHIC SURVEY  
-FOR-  
ARMSTRONG BROTHERS DEVELOPMENT  
GROUP, LLC

FB/PG		FIELD DATE		JOB NO. 201188TOPOPH3	<div style="text-align: center; vertical-align: middle;"> <div>6</div> <div>OF</div> <div>7</div> </div>
21-53-65		06/27/21			
DRAWING DATE	BY	APPROVED		SCALE 1" = 30'	
06/02/21	M.A.	C.H.			

BOUNDARY + TOPOGRAPHIC SURVEY FOR  
 ARMSTRONG BROTHERS DEVELOPMENT GROUP, LLC  
 A PORTION OF SECTIONS 17, 19 AND 20, TOWNSHIP 16 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA



SHEET 7 OF 7  
 ONE IS NOT COMPLETE WITHOUT THE OTHERS

SEE SHEET 1 OF 7 FOR DESCRIPTION, NOTES,  
 LEGEND, SURVEYOR'S CERTIFICATION, ETC.

FILED	DATE	DRAWN	REVISION	CHK
21-03	8/26/21	RLJ	ADD TOPOGRAPHY & TREES	CM



LOCATED IN SECTIONS 17, 19 & 20,  
 TOWNSHIP 16  
 SOUTH, RANGE 21 EAST  
 MARION COUNTY, FLORIDA

BOUNDARY & TOPOGRAPHIC SURVEY  
 -FOR-  
 ARMSTRONG BROTHERS DEVELOPMENT  
 GROUP, LLC

FILED	FIELD DATE	JOB NO.	7 OF 7
21-03-05	08/27/21	201188TOPOPH13	
DRAWING DATE	BY	APPROVED	
08/02/21	M.A.	CAI	SCALE 1" = 50'