

APRIL 26, 2021

SUBJECT: **RESUBMITTAL COMMENTS LETTER**

PROJECT NAME: CALUMET PARK

PROJECT #2020120042

APPLICATION: MAJOR SITE PLAN #25950

Did not meet with staff. DRC 05/10/21.

1. DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI.
2. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
3. DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
STATUS OF REVIEW: NO
REMARKS: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
4. DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.3 - Traffic Impact Analysis
STATUS OF REVIEW: NO
REMARKS: 4/18/21 - A traffic methodology has been approved. The traffic study has not been submitted.

12/29/20 - Please update the trip generation information based on the most recent edition of the ITE Trip Generation Manual. The trip generation should be 105 PM Peak Hour Trips. A traffic analysis is required. Please submit a methodology for review and approval prior to conducting the traffic analysis.

5. DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: NO
REMARKS: Although 4/9/21 response letter indicates City of Ocala annexation agreement was delivered, a copy (minimum of their receipt of document, prefer accepted/recorded/approved document) needs to be submitted as part of this review for approval by Marion County Utilities.

6. DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.12.28 - Correct road names supplied
STATUS OF REVIEW: NO
REMARKS: Sheet L001 was not resubmitted so it still has an incorrect road name of West Silver Springs Boulevard. The correct road name is W HWY 40.
7. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: WAIVER REQUESTED. STAFF SUPPORTS.
REMARKS: Waiver required for ornamentals instead of shade trees along SR 40, staff supports
- LDC 6.8.6 - Buffers**
CODE states it is the intent of this section to eliminate or reduce the negative impacts of the adjacent uses upon each other such that the long term continuance of either use is not threatened by such impacts and the uses may be considered compatible.
APPLICANT requests waiver to allow ornamental trees for frontage buffer due to power lines.
8. DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.32/6.5.4 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation
STATUS OF REVIEW: NO
REMARKS: Please provide assessment. 4/17/21: Received assessment, however, it is outdated. Please provide a more recent assessment or exemption per Section 6.5.3.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 04/30/21 Parcel Number(s): 2283-001-000 Permit Number: _____
mm/dd/yyyy

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Calumet Park Commercial ☒ or Residential ☐
Subdivision Name (if applicable): Forty West Industrial Park
Unit _____ Block _____ Lot 1

B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:

Property Owner's Name (print): Steve Mendez
Property Owner's Signature: _____
Property Owner's Mailing Address: 3557 S.W. 58th Street
City: Ocala State: FL Zip Code: 34471 Phone # 427-9780

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.

Firm Name (if applicable): Rogers Engineering, LLC Contact Name: Rodney Rogers
Mailing Address: 1105 S.E. 3rd Avenue City: Ocala State: FL Zip Code: 34471
Phone # 352-622-9214 Alternate Phone # _____
Email address: rkrogers@rogerseng.com & mclemmons@rogerseng.com

D. WAIVER INFORMATION:

Section & Title of Code: Section 6.8.6 - Buffers
Reason/Justification for Waiver Request: Allow ornamental trees for frontage buffer due to power lines.

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Must Vacate Plat: Yes ☐ No ☐
Land Use: _____ Date: _____ Verified by: _____

Revised 5/2017

A MARION COUNTY MAJOR SITE PLAN FOR CALUMET PARK

SECTION 15, TOWNSHIP 15S, RANGE 21E
TBD W. SILVER SPRINGS BLVD, MARION COUNTY, FL

SITE DATA:

NAME: CALUMET PARK, LLC

OWNER & DEVELOPER: STEVE MENDEZ
3557 SW 58TH STREET
OCALA, FLORIDA 34471
(352) 427-9780
LAHACIENDAOCALA@AOL.COM

CONTACT PERSON: STEVE MENDEZ
(352) 427-9780

PARCEL NO.: 2283-001-000

LAND USE/ZONING: COMMERCIAL/B4

PARCEL AREA: 2.1685 ACRES

FLOOR AREA RATIO: 0.1143

PROPOSED USE: RETAIL/SHOPPING CENTER

HOURS OF OPERATION: 10:00 AM TO 10:00 PM

PROPERTY LIES IN FLOOD ZONE X AND AE (56.28') AND IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE

AREA CALCULATIONS:

SITE AREA: 94,458 SF

IMPERVIOUS AREA:

BUILDING	10,800 SF
CONCRETE	2,580 SF
PAVEMENT	37,107 SF
TOTAL	50,487 SF

OPEN SPACE 43,971 SF (46.6%)

TRAFFIC STATEMENT:

SEE TRAFFIC IMPACT STUDY
PREPARED FOR THIS PROJECT

PARKING CALCULATIONS:

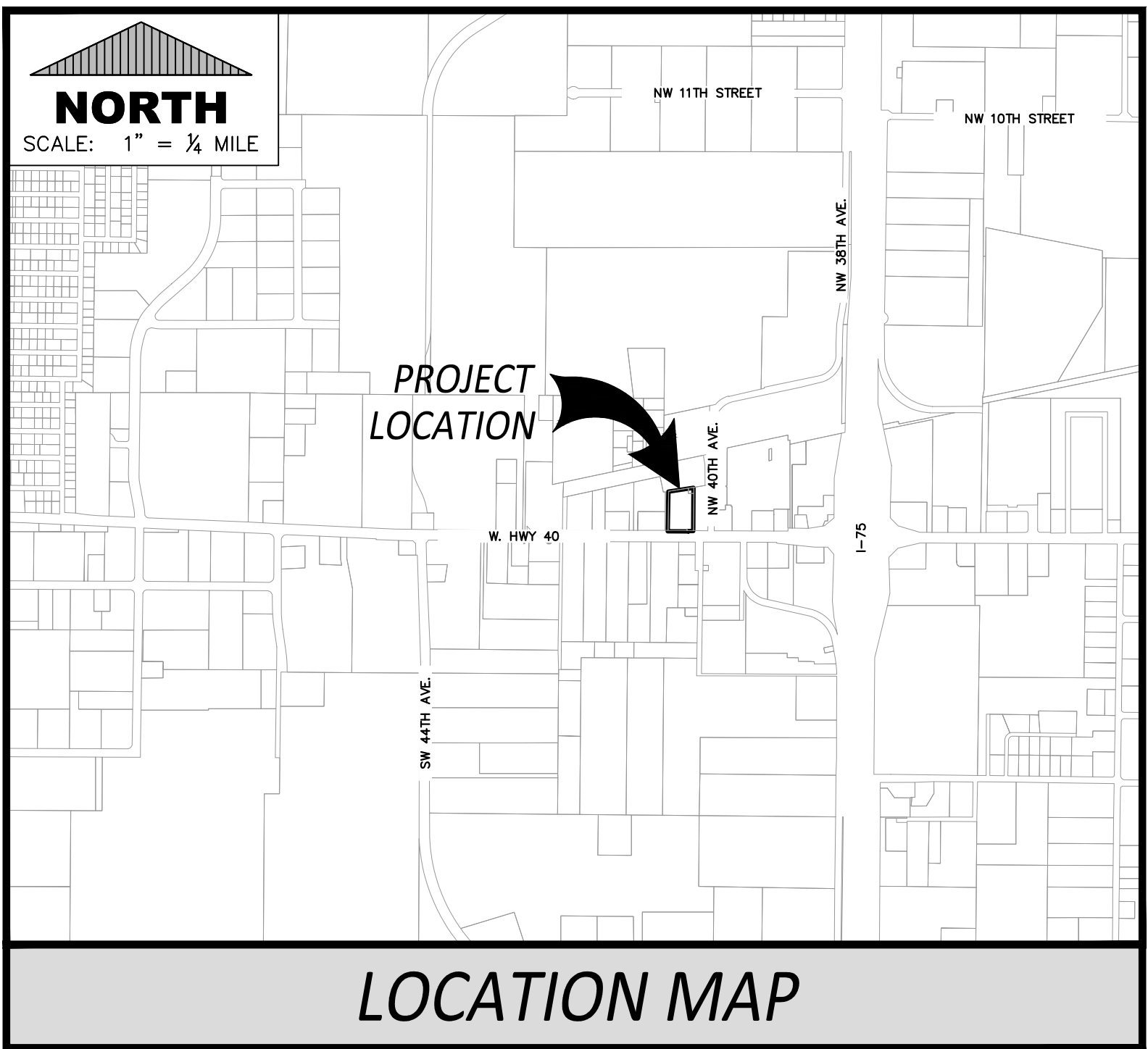
SHOPPING CENTER

REQUIRED PARKING: 3.5 SPACES PER 1,000 SF
(3.5/1000) x 10,800 SF = 38 SPACES

PROVIDED PARKING: 60 SPACES
3 HC SPACES
57 REGULAR SPACES

HANDICAP PARKING REQUIRED: 1 SPACE PER 25 SPACES
57/25 SPACES = 2 H/C SPACES

HANDICAP SPACES PROVIDED: 3 SPACES



SECTION 15, TOWNSHIP 15S, RANGE 21E

SHEET INDEX

C000	COVER SHEET
C001	BOUNDARY & TOPOGRAPHIC SURVEY
C002	NOTES AND LEGEND
C003	DEMOLITION PLAN
C004	AERIAL PHOTOGRAPH
C100	SITE PLAN
C101	GRADING & DRAINAGE PLAN
C102	CUT & FILL SECTIONS
C103	UTILITY PLAN
C200	SITE & UTILITY DETAILS
C201	SITE & UTILITY DETAILS
L001	LANDSCAPE PLAN
L002	IRRIGATION PLAN
L003	LANDSCAPE DETAILS

CONCURRENCY NOTE:

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT SYSTEM AND ASSOCIATED ELEMENTS, AND MAINTAIN THE TRAFFIC CONTROL SIGNAGE AND STRIPING IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

RADIO SIGNAL REQUIREMENT:

THIS BUILDING WILL BE REQUIRED TO CONDUCT A TEST FOR MINIMUM RADIO SIGNAL STRENGTH TO DETERMINE COVERAGE. IF THE MINIMUM SIGNAL STRENGTH IS DEEMED INSUFFICIENT THEN A RADIO SIGNAL ENHANCEMENT SYSTEM MUST BE INSTALLED AND THE BUILDING RETESTED TO ENSURE IT MEETS THE MINIMUM CRITERIA OF NFPA 1 CHAPTER 11.10.1.

CONCURRENCY NOTE:

THIS PROPOSED PLAN HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND A FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO BUILDING PERMIT REVIEW.

GENERAL NOTES:

- THIS PROJECT SHALL BE SERVED WATER AND SEWER BY THE CITY OF OCALA WATER RESOURCE DEPARTMENT.
- ALL AREAS WITHIN THE W. SILVER SPRINGS BLVD RIGHT-OF-WAY THAT ARE DISTURBED BY CONSTRUCTION SHALL BE SODDED WITH BAHIA ARGENTINA AND IN ACCORDANCE WITH ALL FDOT REQUIREMENTS.
- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST ADOPTED EDITION AND THE FDOT STANDARD PLANS, LATEST ADOPTED EDITION.
- THE STOP SIGNS MUST BE INSTALLED ON 2"x2" SQUARE POSTS, 14 FEET IN LENGTH, 14 GAUGE, 4 LBS/FT. ALL SIGNS ON-SITE SHALL MEET MARION COUNTY LAND DEVELOPMENT REGULATIONS AND ALL SIGNS WITHIN THE FDOT RIGHT-OF-WAY SHALL COMPLY WITH THE FDOT STANDARD PLANS AND SPECIFICATIONS, LATEST ADOPTED EDITIONS.
- ALL STOP BARS SHALL BE WHITE 24" WIDE LEAD-FREE THERMOPLASTIC.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND BURIAL DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
- SITE LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ON THE ADJOINING PROPERTIES AND ROADWAY. A SITE LIGHTING PLAN, PREPARED BY THE ENGINEER, SHALL BE SUBMITTED TO MARION COUNTY FOR REVIEW AND APPROVAL.
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.

MARION COUNTY'S OWNER'S CERTIFICATE:

I HEREBY CERTIFY THAT I, MY SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT SYSTEM AND ASSOCIATED ELEMENTS, AND MAINTAIN THE TRAFFIC CONTROL SIGNAGE AND STRIPING IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

STEVE MENDEZ
PROPERTY OWNER

DATE

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS PLAN AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

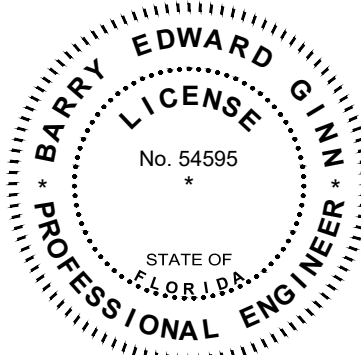
BARRY GINN, PE
PROFESSIONAL ENGINEER
FLORIDA REGISTRATION NO. 54595



CALL 48 HOURS
BEFORE YOU DIG



Infinite Engineering
240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 267-1480
WWW.INFINITEENGINEER.COM
CERT. OF AUTH. # 33000



A MARION COUNTY MAJOR SITE PLAN
FOR
CALUMET PARK LLC
COVER SHEET

JOB No.
2020-004

DATE
12/14/2020

SCALE
SEE PLAN

SHEET
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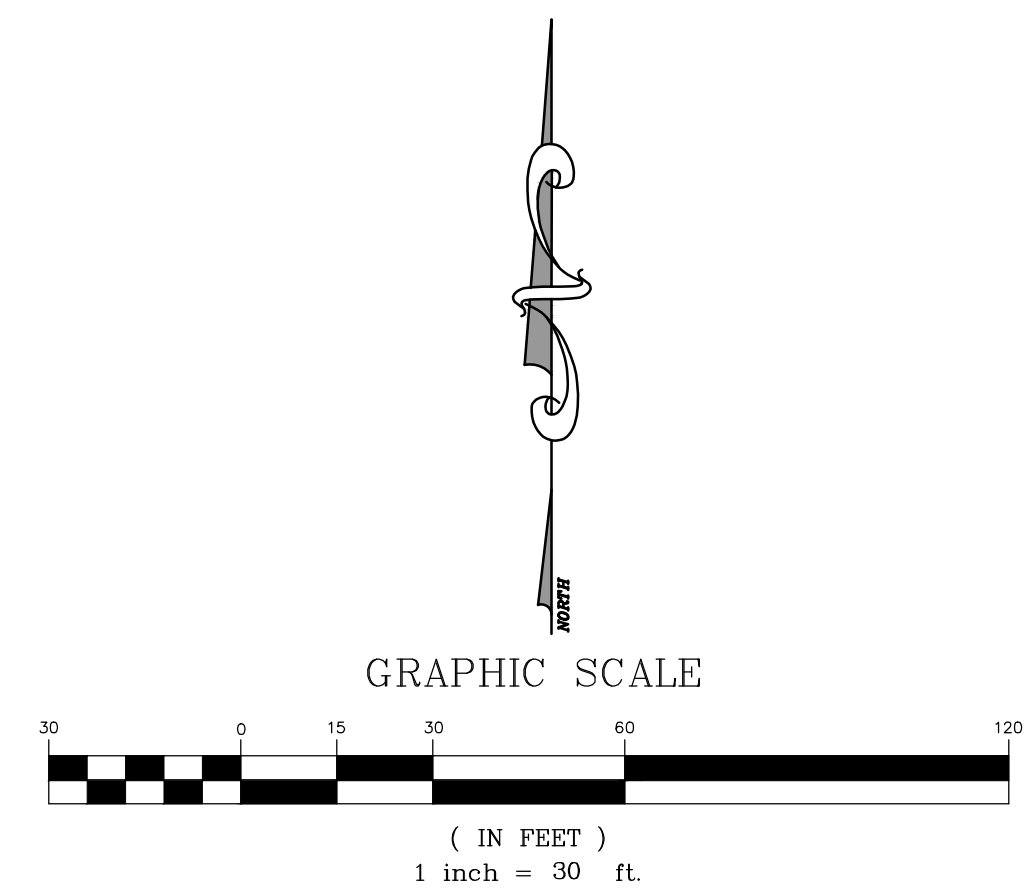
ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

MARION CO. COMMENTS

3/21

Barry Ginn, PE
Fl. Reg. No. 54595
brginn@rogerseng.com
Rodney K. Rogers, PSM
Fl. Reg. No. 5274
rkrogers@rogerseng.com

COVER SHEET



JOB No. 19_2283-001-000
DATE 1-29-2021
SCALE 1" = 30'
SHEET C002

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF THE MARION COUNTY LAND DEVELOPMENT CODE.
2. ALL UNSUITABLE MATERIAL ENCOUNTERED SHALL BE DISPOSED OF AND REPLACED WITH APPROVED MATERIAL.
3. NEW WATER MAIN TO BE INSTALLED AT 48" DEPTH (MIN.) TO TOP OF PIPE EXCEPT WHERE VERTICAL ADJUSTMENTS ARE REQUIRED TO AVOID CONFLICTS. SEE ALSO NOTES 14 AND 15 BELOW.
4. ALL UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM THE BEST AVAILABLE RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE LOCATES FROM THE UTILITY AGENCIES TO VERIFY LOCATIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
5. EXCAVATED MATERIAL WILL BE LOADED ONTO DUMP TRUCKS DIRECTLY BEHIND THE EQUIPMENT AND HAULED OFF TO THE DESIGNATED SITE. TRAFFIC CONTROL MEASURES SHALL BE PLACED ACCORDINGLY TO ACCOMMODATE THIS PROCESS.
6. INSTALL HAY BALES AT ALL INLETS TO MINIMIZE DEBRIS ENTERING THE STORM DRAIN SYSTEM.
7. THE TRAFFIC CONTROL PLAN FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD); THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS (STANDARD PLANS) STANDARD PLANS 102, LATEST ADOPTED EDITION.
8. UNLESS OTHERWISE SPECIFIED ON THE PLANS, THE CONTRACTOR SHALL MAINTAIN TWO LANES OF TRAFFIC IN EACH DIRECTION FOR THE DURATION OF THE PROJECT. THE CONTRACTOR MAY, UPON APPROVAL OF THE ENGINEER IN CHARGE, RESTRICT TRAFFIC TO ONE-WAY OPERATION FOR SHORT PERIODS OF TIME PROVIDED THAT ADEQUATE MEANS OF TRAFFIC CONTROL ARE EFFECTED AND TRAFFIC IS NOT UNREASONABLY DELAYED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ACCEPTABLE ACCESS TO ALL BUSINESSES AND RESIDENCES ALONG THE PROJECT ROUTE WHENEVER CONSTRUCTION INTERFERES WITH THE EXISTING MEANS OF ACCESS. FLAGMEN SHALL BE USED WHEN NO ALTERNATE ACCESS IS POSSIBLE.
10. THE REQUIRED TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS SHALL BE ERECTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION WHICH MAY CREATE ANY HAZARDOUS CONDITION. THE CONTRACTOR SHALL IMMEDIATELY REMOVE, COVER, OR TURN ANY DEVICE WHICH DOES NOT APPLY TO THE EXISTING CONDITIONS.
11. THE CONTRACTOR SHALL HAVE A STATE OF FLORIDA CERTIFIED MAINTENANCE OF TRAFFIC SUPERVISOR WITH THE RESPONSIBILITY OF MAINTAINING THE POSITIONING AND CONDITION OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS THROUGHOUT THE DURATION OF THE PROJECT. THE ENGINEER IN CHARGE SHALL BE KEPT ADVISED AS TO THE IDENTIFICATION AND MEANS OF CONTACTING THIS EMPLOYEE ON A 24-HOUR BASIS.
12. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION.
13. THE CONTRACTOR SHALL BE NOISE SENSITIVE FOR NIGHT OPERATIONS.
14. NEW OR RELOCATED WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 6 FEET AND PREFERABLY 10 FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING GRAVITY SEWER, SEWER FORCE MAIN OR RECLAIMED WATER MAINS. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO 3 FEET WHERE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR NEW GRAVITY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 6 INCHES AND PREFERABLY 12 INCHES ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPE LINE. IT IS PREFERABLE TO INSTALL THE WATER MAIN ABOVE OTHER PIPE LINES.
15. AT THE UTILITY CROSSINGS, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE CROSSING PIPELINES, SO THAT WATER LINE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING PIPE. PIPE CROSSINGS SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM TYPE RECLAIMED WATER SEWER MAINS AND AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY SEWERS AND SEWER FORCE MAINS.
16. ACTUAL LOCATIONS AND SIZES OF WATER MAINS AND METERS MAY VARY FROM WHAT IS SHOWN. CONTRACTOR IS RESPONSIBLE FOR FIELD VISIT PRIOR TO BID.
17. TAPS WILL BE DELETED IF NEW MAIN CAN BE CONNECTED DIRECTLY TO OLD MAIN VIA PIPE-SLEEVES AND/OR EXISTING VALVES.
18. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE EXISTING SEWER LATERALS. CITY CAN PROVIDE AS-BUILTS IF REQUESTED.
19. THE CONTRACTOR SHALL ADHERE TO ALL ELEMENTS OF THE TRENCH SAFETY ACT, F.S. 553, Part III (LATEST EDITION) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S (OSHA) EXCAVATION SAFETY STANDARDS, 29 CFR s. 1926.650 Subpart P WHICH ARE INCORPORATED INTO THIS CONTRACT BY REFERENCE.

FDEP NOTES

NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

FDOT NOTES

1. ALL CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST FDOT DESIGN STANDARDS, AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE UTILITY ACCOMMODATION (UAM).
2. RESTORE AND RE-SOD ALL DISTURBED AREAS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL MAINTAIN THAT PORTION OF THE RIGHT-OF-WAY AFFECTED BY THE PERMIT INSTALLATION UNTIL VEGETATION IS ESTABLISHED. PERFORM ALL WORK NECESSARY, INCLUDING WATERING AND FERTILIZING, TO SUSTAIN AN ESTABLISHED TURF UNTIL FINAL ACCEPTANCE, AT NO ADDITIONAL EXPENSE TO THE FDOT OR THE CITY OF OCALA. PROVIDE FILLING, LEVELING, AND REPAIRING OF ANY WASHED OR ERODED AREAS, AS MAY BE NECESSARY.
3. AT SUCH LOCATIONS WHERE FDOT SIGNS, REFLECTORS, OR OTHER STRUCTURES WILL INTERFERE WITH PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LOCAL MAINTENANCE OFFICE OR RESIDENT ENGINEER 48 HOURS PRIOR TO CONSTRUCTION. ALL ITEMS THAT REQUIRE RELOCATION OR REPLACEMENT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR MOWING, AT NO ADDITIONAL EXPENSE TO FDOT OR THE CITY OF OCALA, ANY AREA WITHIN PUBLIC RIGHTS-OF-WAY WHERE THE PERMITTED WORK OR WHERE UTILITY LOCATE FLAGS PLACED FOR PERMITTED WORK CREATES A HINDRANCE FOR OR INTERFERES WITH MAINTENANCE ENTITY'S REGULAR MOWING OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOWING UNTIL ALL SUCH HINDRANCES ARE REMOVED SO THAT REGULAR MAINTENANCE ENTITY MOWING CAN BE RESUMED. THE CONTRACTOR SHALL MEET THE MOWING REQUIREMENTS ESTABLISHED BY THE DEPARTMENT'S MAINTENANCE RATING PROGRAM (MRP). CONTACT THE LOCAL FDOT MAINTENANCE OFFICE FOR DETAILS (352.732.1338).
5. ALL UTILITY LOCATE FLAGS SHALL BE REMOVED BY THE CONTRACTOR WHEN THEY ARE NO LONGER NEEDED.
6. REVIEW AND COMPLY WITH THE "SPECIAL PROVISIONS" AND OTHER ATTACHMENTS TO THE FDOT PERMIT FOR THIS PROJECT.
7. CALL "SUNSHINE" FOR UTILITY LOCATION SERVICE 2 BUSINESS DAYS PRIOR TO CONSTRUCTION (1-800-432-4770).
8. TRAFFIC CONTROL THROUGHOUT THE WORK ZONE SHALL BE PER THE FDOT STANDARD PLANS, 102 SERIES.
9. MOT PLAN SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS, 102.
10. COORDINATE ALL UTILITY CLEARANCES WITH THE OWNER OF SUCH UTILITIES PRIOR TO CONSTRUCTION COMMENCEMENT.
11. CONTRACTOR SHALL CONDUCT A SIDEWALK SURVEY TO DETERMINE THE EXISTING CONDITION OF AFFECTED SIDEWALKS AND SUBMIT SAID SURVEY TO FDOT AND THE CITY OF OCALA WATER AND SEWER DEPARTMENT PRIOR TO CONSTRUCTION COMMENCEMENT.
12. CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS AFFECTED BY PROPOSED CONSTRUCTION ACTIVITIES IN ADVANCE OF SUCH OPERATIONS IN ACCORDANCE WITH FDOT NOTIFICATION REQUIREMENTS.
13. A PRE-CONSTRUCTION CONFERENCE SHALL BE CONDUCTED BY THE CITY OF OCALA WITH THE CONTRACTOR, FDOT PERSONNEL AND/OR
14. ALL SOD WITHIN FDOT RIGHT OF WAY SHALL BE MESH-FREE ARGENTINE BAHIA.
15. ALL SIGNS WITHIN FDOT RIGHT OF WAY SHALL BE FDOT STANDARD ROUND POLES.



SELECTIVE ABBREVIATIONS AND LEGEND SYMBOLS

AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	MH	MANHOLE		PROJECT BOUNDARY LINE		EXISTING WATER VALVE
AIP	ABANDON IN PLACE	FFE	FINISHED FLOOR ELEVATION	MIN	MINIMUM		RIGHT OF WAY OR PROPERTY LINE		PROPOSED GATE VALVE
APP	APPROVE, APPROVED	FH	FIRE HYDRANT	MISC	MISCELLANEOUS		EASEMENT OR SETBACK LINE		PROPOSED BUTTERFLY VALVE
APPROX	APPROXIMATE	FIG	FIGURE	N	NORTHING		EXISTING PAVEMENT		PROPOSED AIR RELEASE VALVE
BLDG	BUILDING	FIN	FINISHED	N/A	NOT APPLICABLE		PROPOSED PAVEMENT		FLUSH POINT
BM	BENCHMARK	FL	FLOOR	N/AVAIL	NOT AVAILABLE		CENTERLINE		SAMPLING POINT
BTM	BOTTOM	NIC	NOT IN CONTRACT	No	NUMBER		EXISTING STRUCTURES		PROPOSED FIRE HYDRANT
°C	DEGREES CELCIUS	FLEX	FLEXIBLE	NOM	NOMINAL		EXISTING CONTOUR		PROPOSED BEND
CFM	CUBIC FEET PER MINUTE	FPP	FIRE PROTECTION PIPING	NTS	NOT TO SCALE		FENCE LINE		PROPOSED PLUG OR CAP
CO	COMPANY	FT	FOOT	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION		OVERHEAD ELECTRIC		PROPOSED CROSS
CONT	CONTINUOUS	GAL	GALLON	PI	POINT OF INTERSECTION		OVERHEAD TELEPHONE CABLE		PUMPING STATION
C/M	CONSTRUCTION MONUMENT	GALV	GALVANIZED	RAD	RADIUS		OVERHEAD CABLE TELEVISION		PROPOSED WATER METER
CTRD	CENTERED	GR	GRADE	REQ	REQUIRED		UNDERGROUND ELECTRIC		PROPOSED CHECK VALVE
DES	DESIGNATION	GS	GALVANIZED STEEL	R/W	RIGHT-OF-WAY		UNDERGROUND TELEPHONE CABLE		PROPOSED REDUCER
DET	DETAIL	GSP	GALVANIZED STEEL PIPE	SAN	SANITARY SEWER		UNDERGROUND CABLE TELEVISION		PROPOSED SINGLE WATER SERVICE
DIA	DIAMETER	H	HIGH	SCH	SCHEDULE		EXISTING GAS LINE		PROPOSED DOUBLE WATER SERVICE
DN	DOWN	HDPE	HIGH DENSITY POLYETHYLENE	SHT	SHEET		PROPOSED GAS LINE		PROPOSED BLOWOFF ASSEMBLY
DWG	DRAWING	HORIZ	HORIZONTAL	SJRWMD	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT		EXISTING WATER MAIN		PROPOSED SANITARY MANHOLE
E	EASTING	HT	HEIGHT	SPEC	SPECIFICATIONS		PROPOSED WATER MAIN		PROPOSED DROP MANHOLE
EA	EACH	HWL	HIGH WATER LEVEL	STA	STATION		SANITARY SEWER		PROPOSED MANHOLE STUB OUT
EL	ELEVATION	IW	INVERT ELEVATION	STD	STANDARD		PROPOSED SANITARY SEWER		
ELEC	ELECTRICAL	LBR	LIMEROCK BEARING RATIO	STL	STEEL		EXISTING STORM SEWER		
EOP	EDGE OF PAVEMENT	LF	LINEAR FEET	TBM	TEMPORARY BENCH MARK		PROPOSED STORM SEWER		
EQ	EQUAL	MAX	MAXIMUM	TYP	TYPICAL		PROPOSED FIRE HYDRANT		
EXIST	EXISTING	MECH	MECHANICAL				EXISTING FIRE HYDRANT		
*F	DEGREES FARENHEIT	MFR	MANUFACTURER						

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Civil Engineering & Land Surveying

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A MARION COUNTY MAJOR SITE PLAN

FOR

CALUMET PARK LLC

NOTES AND LEGEND

JOB No.
2020-004

DATE
12/14/2020

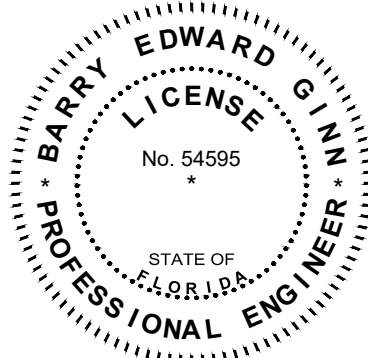
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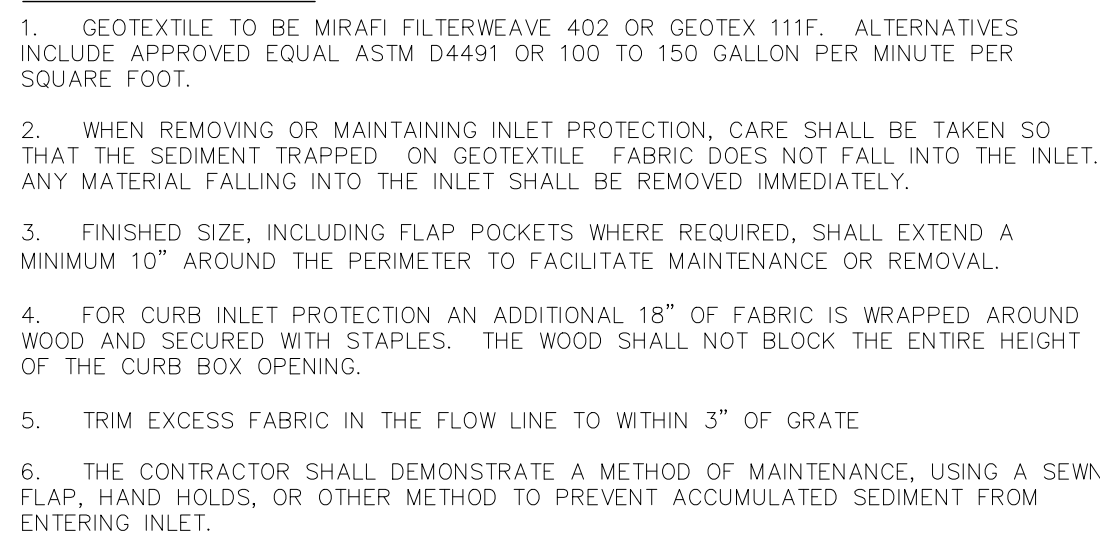
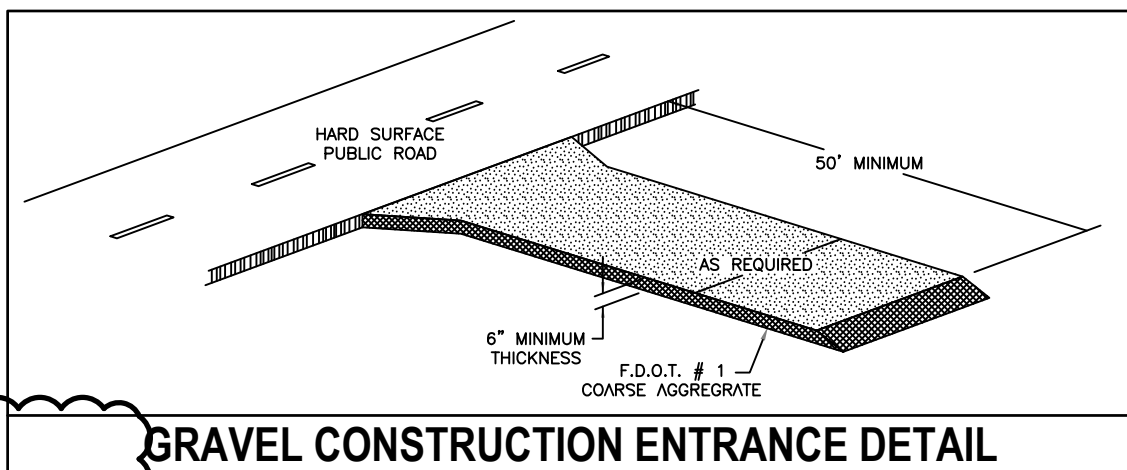
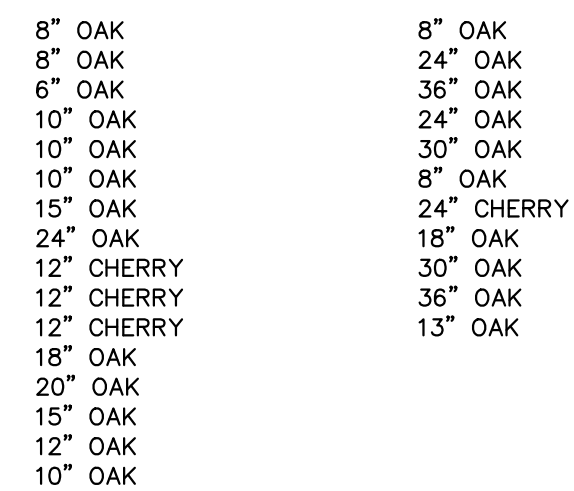
SHEET
C002

IF PROJECT NO. - 2020-004

Infinite Engineering

240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
352) 267-1480
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SCALE: NONE



1. TYPICAL TREE PROTECTION AT TIME OF CONSTRUCTION.
2. INSTALL PRIOR TO CLEARING/GRUBBING.
3. APPROPRIATE PROTECTIVE MEASURES SHALL BE TAKEN TO PREVENT THE DESTRUCTION OR DAMAGE OF ALL TREES TO BE RETAINED ON THE SITE. NO MATERIALS, MACHINERY, TEMPORARY SOIL DEPOSITS, ADDITIONAL FILL, OR ASPHALT PAVEMENT FOR VEHICULAR CIRCULATION SHALL BE PLACED ANYWHERE TO ANY TREE OR TO ANY TREE DRAIN LINE. NO ATTACHMENTS OF WIRES, EXCEPTING PROTECTIVE GUIDE WIRES, SHALL BE ATTACHED TO ANY TREE. NO CHANGE OF GRADE MORE OR LESS THAN 6" INCHES MAY BE MADE WITHIN THE DRAIN LINE OF A TREE UNLESS SHOWN ON THE APPROVED SITE DEVELOPMENT PLAN.

NTS



A circular professional engineer seal for Barry Edward Ginn. The outer ring contains the text "BARRY EDWARD GINN" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two small stars. The inner circle contains the word "LICENSE" at the top, the license number "No. 54595" in the center, a small star below the number, and "STATE OF FLORIDA" at the bottom.

A MARION COUNTY MAJOR SITE PLAN
FOR
CALUMET PARK LLC
DEMOLITION & EROSION CONTROL PLAN

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

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MARION CO. COMMENTS

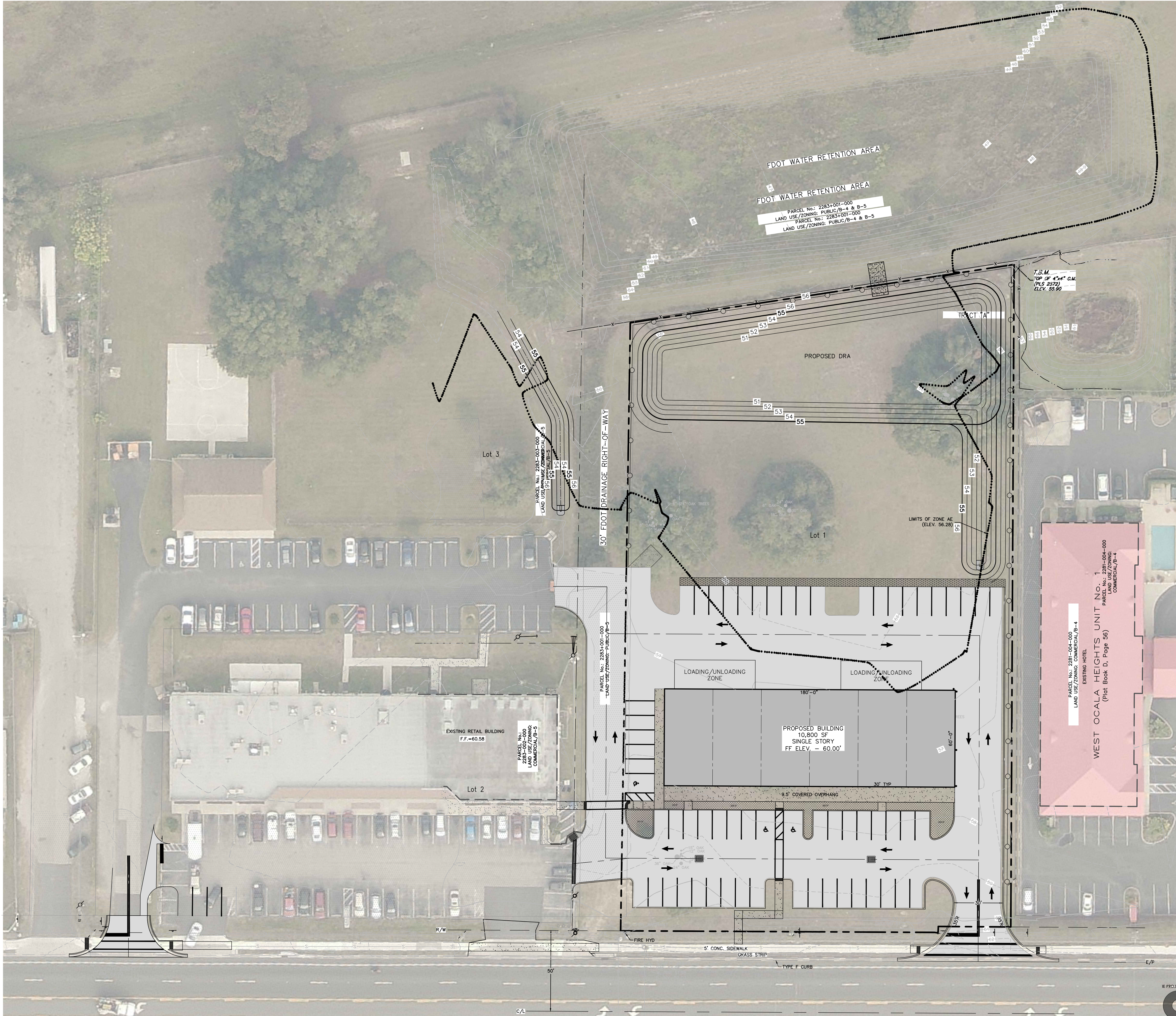
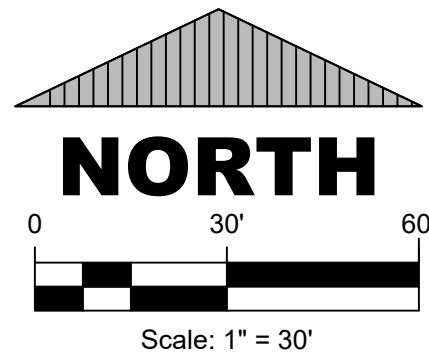
3/21

Barry Ginn, PE
Fl. Reg. No. 54595
brickcitysolar@gmail.com

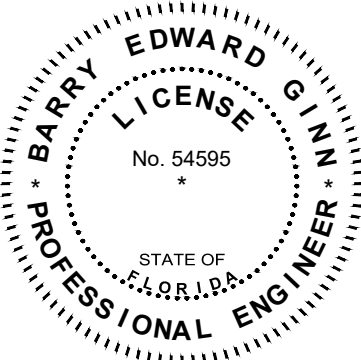
Rodney K. Rogers, PSM
Fl. Reg. No. 5274
rkr Rogers@rogerseng.com

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Infinite Engineering
240 SW 8TH STREET, SUITE A
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352.267.1480
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A MARION COUNTY MAJOR SITE PLAN
FOR
CALUMET PARK LLC
AERIAL PHOTOGRAPH

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Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

Barry Ginn, PE
Fl. Reg. No. 54595
brginn@rogerseng.com
Rodney K. Rogers, PSM
Fl. Reg. No. 5274
rkrogers@rogerseng.com

DATE

REVISION

JOB No.
2020-004

DATE
12/14/2020

SCALE
1"=30'

SHEET
0004

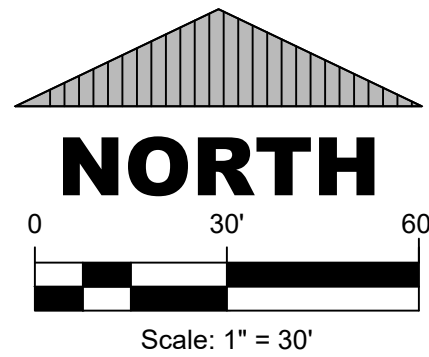


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Civil Engineering & Land Surveying

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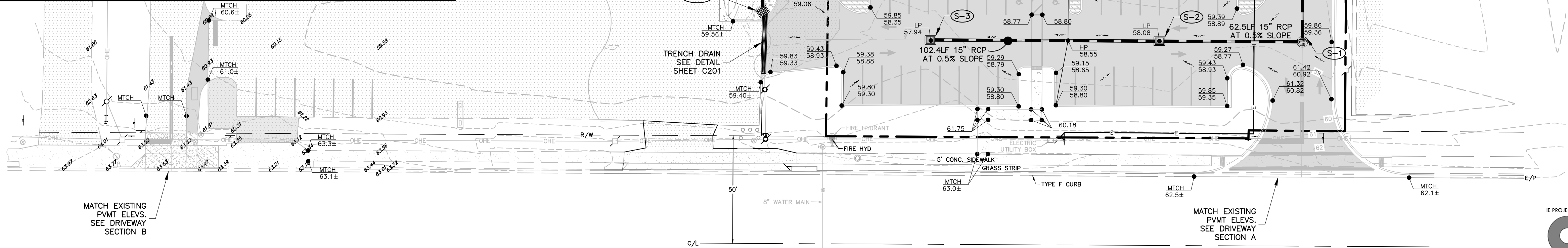
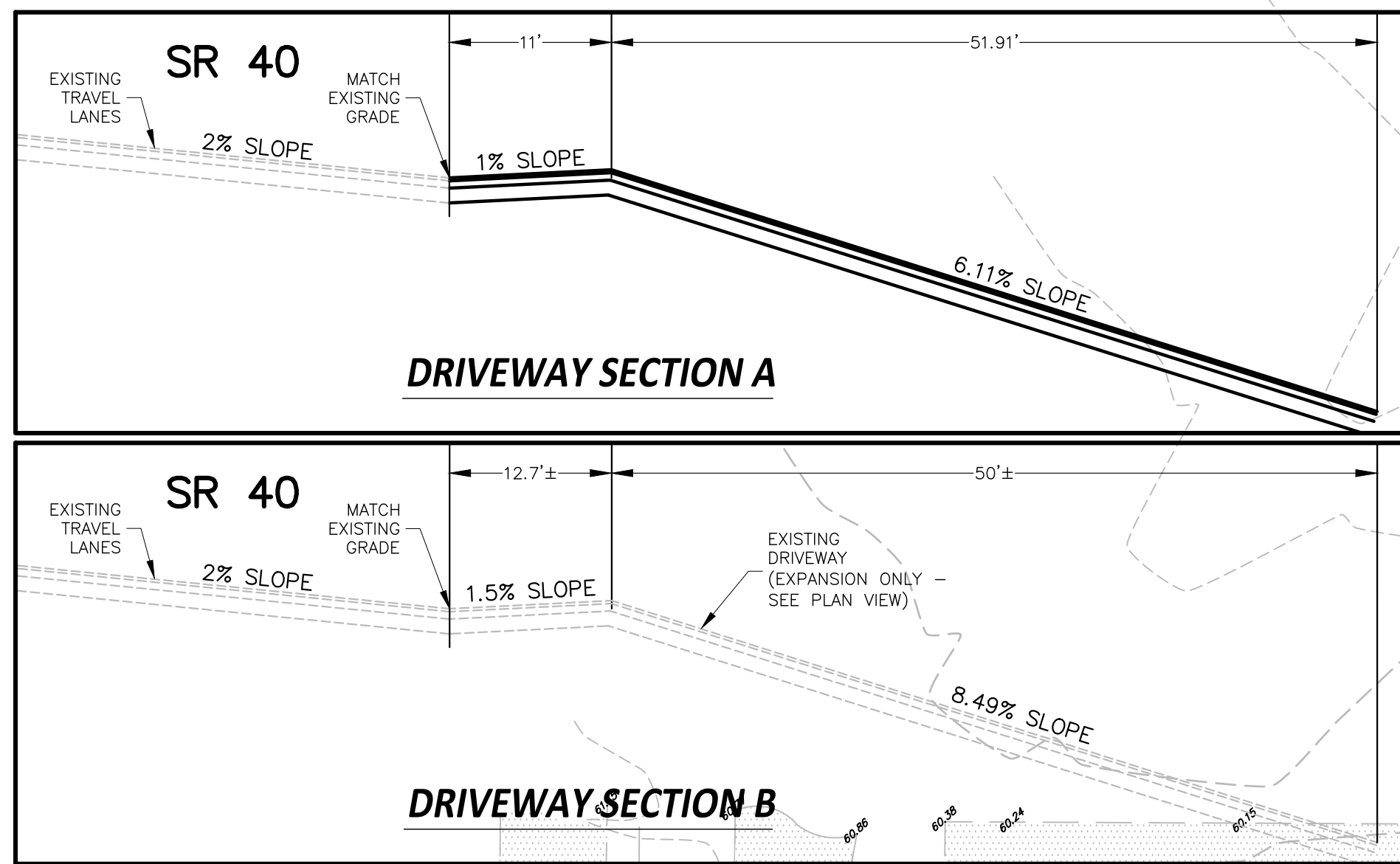
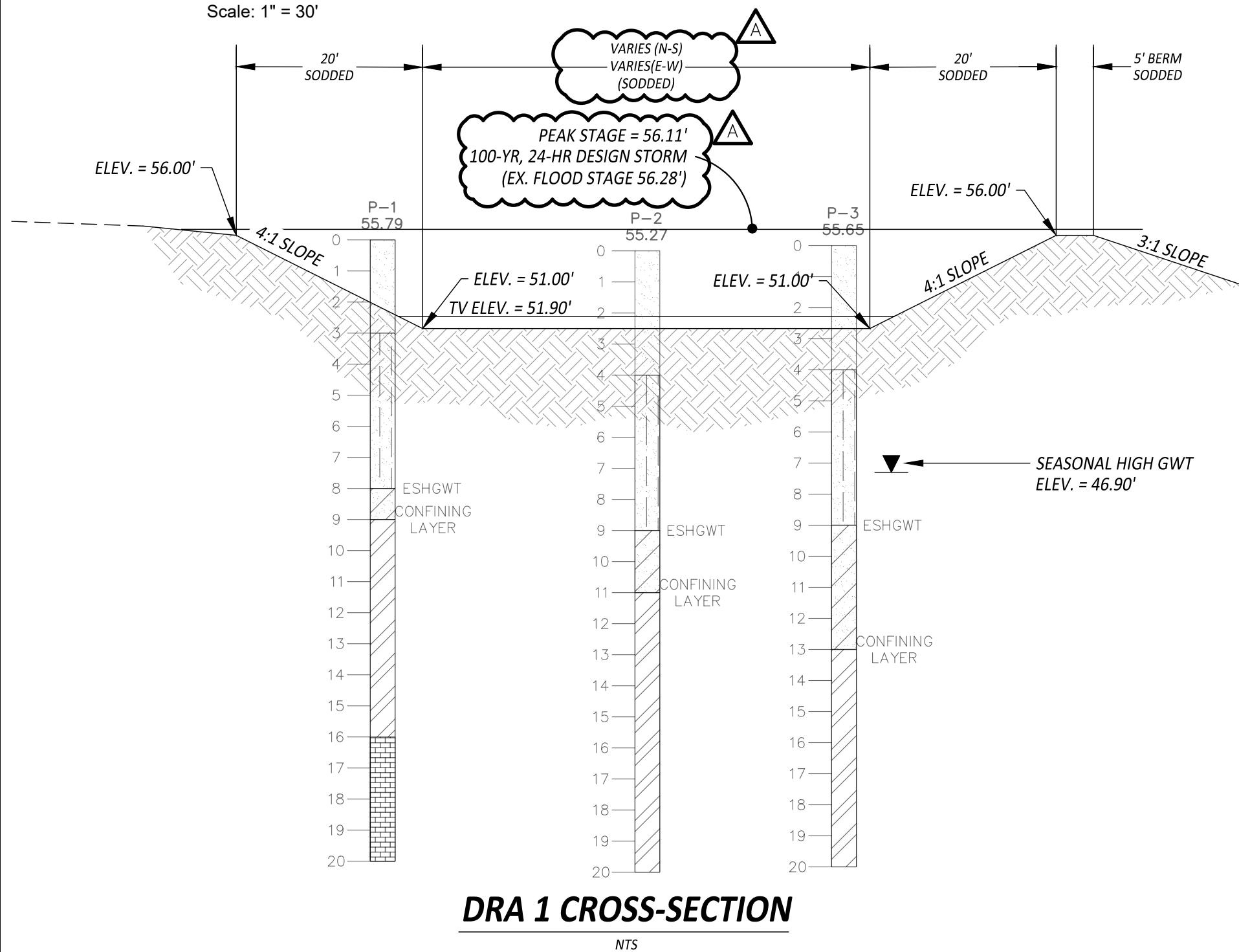
SEASONAL HIGH GWT CALCULATION

$$\frac{47.79 + 46.27 + 46.65}{3} \Rightarrow 46.90$$

BASE OF AQUIFER CALCULATION

$$\frac{46.79 + 44.27 + 42.65}{3} \Rightarrow 44.57$$

STORM STRUCTURE TABLE							
INLET DES.	INLET RIM/GRD.	N INV.	S INV.	E INV.	W INV.	TYPE	NOTES
MES-1	52.00'	52.00	-	-	-	MES, 3:1	FDOT STANDARD PLAN 430
S-1	59.13'	52.91	-	-	54.60'	4' DIA. MH	FDOT STANDARD PLAN 425-052
S-2	58.08'	-	-	54.91'	54.91'	TYPE D INLET	FDOT STANDARD PLAN 425-052
S-3	57.94'	-	-	55.42'	-	TYPE D INLET	FDOT STANDARD PLAN 425-052
S-4	59.30'	54.92	54.92	-	-	TYPE D INLET	FDOT STANDARD PLAN 425-052
S-5	58.17'	54.46	54.46	-	-	4' DIA. MH	FDOT STANDARD PLAN 425-052
S-6	58.10'	54.39	54.39	-	-	4' DIA. MH	FDOT STANDARD PLAN 425-052
MES-2	53.94'	53.94	-	-	-	MES, 3:1	FDOT STANDARD PLAN 430



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Infinite Engineering
240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 267-1480
WWW.INFINITEENGINEERING.COM
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ROGERS ENGINEERING, LLC
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1103 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A MARION COUNTY MAJOR SITE PLAN
FOR
CALUMET PARK LLC

GRADING AND DRAINAGE PLAN

MARION CO. COMMENTS

3/21

Barry Ginn, PE
Fl. Reg. No. 54595
bricginn@gmail.com
Rodney K. Rogers, PSM
Fl. Reg. No. 5274
rkrogers@rogerseng.com

DATE

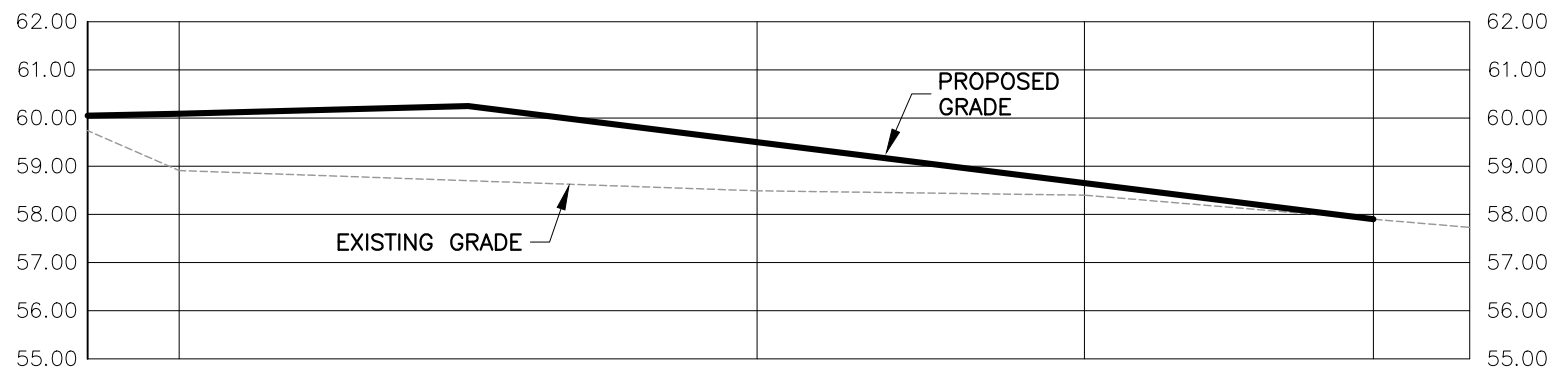
REVISION

JOB No.
2020-004

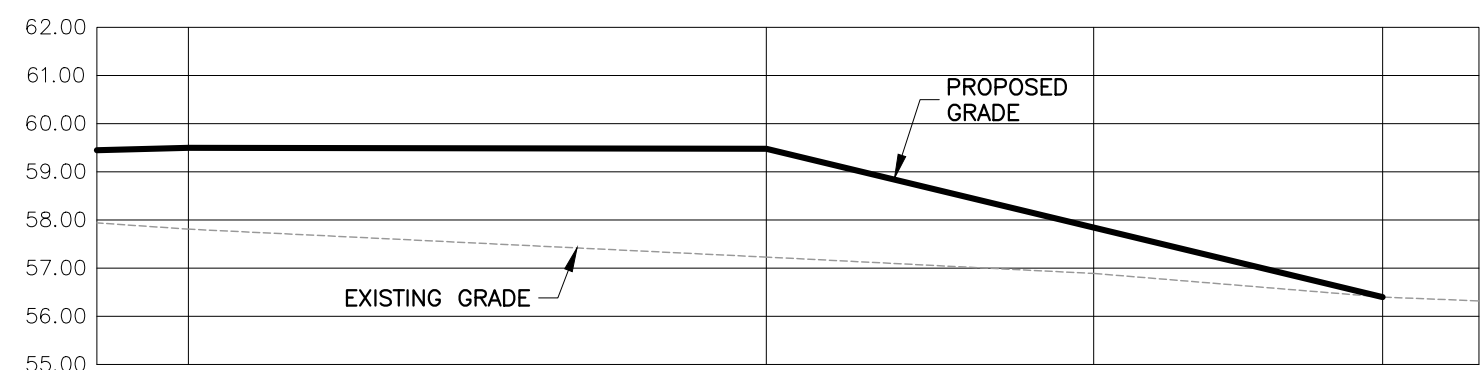
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12/14/2020

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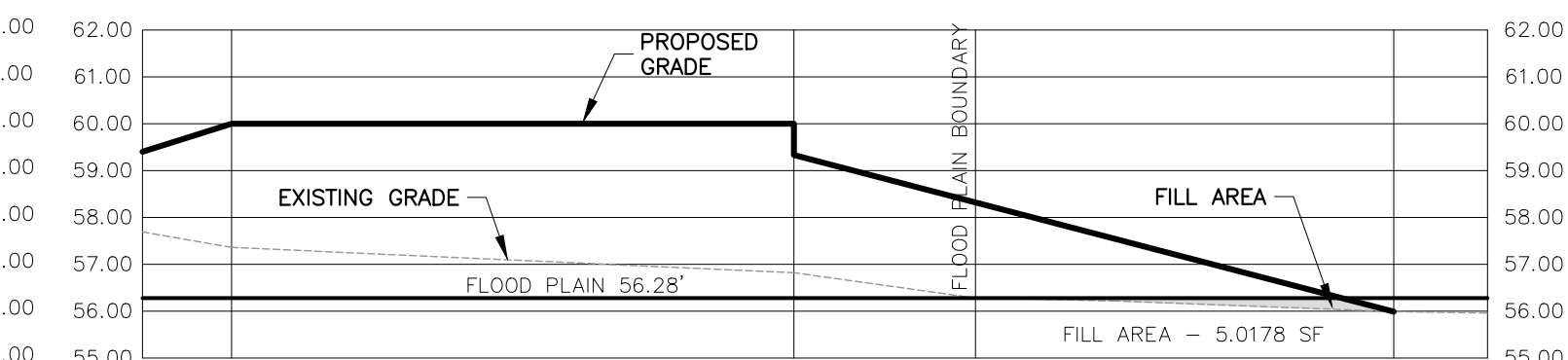
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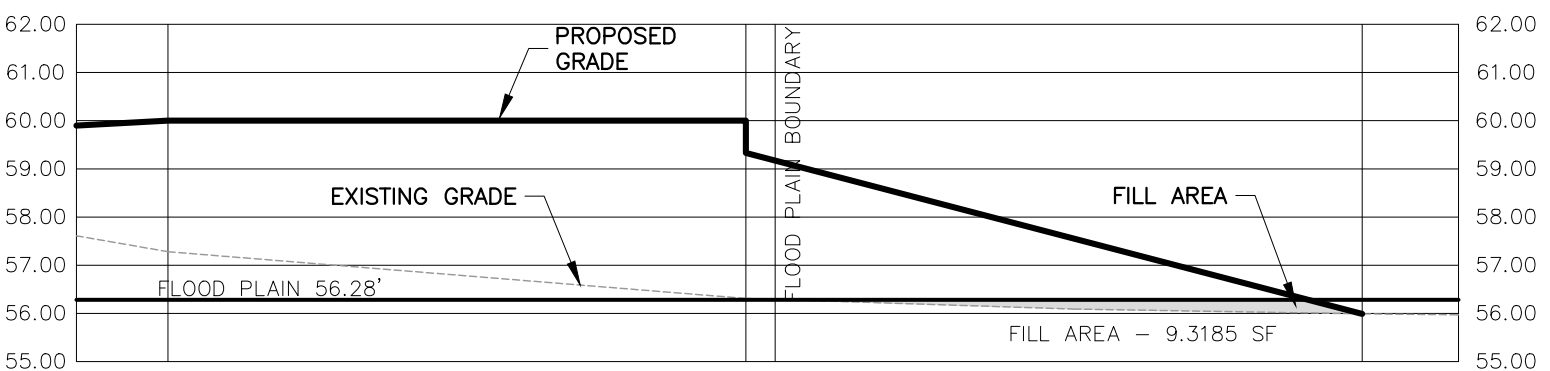
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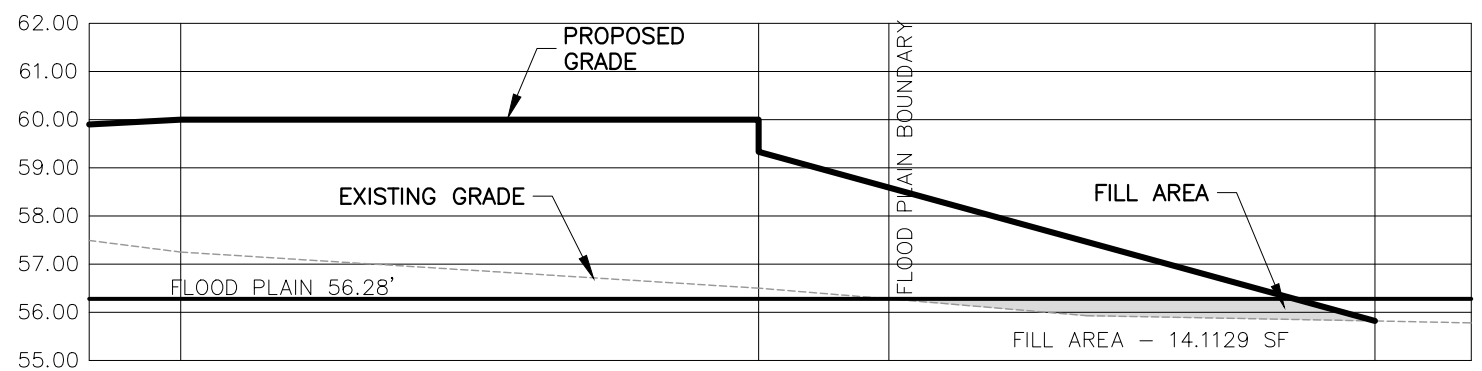
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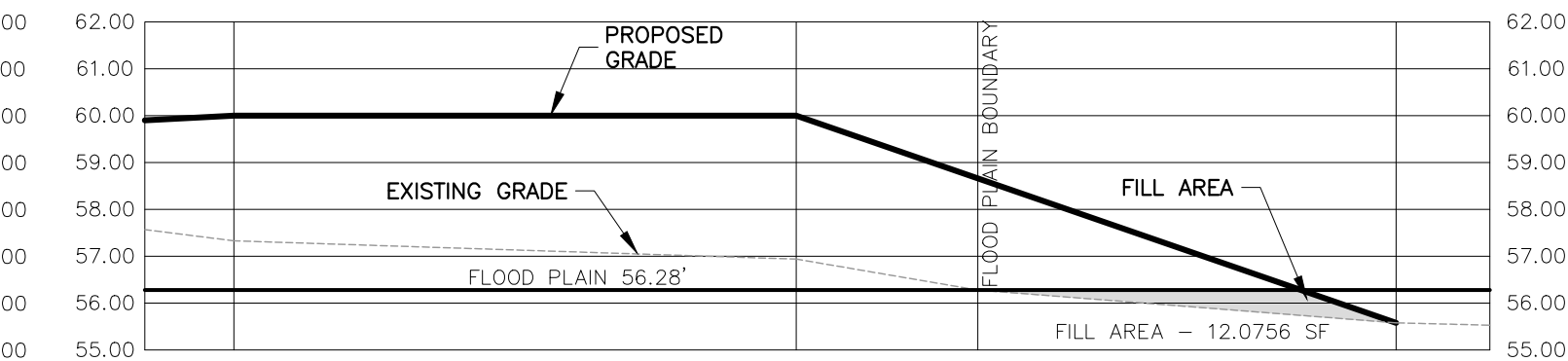
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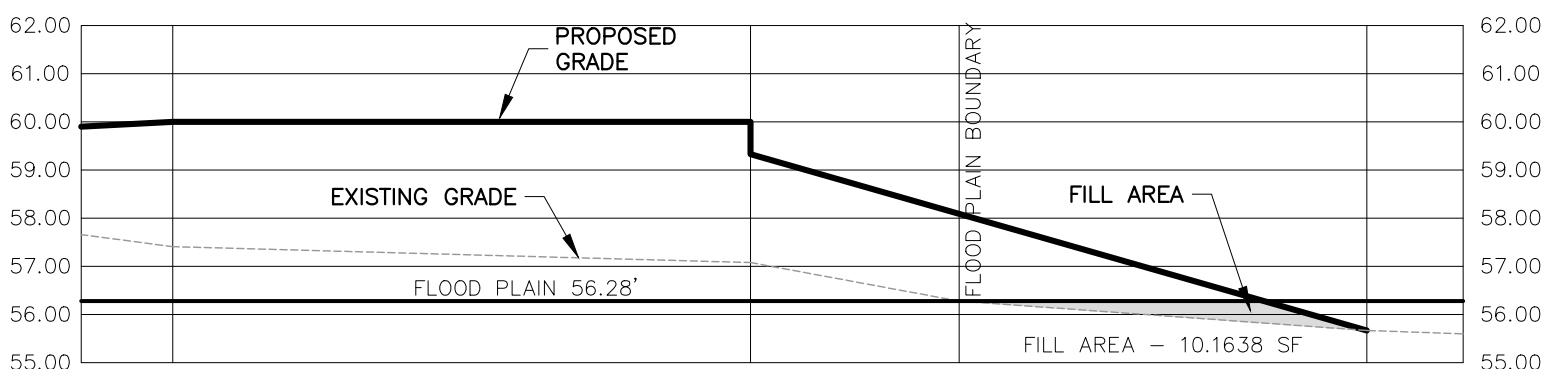
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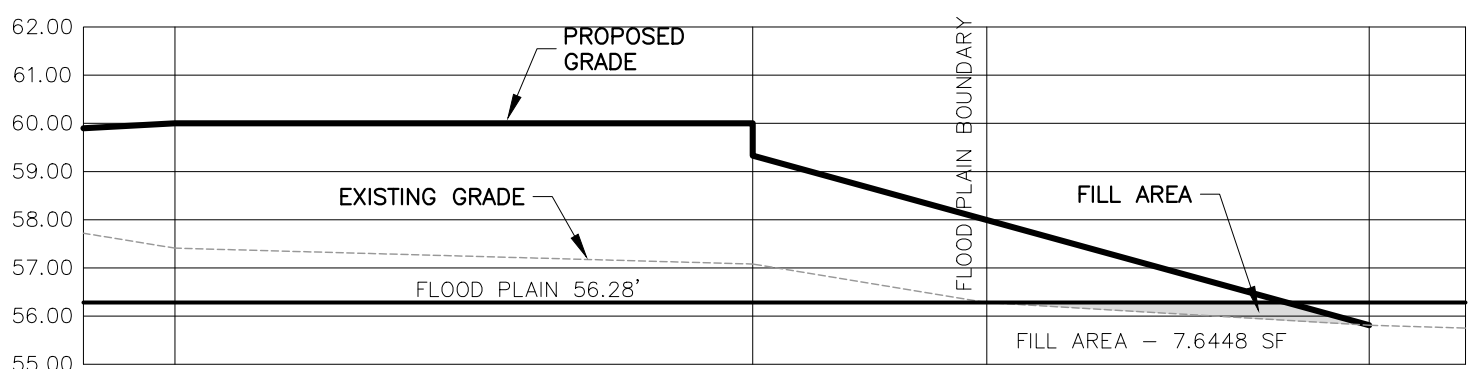
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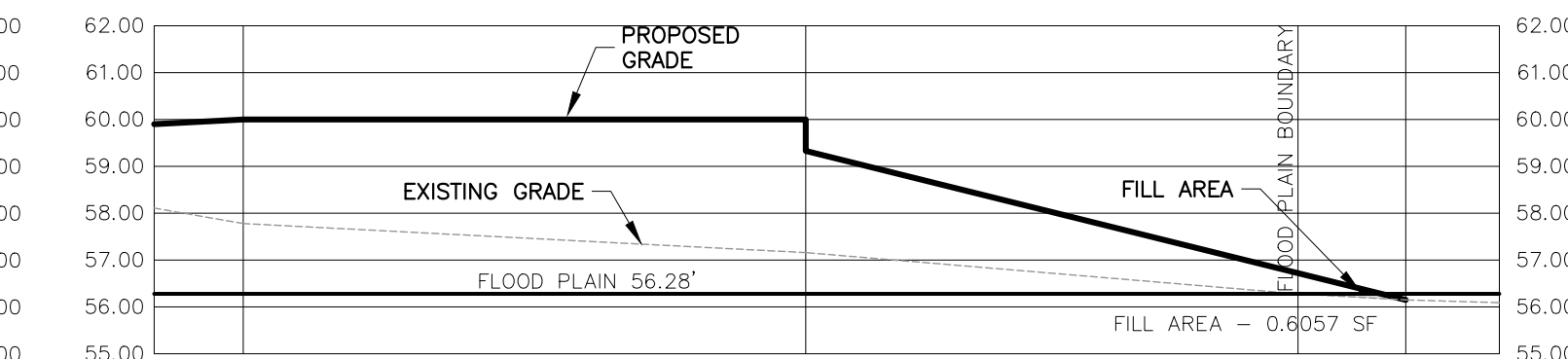
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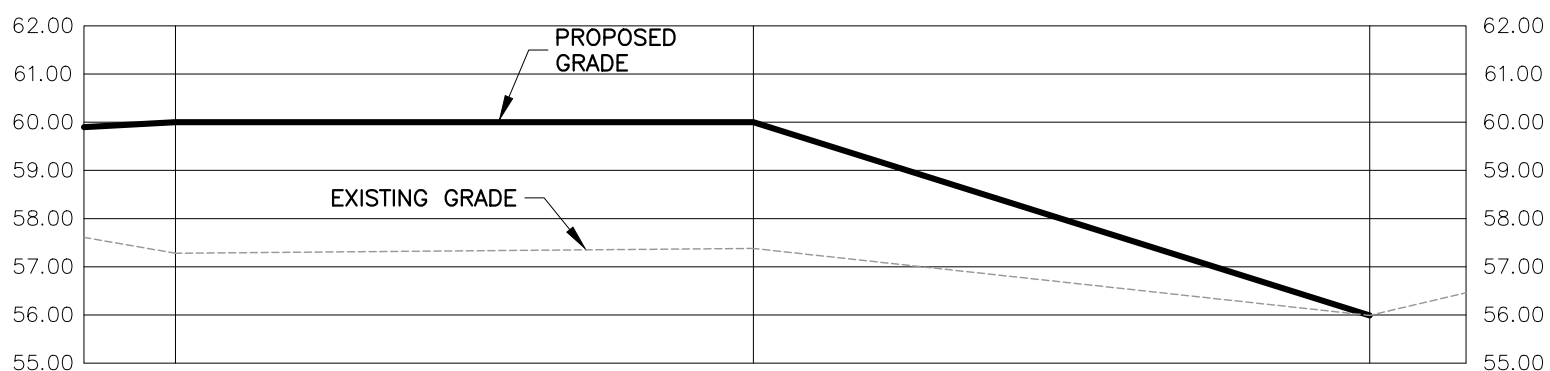
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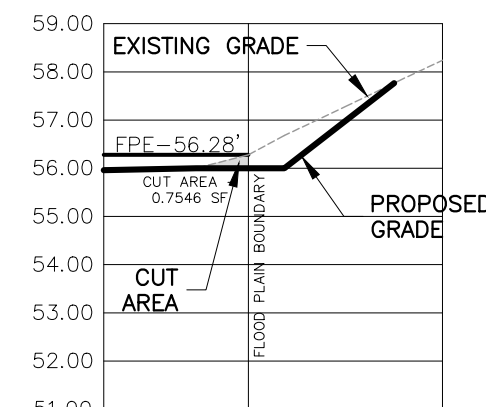
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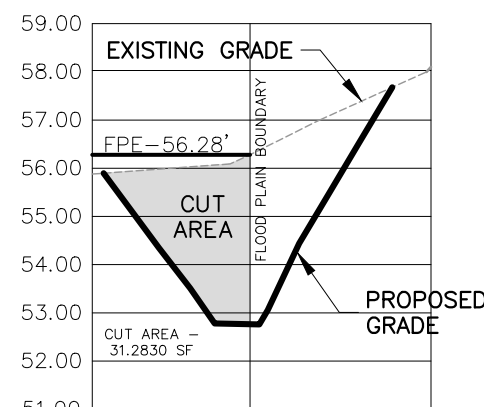
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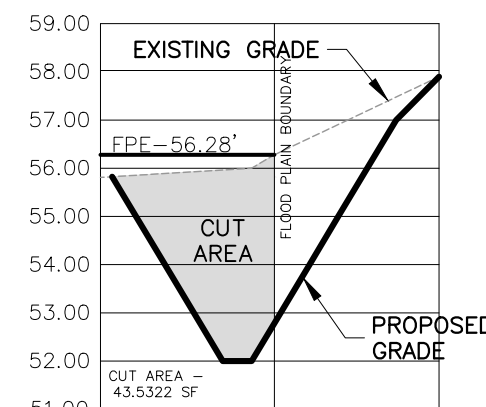
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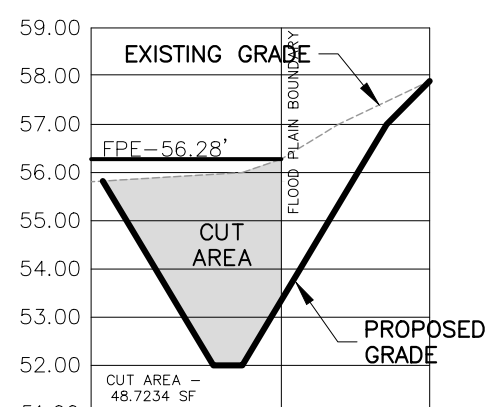
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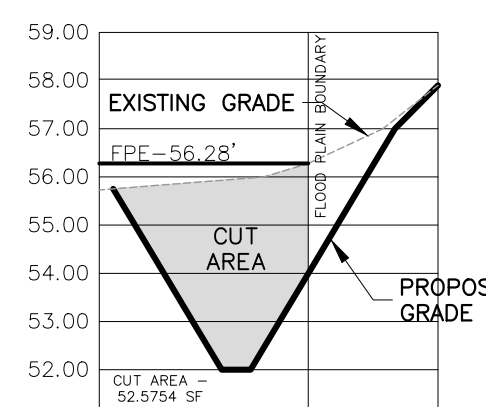
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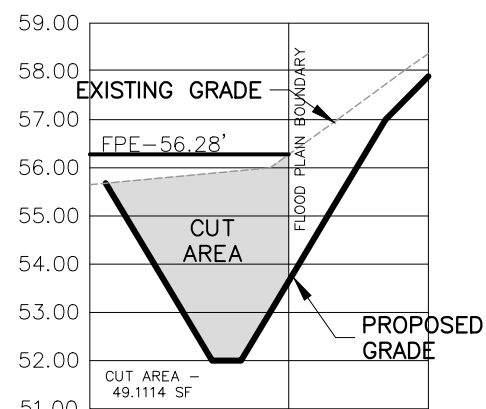
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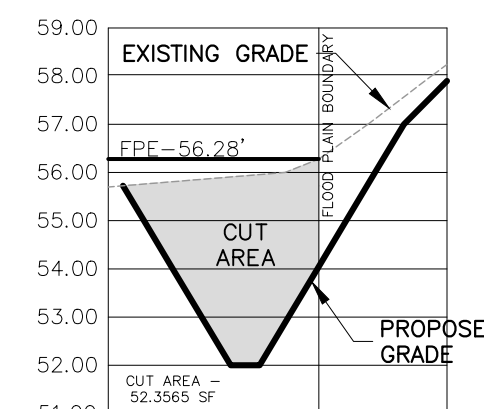
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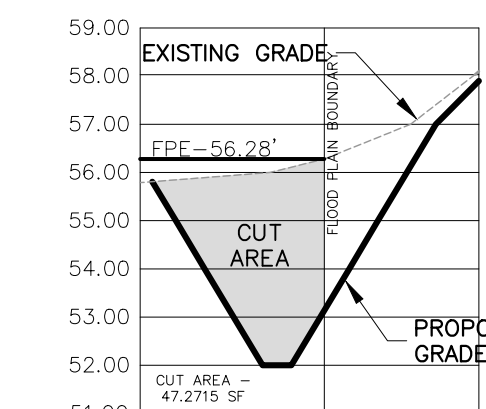
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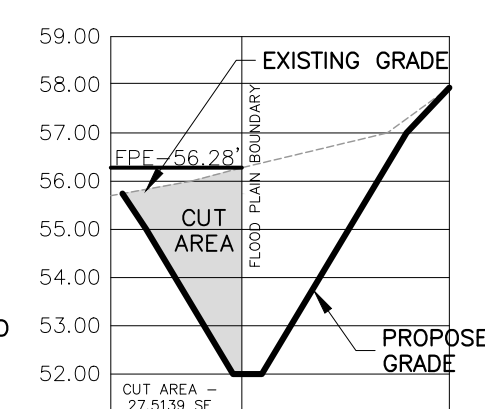
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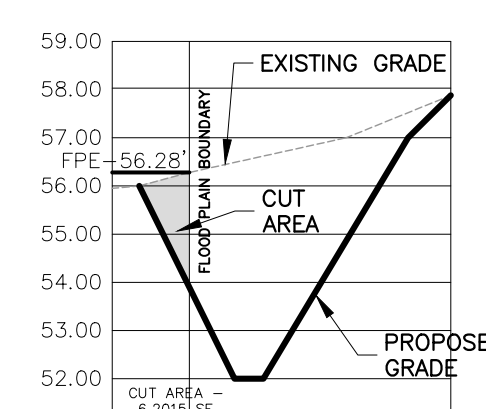
SECTION 17



SECTION 18



SECTION 19



SECTION 20

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IE PROJECT NO. - 2020-004
Infinite Engineering
240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 267-1480
WWW.INFINITEENGINEERING.COM
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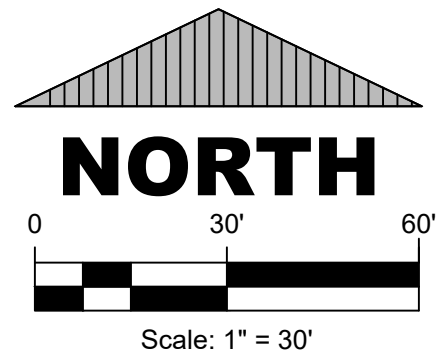
A MARION COUNTY MAJOR SITE PLAN
FOR
CALUMET PARK LLC
CUT AND FILL SECTIONS

JOB No.
2020-004
DATE
12/14/2020
SCALE
1"=30'
SHEET
C102

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Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

Barry Ginn, PE
Fl. Reg. No. 54595
brginn@rogerseng.com
Rodney K. Rogers, PSM
Fl. Reg. No. 5274
rkrogers@rogerseng.com

REVISION
DATE



PIPE CONFLICTS

CONFLICT A

SEWER PIPE CROWN —	54.29'
STORM PIPE BOTTOM —	54.79'
PROPOSED SEPARATION —	0.50'

GENERAL WATER AND SEWER NOTES:

ALL WATER AND/OR SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT WATER ND SEWER CONSTRUCTION MANUAL (PER WSCM 485.2.5.2/495.2.8.1).

ASBUILT, MEETING THE CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE C.O. (WSCM 485.2.5.8/495.2.8.5)

A VALVE-TIE SHEET SHALL BE REQUIRED FOR ANY 2" VALVE OR LARGER INSTALLED AS PART OF THIS PROJECT.

ALL POTABLE WATER PIPING INSTALLED PRIOR TO THE WATER METER BOX SHALL BE 2" POLYETHYLENE (PE) MATERIAL. (WSCM 485.2.5.25)

WASTEWATER DEMAND CALCULATION:

(PER 64E-6, FAC, STANDARDS FOR ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS)

10,800 SF x 0.1GPD/SF => 1,080 GPD

PEAK FLOWRATE => $1,080 \text{ GPD} \times \frac{1 \text{ DAY}}{24 \text{ HR}} \times \frac{1 \text{ HR}}{60 \text{ MIN}} \times 4.5 \text{ => } 3.38 \text{ GPM} > \text{USE } 5 \text{ GPM}$

POTABLE WATER DEMAND CALCULATION:

(PER 64E-6, FAC, STANDARDS FOR ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS)

10,800 SF x 0.1GPD/SF => 1,080 GPD SEWER FLOWRATE

POTABLE FLOWRATE = $1,080 \text{ GPD} / 0.75 \text{ => } 1,440 \text{ GPD}$

PEAK FLOWRATE = 4.5 GPM => USE 5 GPM

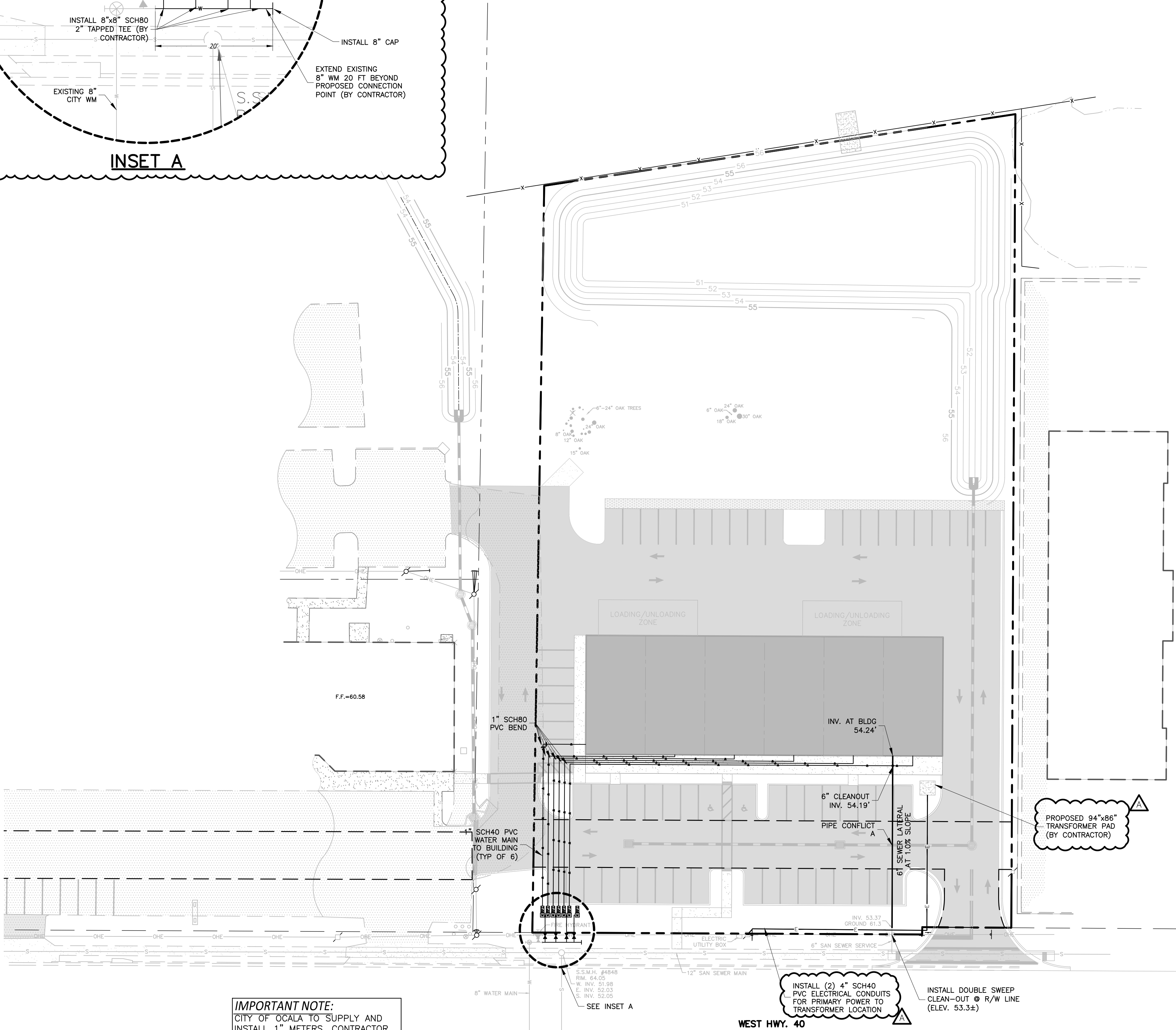
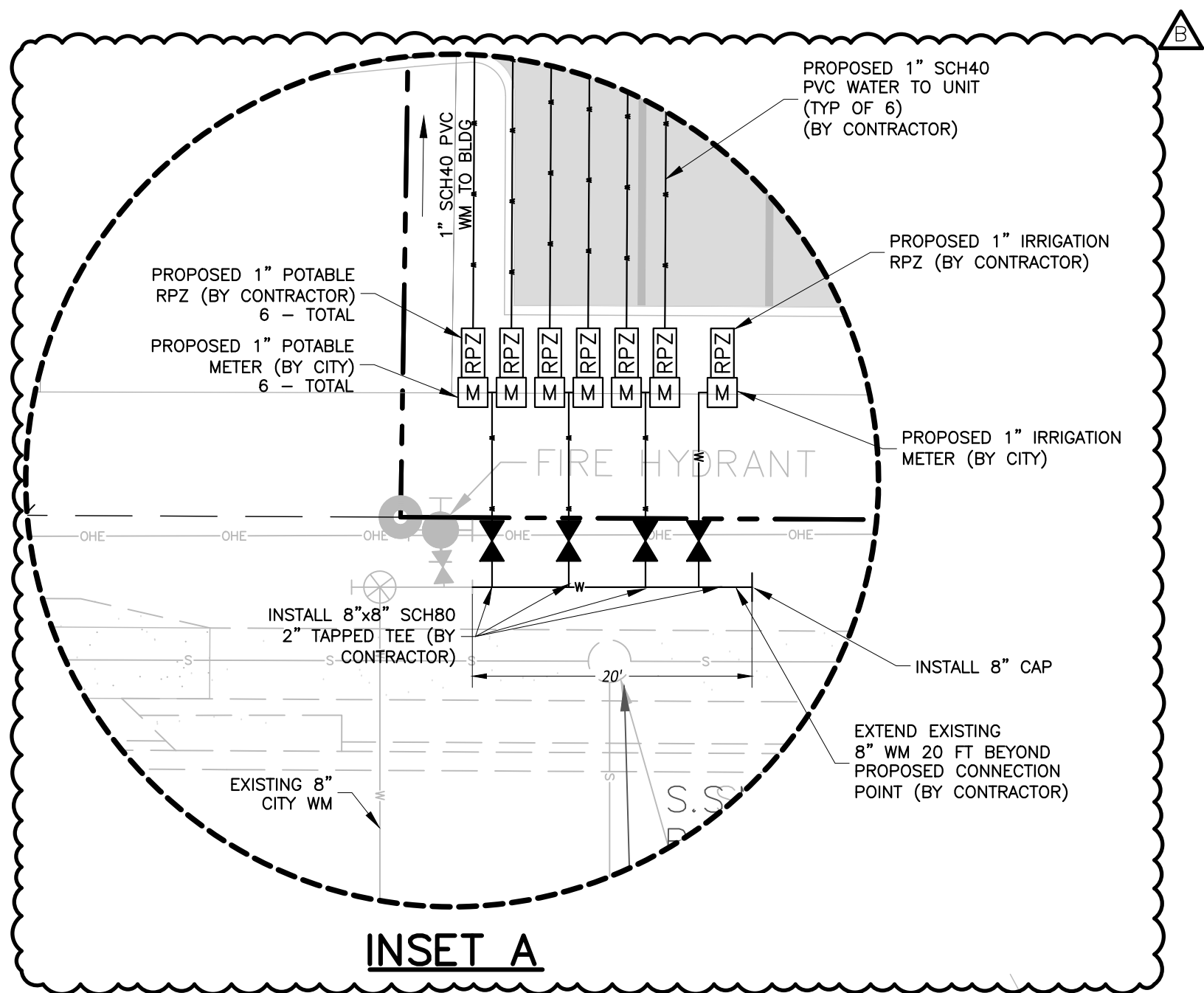
IRRIGATION WATER DEMAND CALCULATION:

2" PER WEEK PER SF OF IRRIGATED AREA (UNTIL ESTABLISHED)

2"(1FT/12") x 4,755 SF => 792.5 CF/WEEK * 7.48 GAL/CF => 5,928 GAL/WK => 847 GPD

ELECTRICAL NOTES:

- CUSTOMER MUST SUBMIT THE OCALA UTILITY SERVICES' (OUS) COMMERCIAL LOAD DATA SHEET AND THE OUS GENERAL INFORMATION SHEET TO THE GROWTH MANAGEMENT DEPARTMENT PRIOR TO ANY SITE PERMITS BEING ISSUED. DATA SHEETS MUST BE APPROVED BY OUS ENGINEERING PRIOR TO ANY SITE PERMITS BEING ISSUED. MATERIAL LEAD TIMES MAY CAUSE A DELAY IN OBTAINING SERVICE, IF LOAD DATA IS NOT SUBMITTED AS SOON AS POSSIBLE.
- CUSTOMER MUST CONTACT THE OCALA UTILITY SERVICES ENGINEERING DIVISION AT (352) 351-6620 AT LEAST SIX (6) WEEKS PRIOR TO THE START OF CONSTRUCTION TO DISCUSS PERMANENT SERVICE REQUIREMENTS, TEMPORARY CONSTRUCTION POWER, TRANSFORMER LOCATION, AND METER LOCATION. REFERENCE OUS CNTY20-0002.
- TREES CANNOT BE PLANTED AROUND, OVER, OR UNDER ANY EXISTING OR PROPOSED POWER LINES. THIS INCLUDES ANY LINES DESIGNED AFTER FINAL SITE PLAN APPROVAL.
- FOR ALL UNDERGROUND ELECTRIC POWER LINES ON PRIVATE PROPERTY, A TEN (10) FOOT ELECTRIC DISTRIBUTION EASEMENT WILL BE REQUIRED. FOR OVERHEAD CONSTRUCTION, A TWENTY (20) FOOT EASEMENT WILL BE REQUIRED. ALSO, FOR ANY OVERHEAD POWER LINES, BOTH EXISTING AND PROPOSED, A TEN (10) FOOT TREE-TRIMMING EASEMENT WILL BE REQUIRED (SEC. 70-585 AND SEC. 70-602).
- UNDERGROUND ELECTRICAL SERVICE WILL BE AT THE CUSTOMER'S EXPENSE (SEC. 70-584 AND SEC. 70-603).
- ALL ELECTRIC UTILITY FACILITIES SHALL BE INCLUDED ON THE SITE PLAN PRIOR TO SITE PLAN APPROVAL. (INCLUDE YELLOW AND BLACK FACILITY ID NUMBERS).
- METER LOCATION WILL BE DESIGNATED BY OCALA UTILITY SERVICES (SEC. 70-587). HOWEVER, DESIRED LOCATION MAY BE NOTED ON SITE PLAN.
- THE REQUESTED SERVICE VOLTAGE IS 208 VOLT, 3 PHASE. REQUESTED SERVICE VOLTAGE IS NOT GUARANTEED TO BE SUPPLIED, HOWEVER, OUS WILL TRY TO ACCOMMODATE THE REQUEST WHEN POSSIBLE (SEC. 70-585 AND SEC. 70-587).
- STREETLIGHTS, IF REQUIRED, WILL BE ADDED AT A ONE TIME CHARGE TO THE CUSTOMER. ESTIMATED COST WILL BE PROVIDED AS PART OF THE ACTUAL ELECTRICAL SERVICE DESIGN (SEC. 70-621).
- CONSTRUCTION FOR TEMPORARY SERVICE LOCATION TO BE DETERMINED BY OCALA UTILITY SERVICES.
- THE FINAL APPROVED REVISED SITE PLAN IS TO BE EMAILED TO RROTELLA@OCALAFI.ORG USING THE ABOVE MENTION OUS SITE PLAN REFERENCE NUMBER.
- ADDITIONAL REQUIREMENTS ARE CONTAINED IN CHAPTER 70, ARTICLE VI AND ARTICLE VII OF THE OCALA CODE OF ORDINANCES.
- ANY INSTALLATION OF BILLBOARDS/SIGNS SHALL COMPLY WITH THE LATEST NESC AND OSHA REGULATIONS PERTAINING TO PROXIMITY TO OVERHEAD POWER LINES. NO BILLBOARDS OR SIGNS SHALL BE PLACED IN ANY ELECTRIC UTILITY EASEMENTS WITH THE PERMISSION OF THE UTILITY.



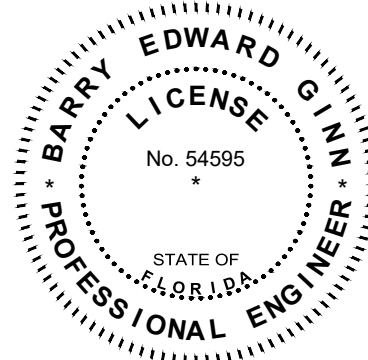
IMPORTANT NOTE:
CITY OF OCALA TO SUPPLY AND INSTALL 1" METERS, CONTRACTOR TO SUPPLY AND INSTALL METER BOXES AND ALL OTHER APPURTENANCES

IE PROJECT NO. - 2020-004



Infinite Engineering

240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 267-1480
WWW.INFINITEENGR.COM
CERT. OF AUTH. # 33000



A MARION COUNTY MAJOR SITE PLAN FOR

CALUMET PARK LLC

UTILITY PLAN

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

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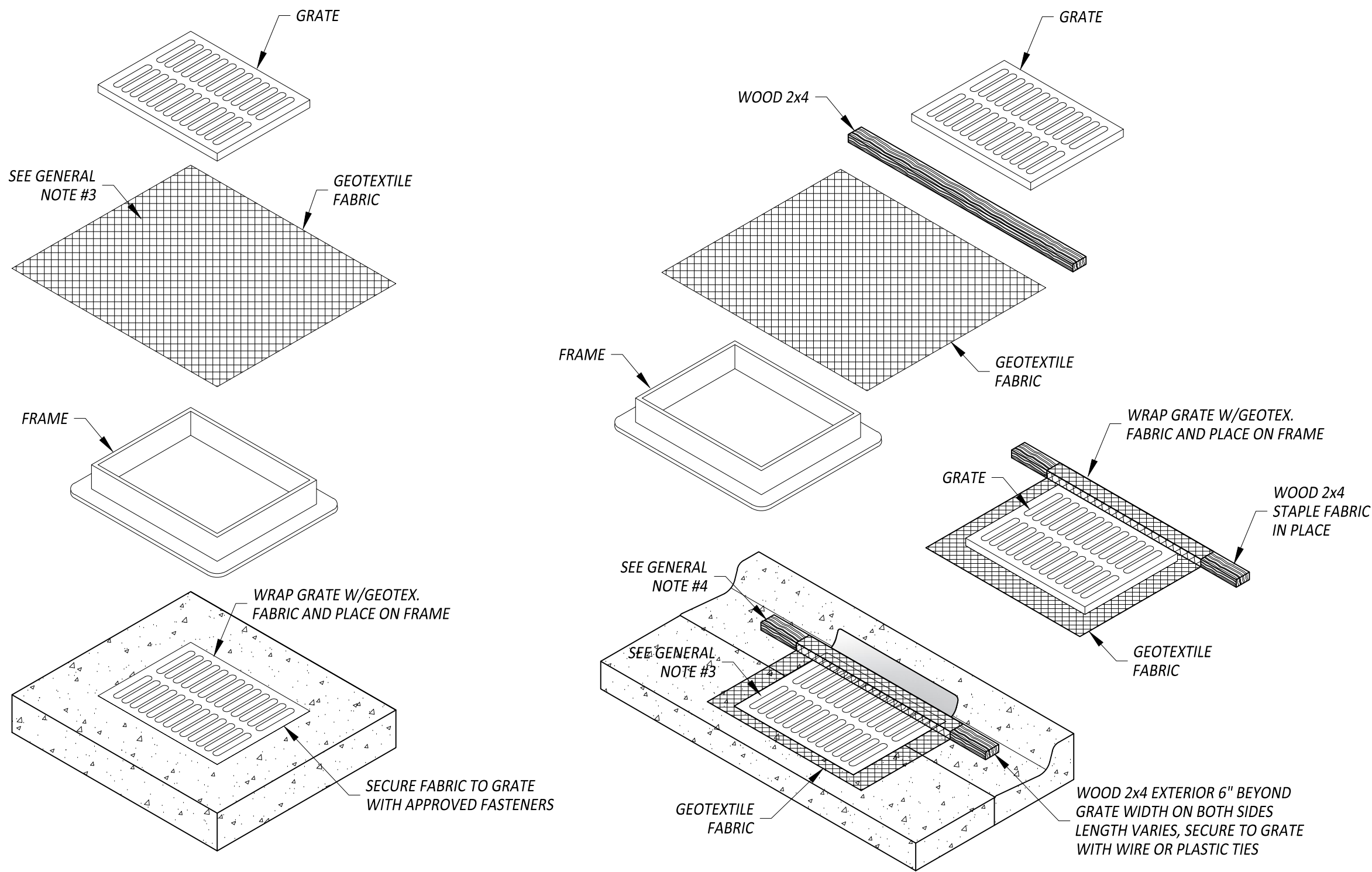
CITY OF OCALA COMMENTS

3/21

CITY OF OCALA COMMENTS

4/21

Barry Ginn, PE
Fl. Reg. No. 54595
bricginn@gmail.com
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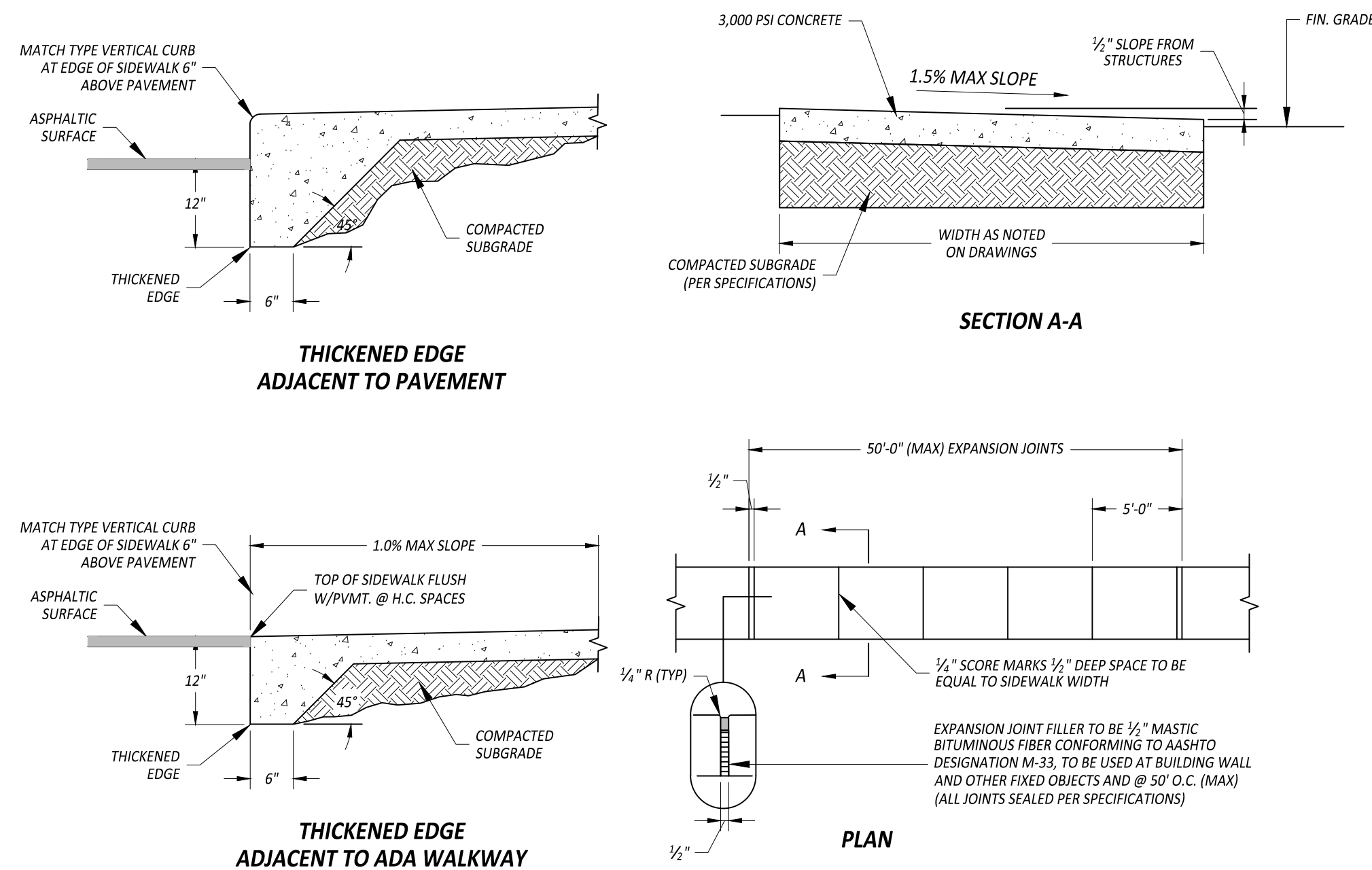
GENERAL NOTES:

1. GEOTEXTILE TO BE MIRAFI FILTERWEAVE 402 OR GEOTEX 111F. ALTERNATIVES INCLUDE APPROVED EQUAL ASTM D4491 OR 100 TO 150 GALLON PER MINUTE PER SQUARE FOOT.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
4. FOR CURB INLET PROTECTION AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF GRATE
6. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS, OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING INLET.

GEOTEXTILE FABRIC INLET PROTECTION

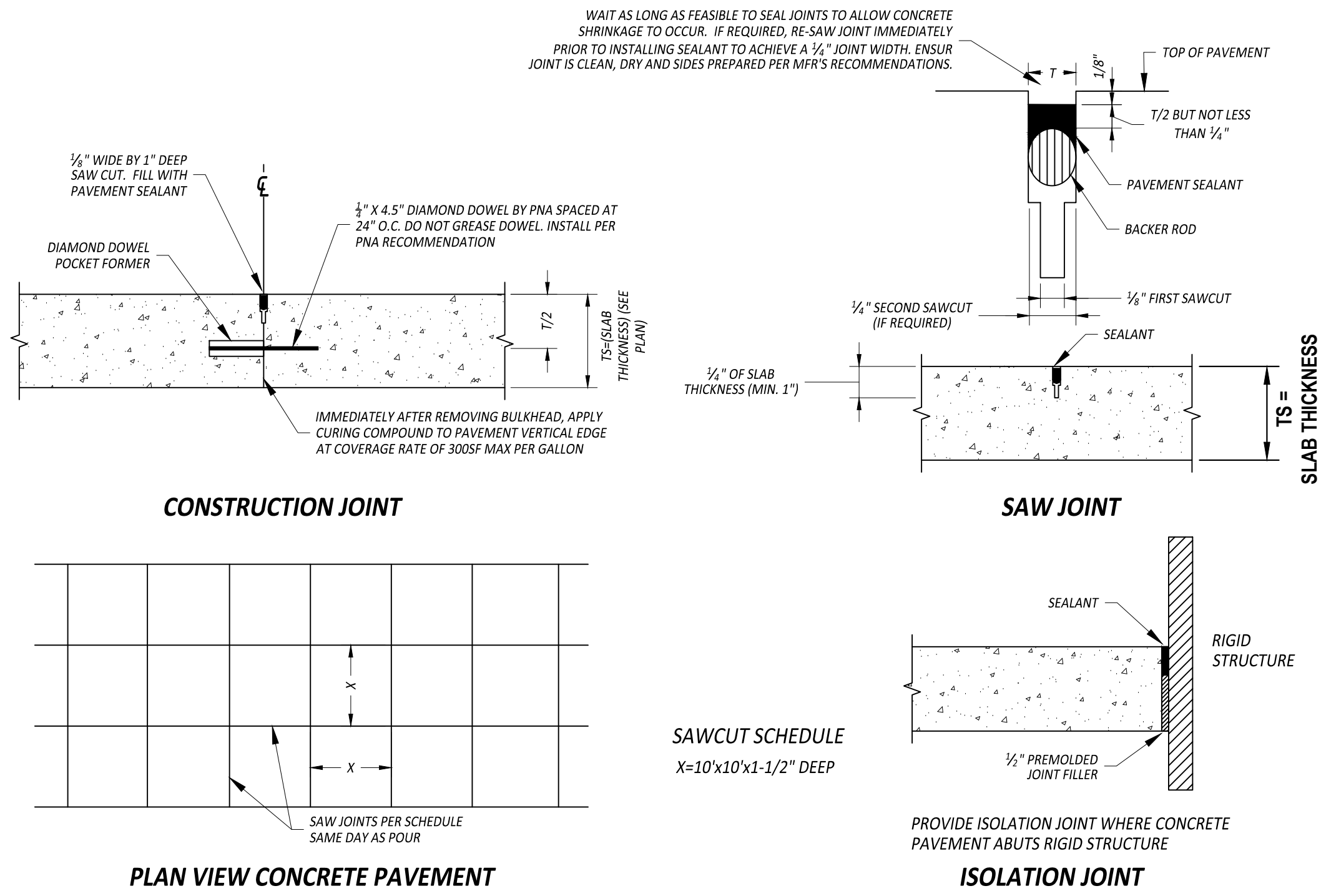
SCALE: NONE

CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,000 PSI STRENGTH, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS. 1/2 INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.



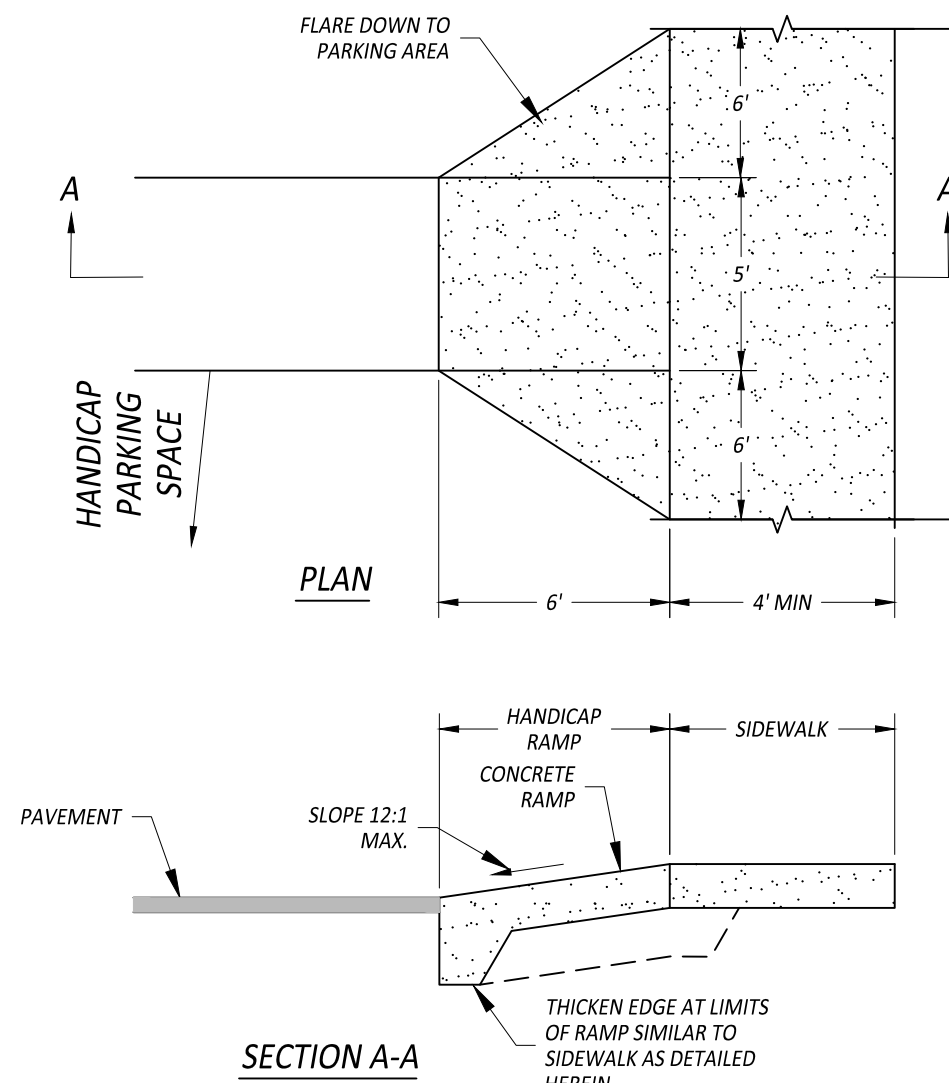
SIDEWALK DETAILS

SCALE: NONE



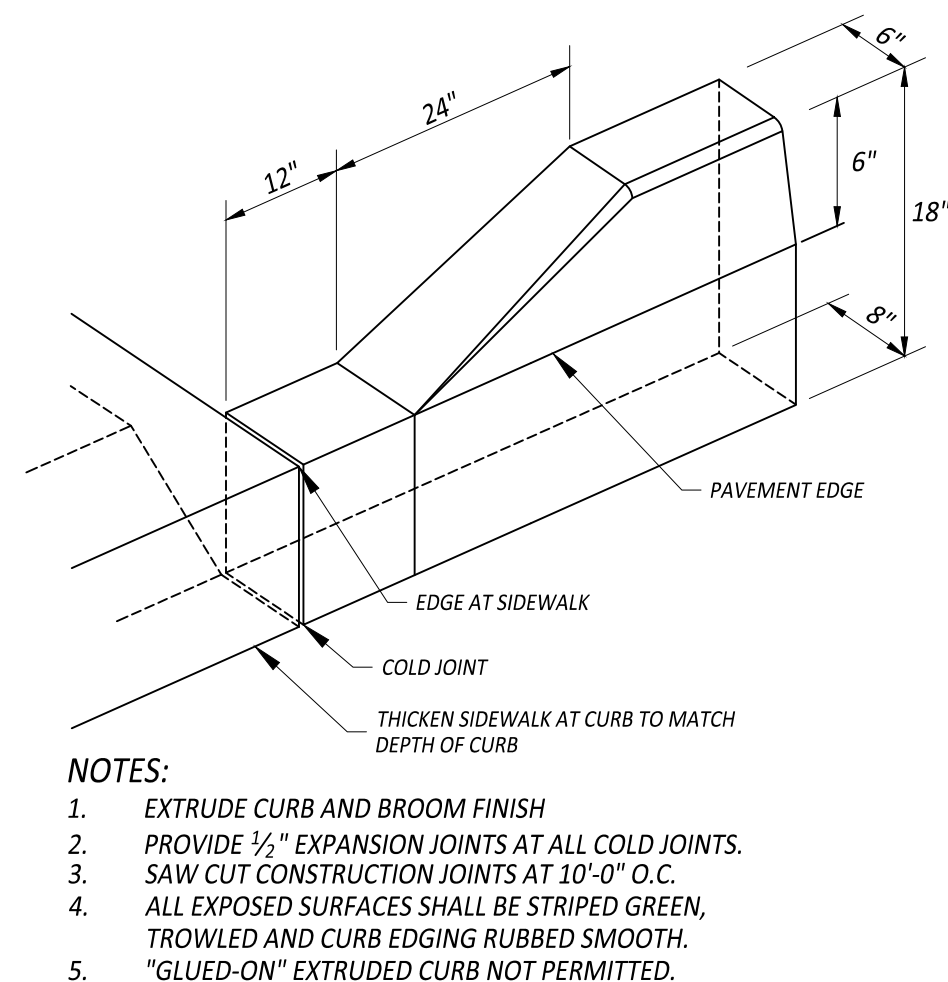
CONCRETE PAVEMENT JOINT DETAILS

SCALE: NONE



HANDICAP RAMP DETAIL

SCALE: NONE

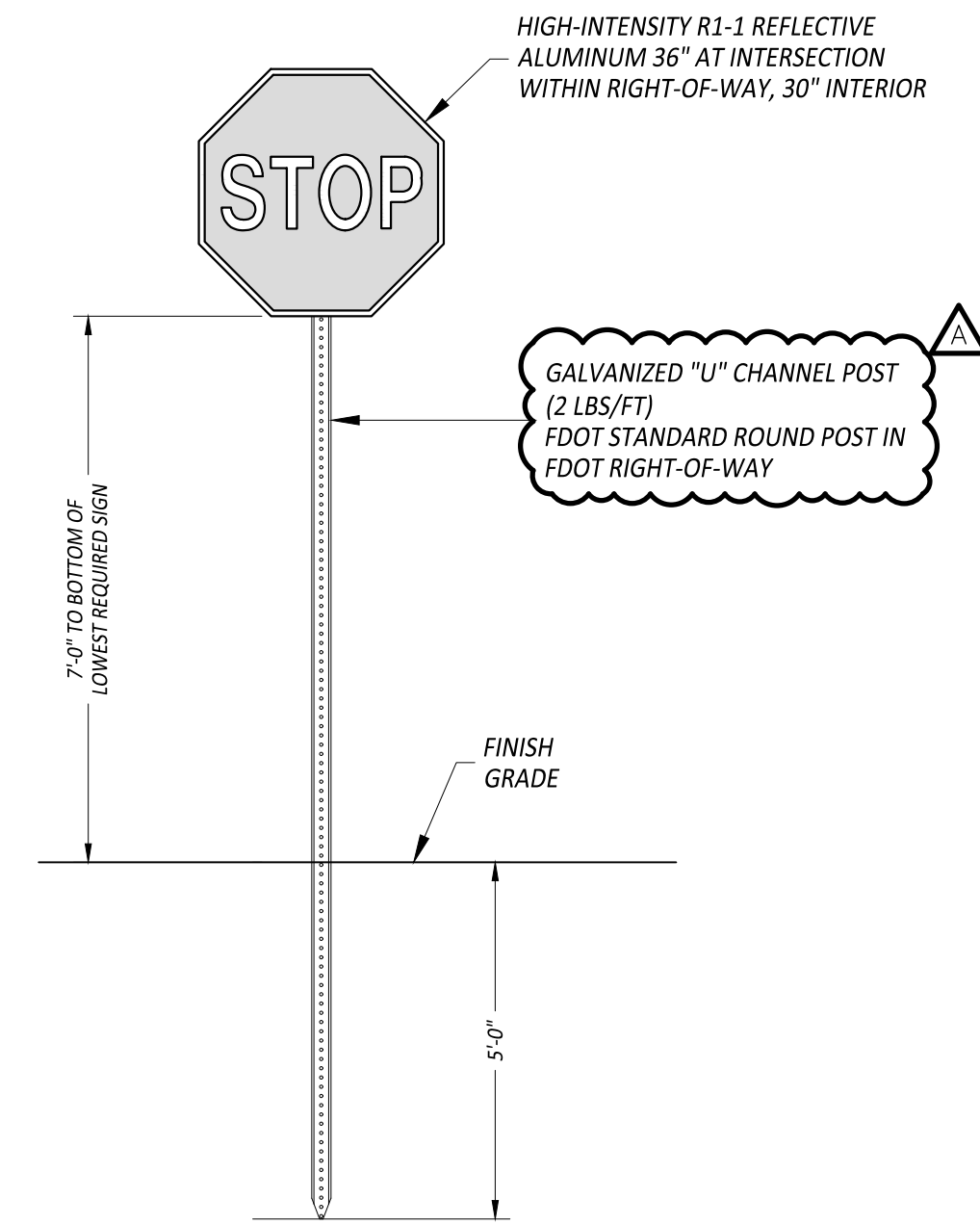


NOTES:

1. EXTRUDE CURB AND BROOM FINISH
2. PROVIDE 1/2" EXPANSION JOINTS AT ALL COLD JOINTS.
3. SAW CUT CONSTRUCTION JOINTS AT 10'-0" O.C.
4. ALL EXPOSED SURFACES SHALL BE STRIPED GREEN, TROWLED AND CURB EDGING RUBBED SMOOTH.
5. "GLUED-ON" EXTRUDED CURB NOT PERMITTED.

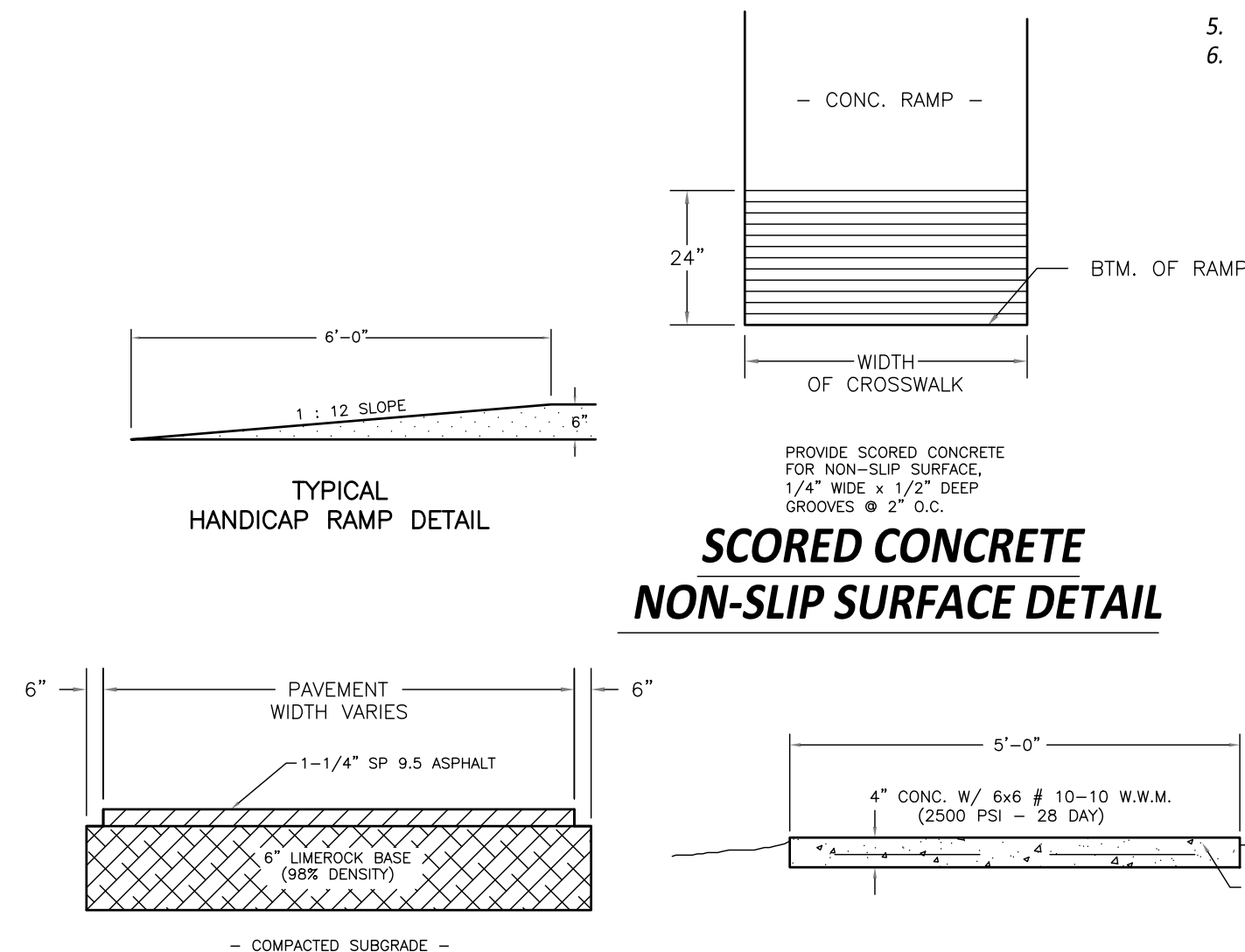
TYPE "D" CURB TERMINATION DETAIL

SCALE: NONE



STOP SIGN DETAIL

SCALE: NONE

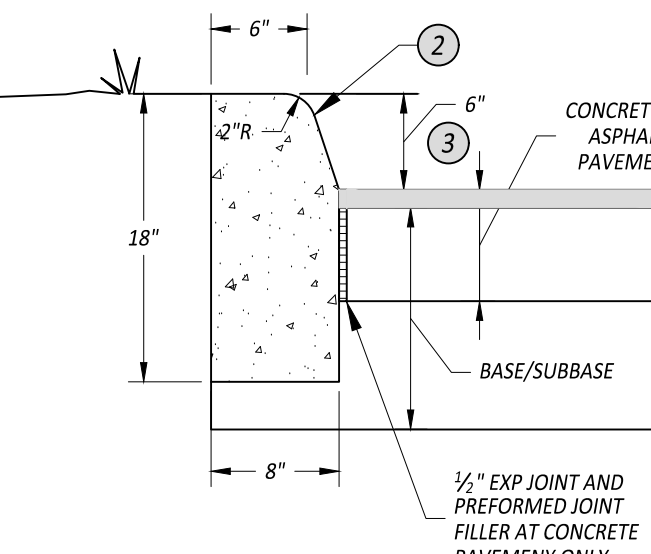
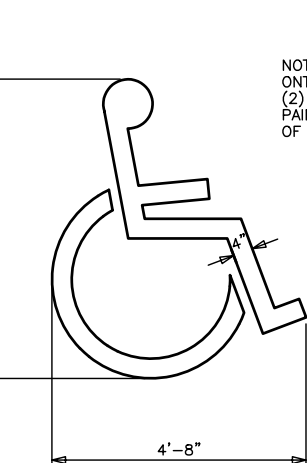
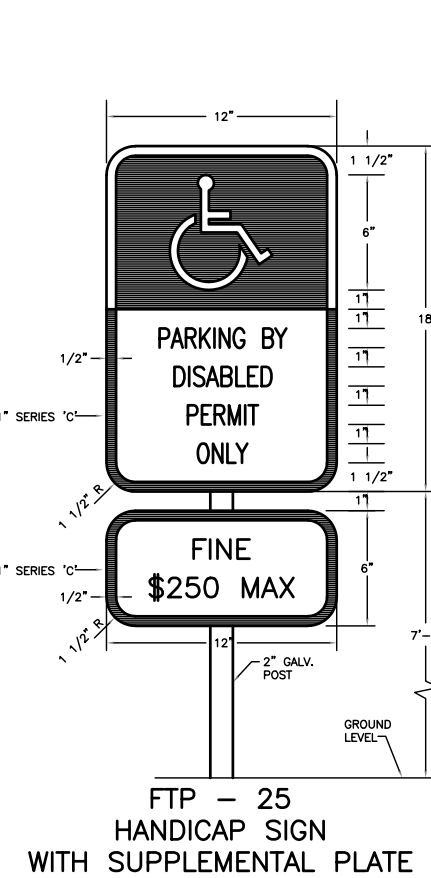


ON-SITE PAVEMENT SECTION

NOTE: REFER TO FDOT DRIVEWAY CONNECTION PLAN FOR PAVEMENT SECTION WITHIN THE STATE ROAD RIGHT-OF-WAY.

CONCRETE SIDEWALK DETAIL

NOTE: PROVIDE A CONSTRUCTION JOINT AT THE RIGHT-OF-WAY LINE FOR WALKS CONNECTING TO A ROADSIDE SIDEWALK



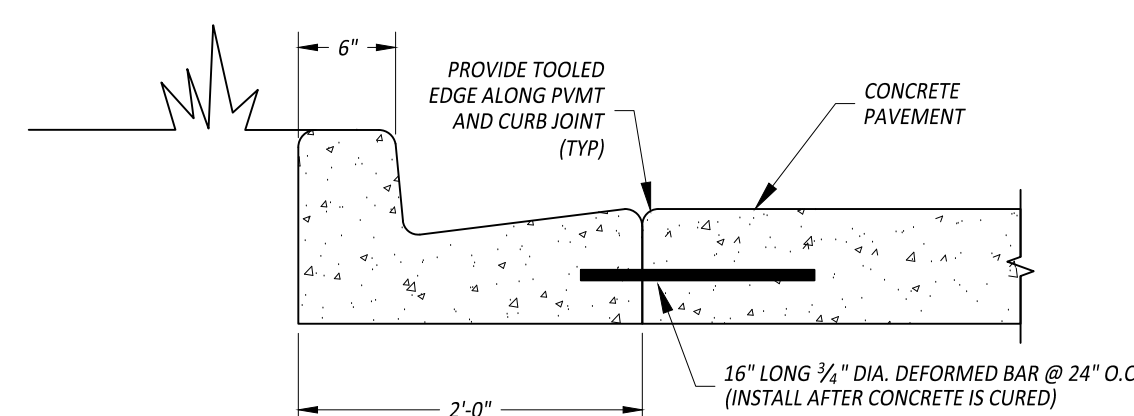
TYPE "D" CURB DETAIL

SCALE: NONE

1. WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.
2. PROVIDE CONTRACTION JOINTS @ 10' O.C. AND EXPANSION JOINTS @ 50' O.C. ALL JOINTS SEALED PER SPECIFICATIONS
3. 6" HEIGHT SHALL BE UNIFORM, IF HEIGHT VARIES +/- 1/2" THEN CURB WILL BE REPLACED AT THE DISCRETION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.

CURB CONSTRUCTION NOTES

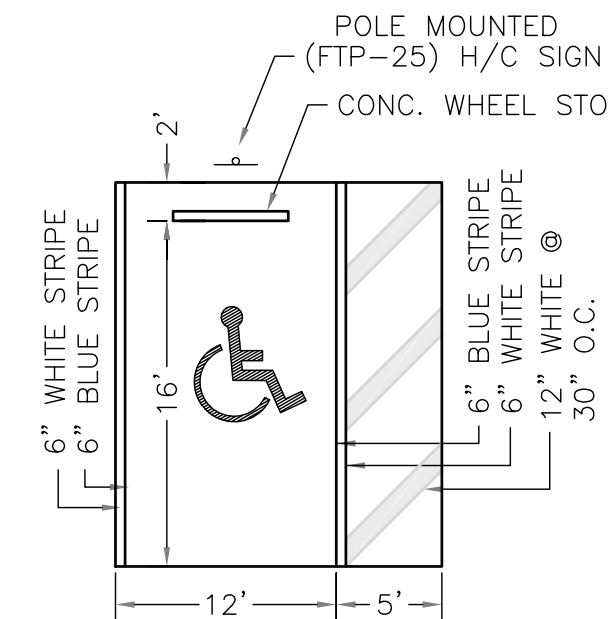
1. ALL CURBS TO BE CONSTRUCTED OF 28-DAY, 3000 PSI CONCRETE
2. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED EVERY 50', CONSTRUCTION JOINT REQUIRED EVERY 10' MAXIMUM (4" MINIMUM).
3. 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED AT EACH SIDE OF ALL STORM INLET STRUCTURES AND AT ALL RADIUS POINTS.
4. 6" SUBBASE TO BE COMPACTED AND TESTED TO 98% DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST AND SHALL BE STABILIZED TO A MINIMUM L.B.R. 40.
5. EXPANSION JOINT MATERIAL MUST COVER ENTIRE CROSS SECTION OF CURB.
6. IN NO INSTANCE SHALL EXTRUDED CURBS (DEFINED AS HEADER-TYPE CURBS INSTALLED DIRECTLY ON TOP OF PAVEMENT) BE PERMITTED.



NOTE: DOWELS NOT REQUIRED IF MONOLITHIC POUR

CONCRETE CURB AND GUTTER DOWELED JOINT DETAIL

SCALE: NONE



HANDICAP SPACE DETAIL

3/21	MARION CO. & FOOT COMMENTS	REVISION
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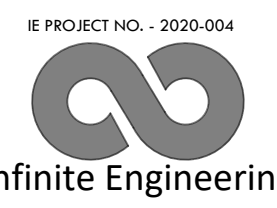
Barry Ginn, PE
Fl. Reg. No. 54595
brginn@rogerseng.com
Rodney K. Rogers, PSM
Fl. Reg. No. 5274
rkrogers@rogerseng.com

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

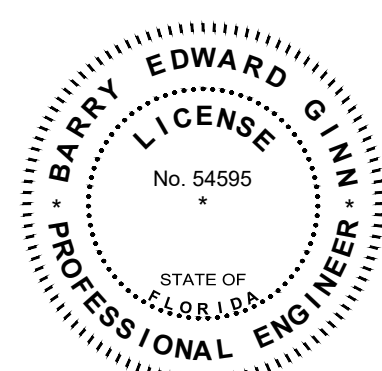
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

A MARION COUNTY MAJOR SITE PLAN
FOR
CALUMET PARK LLC
SITE AND UTILITY DETAILS

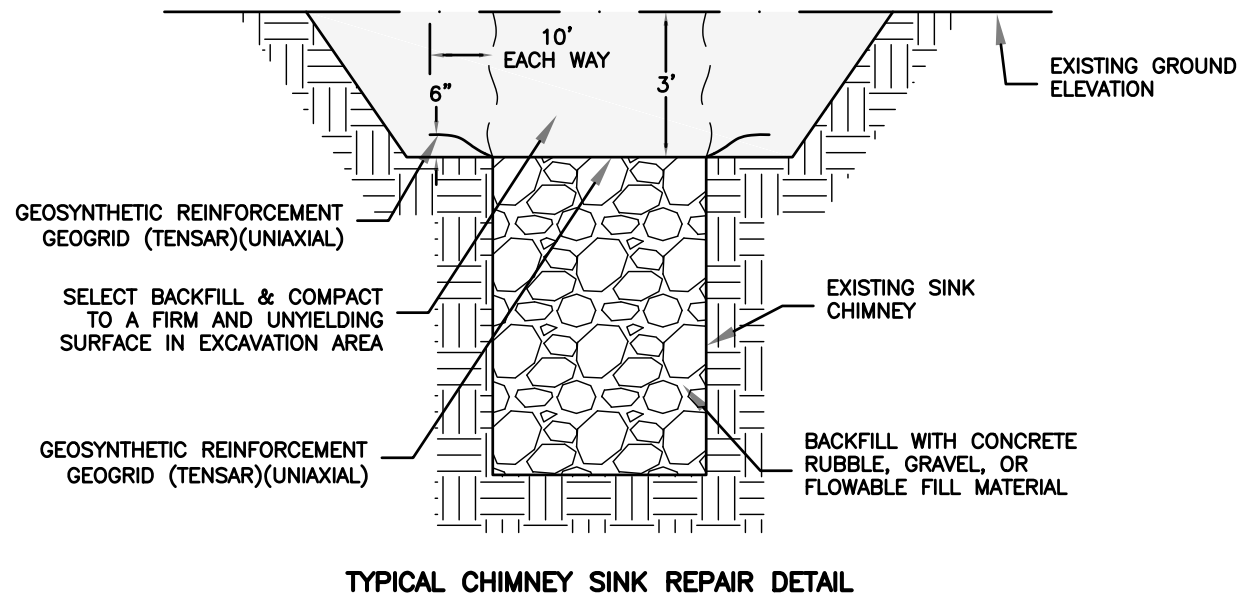
JOB No. 2020-004	DATE 12/14/2020
SCALE 1"=30'	SHEET C200



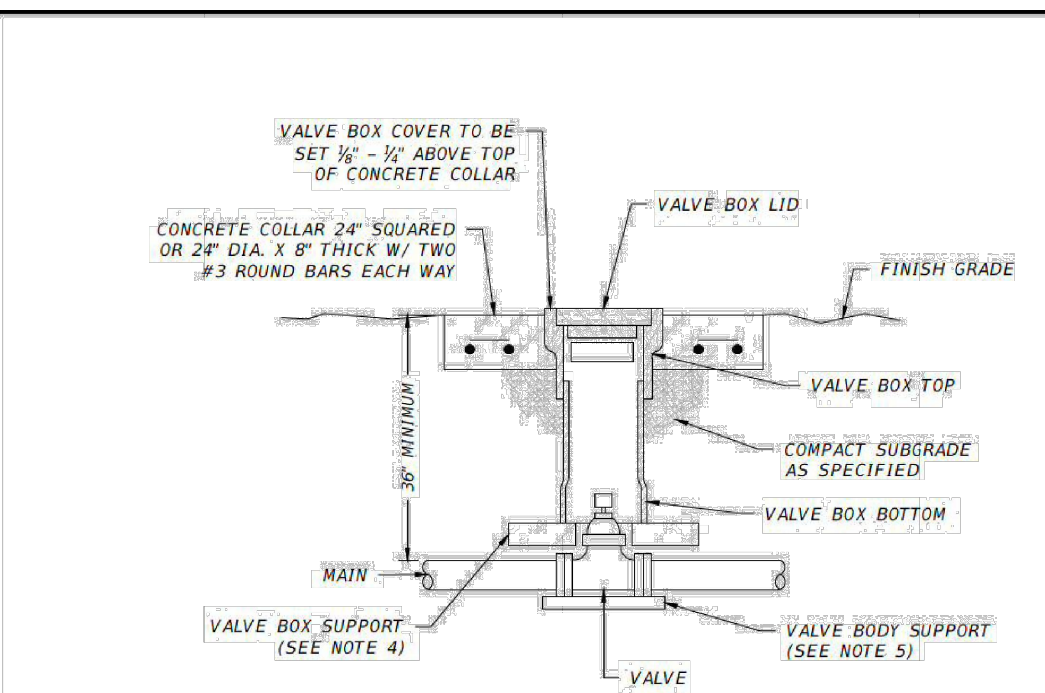
Infinite Engineering
240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
352.267.1480
WWW.INFINITEENGINEERING.COM
CERT. OF AUTH. # 33000



C:\Users\Barry\OneDrive - City of Ocala\Documents\2020\Projects\2020-004\Calumet Park\Drawings\Design\Development\SSA.dwg, 1/19/2024



- SINKHOLE REPAIR PLAN
- IF A SINKHOLE DEVELOPS WITHIN THE WATER RETENTION BASINS, THE FOLLOWING IS THE RECOMMENDED CORRECTIVE ACTION:
- CONTACT MARION COUNTY ENGINEERING AT (352) 671-8666 AND THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT IMMEDIATELY UPON DISCOVERY AND PROVIDE WARNING BARRICADES, ETC. AROUND THE HOLE.
 - WHERE LIMESTONE OR SHALE STONE IS EVIDENT FROM THE OPENING OF THE HOLE, WE RECOMMEND THE FOLLOWING REPAIR:
 - USING 1 - 2" DIAMETER BOULDERS OF LIMESTONE, CHERT OR SIMILAR HARD MATERIAL, BACKFILL THE CAVITY TO WITHIN 5' OF THE SURFACE.
 - USING A SMALLER DIAMETER (4" - 1") STONE, FILL THE REMAINDER OF THE CAVITY TO WITHIN 2' OF THE SURFACE.
 - USING A BACKHOE, PROVIDE FOR THE COMPACTION OF THE FILLED CAVITY BY HYDRAULICALLY COMPRESSING THE FILLED MATERIAL.
 - FILL THE REMAINDER OF THE CAVITY USING SEPTIC TANK DRAINFIELD GRAVEL TO THE GROUND SURFACE.
 - USING A VERY WET CEMENT SLURRY, POUR CONCRETE OVER THE CAVITY IN A SLOW AND GRADUAL MANNER RAKING THE CEMENT WITH THE GRAVEL TO OBTAIN AS MUCH VERTICAL PENETRATION OF THE CONCRETE AS POSSIBLE.
 - GRADE AND SMOOTH CONCRETE TO ASSURE THAT TOP OF CONCRETE IS AT THE SAME LEVEL AS THE BOTTOM ELEVATION OF THE BASIN.
 - IN THOSE AREAS WHERE NO LIMESTONE IS EVIDENT, THE FOLLOWING PROCEDURE IS SUGGESTED:
 - USING BACKHOE, REMOVE SUFFICIENT MATERIAL FROM THE SURFACE OF THE HOLE TO ALLOW ADEQUATE AREA IN WHICH MATERIAL CAN BE PLACED SO THAT IT WILL REACH THE BOTTOM OF THE HOLE.
 - USING A HEAVY SOIL (CLAYEY-SAND OR CLAY) PLACED MATERIAL IN THE HOLE WITH A BACKHOE AND USE THE BUCKET TO HYDRAULICALLY COMPACT THE MATERIAL TO BE PLACED. PERFORM THIS OPERATION IN LIFTS, WITH NO LIFT BEING GREATER THAN 2' IN HEIGHT.
 - COMPACT THE MATERIAL TO WITHIN 4"± OF THE SURFACE OF THE SINKHOLE.
 - FORM AND POUR A CONCRETE CAP OVER THE DISTURBED AREA USING 2500 PSI CONCRETE AND FORM BOARDS TO ASSURE THAT ALL CONCRETE IS AT LEAST 4" IN THICKNESS. BE ASSURED THAT THE CONCRETE CAP IS AT THE SAME LEVEL AS THE SURROUNDING ELEVATION.
 - AFTER COMPLETION OF THE WORK, REMOVE AND HAUL OFF ANY EXCESS MATERIAL (SOIL AND ROCK) AND REMOVE ANY WASTE CONCRETE THAT WOULD TEND TO SEAL THE POND BOTTOM. REPAIR AND REDO SIDE SLOPES OF THE BASIN AS A RESULT OF THE WORK.
 - PLEASE EXERCISE CAUTION AND WALK THE ENTIRE BOTTOM AREA OF THE POND BEFORE COMMENCEMENT TO ASSURE GOOD SOLID SUPPORT OF THE PROPOSED CONSTRUCTION EQUIPMENT AND MATERIALS.



- NOTES
- WHERE ONE VALVE BOX EXTENSION IS REQUIRED USE STANDARD VALVE BOX EXTENSIONS.
 - WHERE MORE THAN ONE VALVE BOX EXTENSIONS ARE REQUIRED USE 6" D.I.P. CUT TO PROPER LENGTH SO VALVE BOX BOTTOM IS CONTINUOUS SECTION.
 - VALVE BOX LID TO BE FURNISHED WITH THE WORD "WATER" FOR WATER MAIN INSTALLATION "SEWER" FOR FORCE MAIN INSTALLATION, "REUSE" FOR REUSE MAIN INSTALLATION, OR "FIRE" FOR DEDICATED FIRE MAIN INSTALLATION.
 - FOR ALL VALVES USE FOUR (4) OR FIVE (5) SOLID COMMON BRICKS LAID FLAT.
 - 4" x 8" x 16" SOLID PRECAST CONCRETE BLOCK TO BE INSTALLED UNDERNEATH VALVE BODY FOR SUPPORT.
 - FOR ALL PRESSURE MAINS, TERMINATE LOCATING WIRE INSIDE VALVE BOX, SEE DETAIL G-15E.

CITY OF OCALA
STANDARD DETAILS
FOR CONSTRUCTION

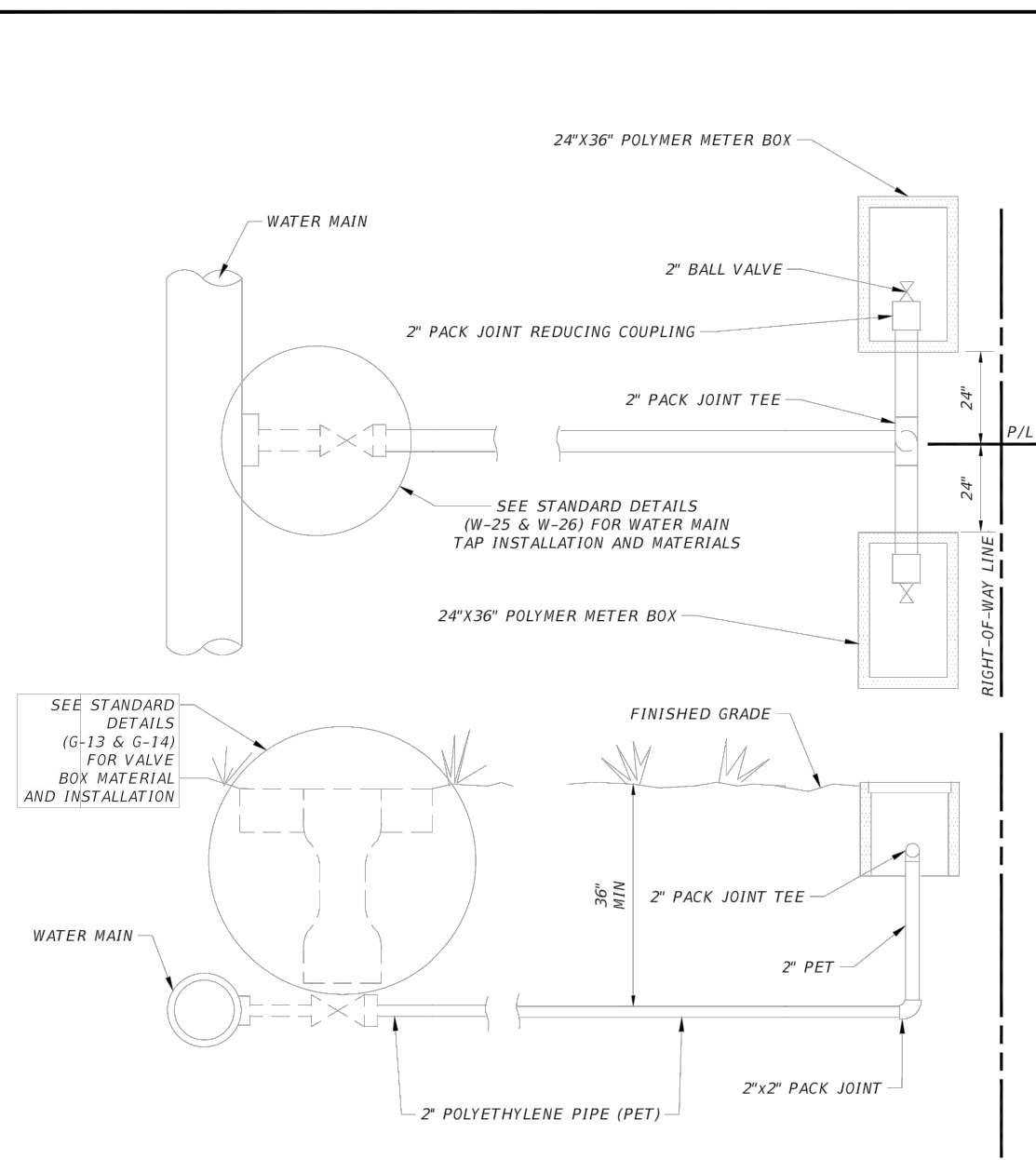
VALVE BOX
INSTALLATION

IN GRASS OR AREAS NOT SUBJECT TO TRAFFIC

SECTION
GENERAL

G-14

REVISION DATE
DEC 2007



- NOTES
- WATER SERVICE TO BE INSTALLED WITH A SOLID COPPER LOCATING WIRE. SEE STANDARD DETAIL G-13 (A-H) FOR LOCATING WIRE INSTALLATION.
 - LONG SERVICES UNDER PAVEMENT REQUIRE 4\"/>

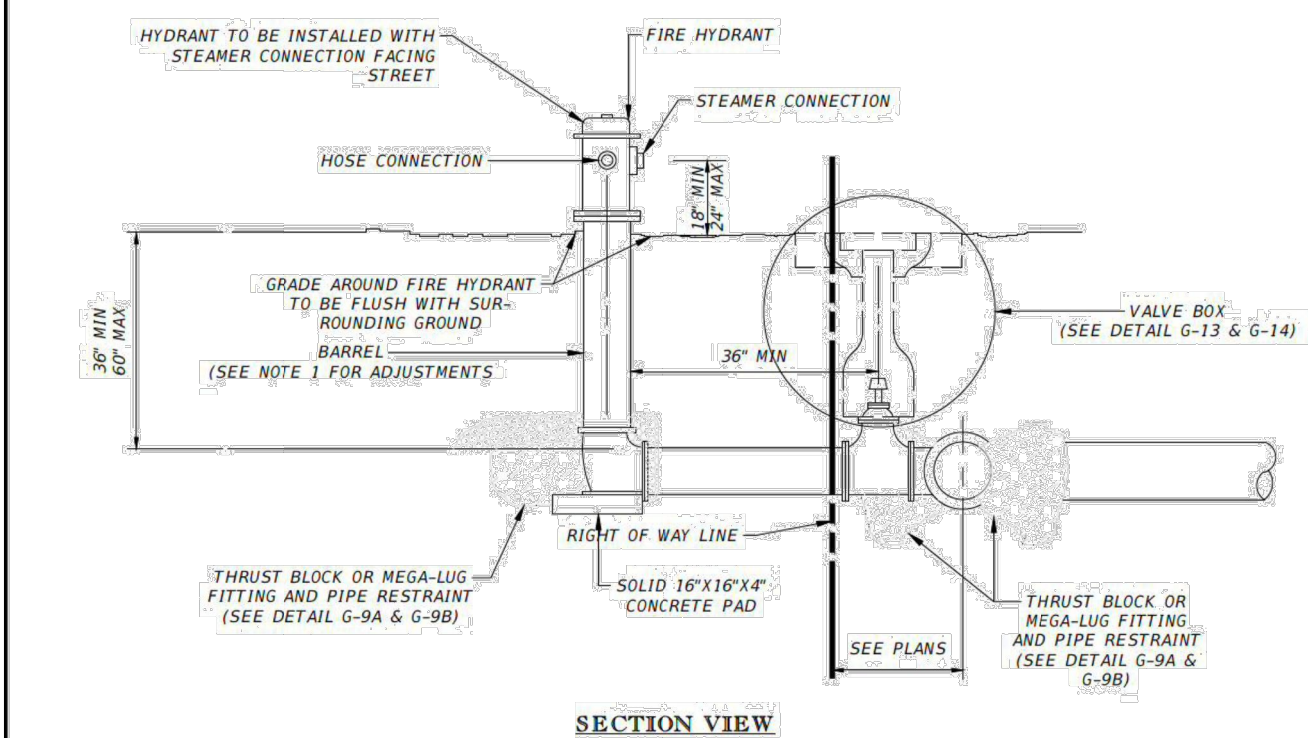
CITY OF OCALA
STANDARD DETAILS
FOR CONSTRUCTION

DOUBLE COMMERCIAL
WATER SERVICE

SECTION
WATER

W-20

REVISION DATE
DEC 2007



- NOTES
- NO MORE THAN ONE BARREL SECTION SHALL BE ALLOWED WHEN ADJUSTING HYDRANT TO FINISHED GRADE. HYDRANT EXTENSIONS TO BE SAME MANUFACTURER AS HYDRANT. MAXIMUM LENGTH OF EXTENSION IS LIMITED TO 24\"/>

CITY OF OCALA
STANDARD DETAILS
FOR CONSTRUCTION

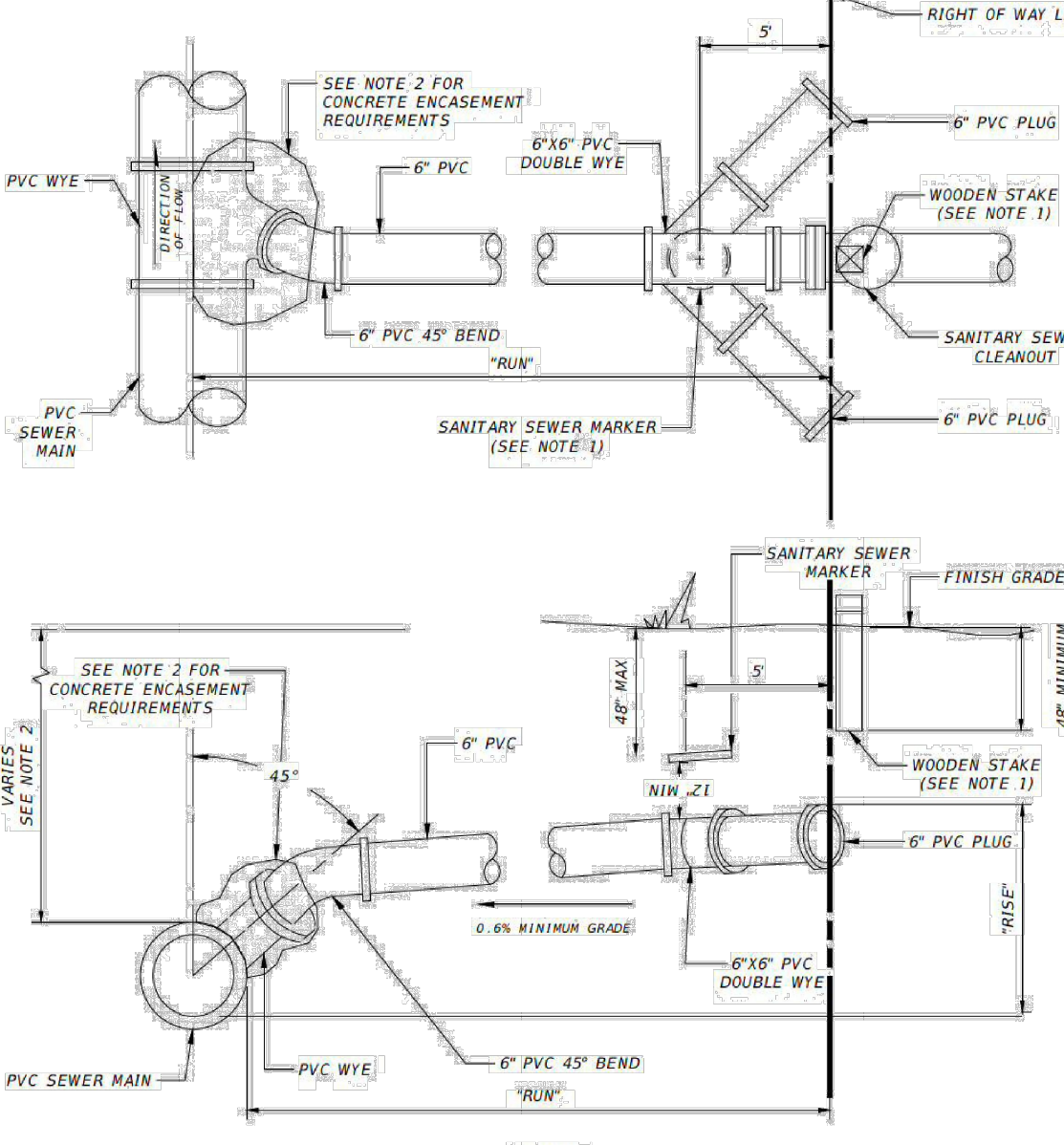
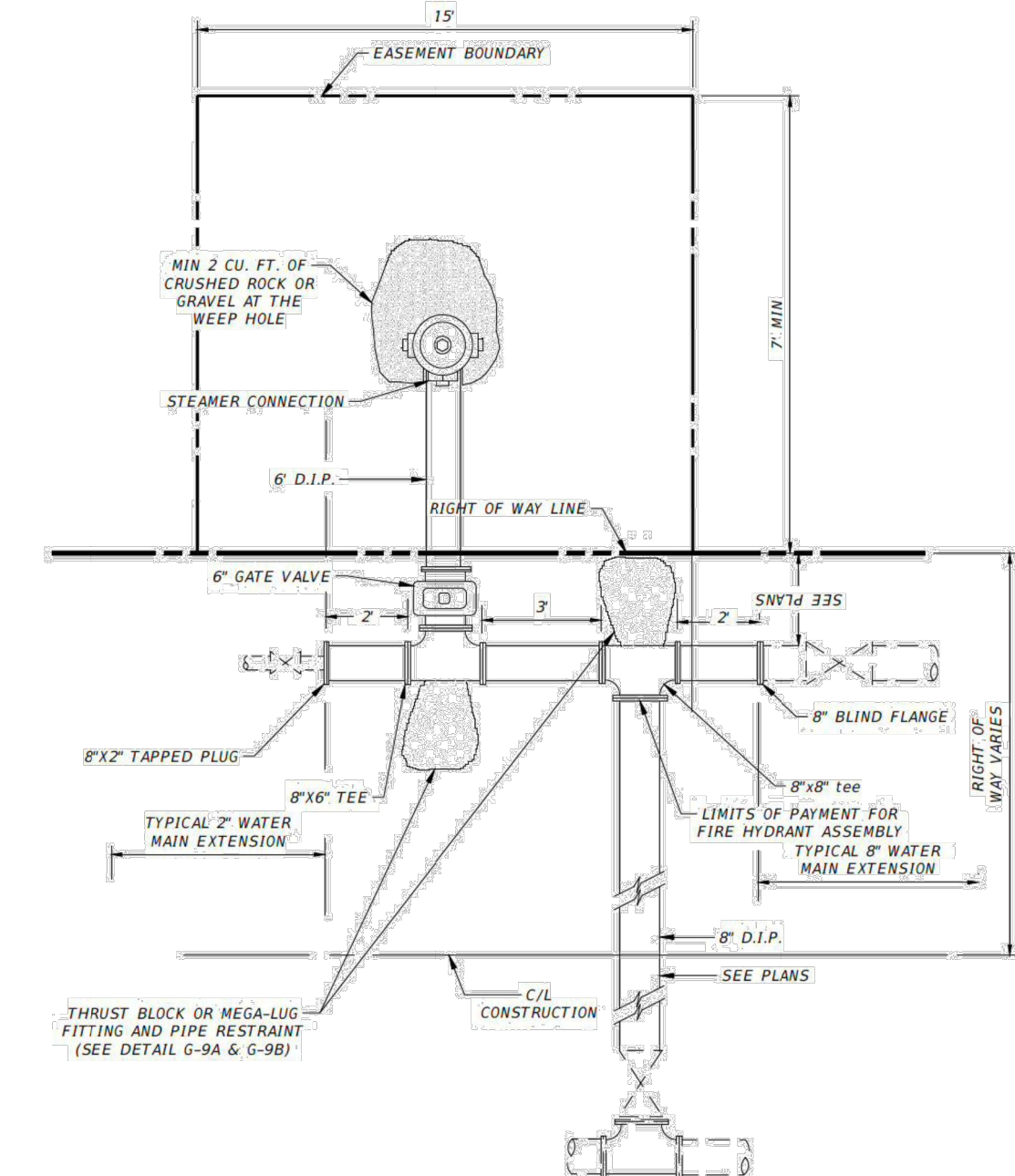
FIRE HYDRANT
ASSEMBLY

FOUR LANE ROADWAY INSTALLATION

SECTION
WATER

W-5A

REVISION DATE
DEC 2007



- NOTES
- SEWER SERVICE TO BE REFERENCED AS INDICATED IN DETAIL SS-12.
 - FOR ANY SEWER SERVICES WHERE THE PIPE SLOPE EQUALS OR EXCEEDS A 1% (1/8\"/>

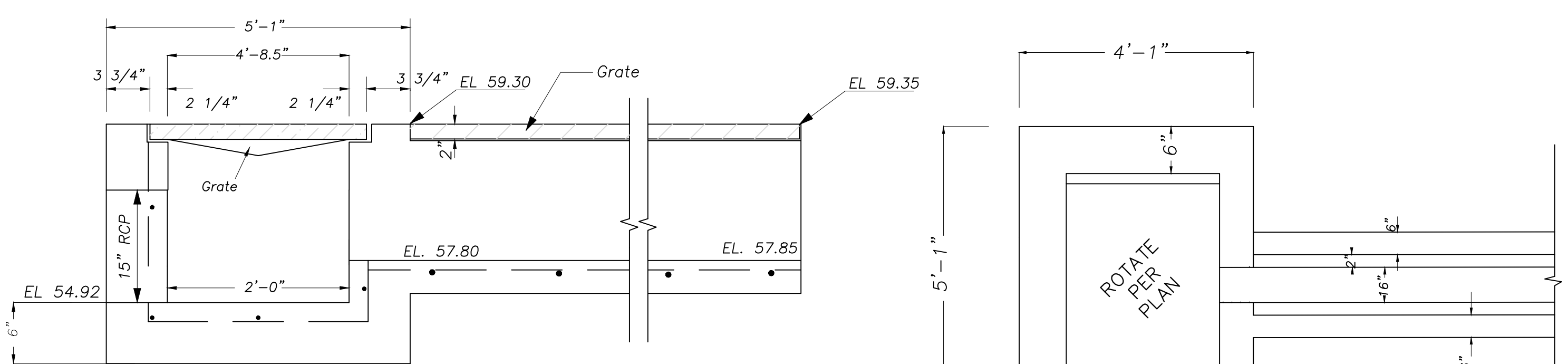
CITY OF OCALA
STANDARD DETAILS
FOR CONSTRUCTION

DOUBLE SEWER SERVICE
CONNECTION

SECTION
SEWER

SS-11

REVISION DATE
DEC 2007



PROFILE

PLAN

TRENCH DRAIN DETAIL

NTS

WATER & SEWER SYSTEM CONSTRUCTION AND MAINTENANCE NOTE:

The underground water and sewer systems constructed on this site shall be constructed, tested and inspected in accordance with the following:

SEWER SYSTEM:

City of Ocala "Standard Specifications for Construction of Streets, Stormwater, Traffic, Water and Sewer Infrastructure".

Construct all gravity sewers 8" and above including manholes and all sewer services 6" or less to the first cleanout upstream from the 8" or above sewer main to City standards. Inspections will be performed by the City Water & Sewer Department.

State of Florida "Standard Plumbing Code".

All gravity sewer services 6" and above including manholes and all sewer services 6" or less to the first cleanout upstream from the 8" or above sewer main will be constructed to Florida Standard Plumbing Code requirements. Inspection and testing will be performed by the City Building Department. These facilities will be maintained by the development.

WATER SYSTEM:

City of Ocala "Standard Specifications for Construction of Streets, Stormwater, Traffic, Water and Sewer Infrastructure".

Construct all potable water mains and services, up to the point of metering, to City standards. Inspections will be performed by the City Water & Sewer Department.

All fire mains and hydrants, from the City water main to within five feet (5') of the building, shall be constructed to City standards or NFPA 24 as required. Inspection and testing will be performed by the City Water & Sewer Department. City of Ocala will maintain these facilities up to DDC locations.

State of Florida "Standard Plumbing Code".

All water services downstream from the point of metering shall be constructed to Florida Standard Plumbing Code requirements. Inspection and testing will be performed by the City Building Department. These facilities will be maintained by the development.

REUSE SYSTEM:

City of Ocala "Standard Specifications for Construction of Streets, Stormwater, Traffic, Water and Sewer Infrastructure".

Construct all reuse mains and services, up to the point of metering, to City standards. Inspections will be performed by the City Water & Sewer Department.

State of Florida "Standard Plumbing Code".

All reuse services downstream from the point of metering shall be constructed to Florida Standard Plumbing Code requirements. Inspection and testing will be performed by the City Building Department. These facilities will be maintained by the development.

PRE-CONSTRUCTION MEETING REQUIRED:

Prior to any underground water, sewer, or reuse construction on this site the Contractor shall set up an on-site meeting with the City of Ocala project inspectors (352) 401-6935 OR (352) 351-6712 to discuss shop drawings, installation, inspection, testing and as-built requirements.

A MARION COUNTY MAJOR SITE PLAN
FOR

CALUMET PARK LLC

SITE AND UTILITY DETAILS

MARION CO. & FOOT COMMENTS

3/21

DATE

REVISION

Barry Ginn, PE
Fl. Reg. No. 54595
brginn@rogerseng.com
Rodney K. Rogers, PSM
Fl. Reg. No. 5274
rkrogers@rogerseng.com

ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

JOB No.
2020-004

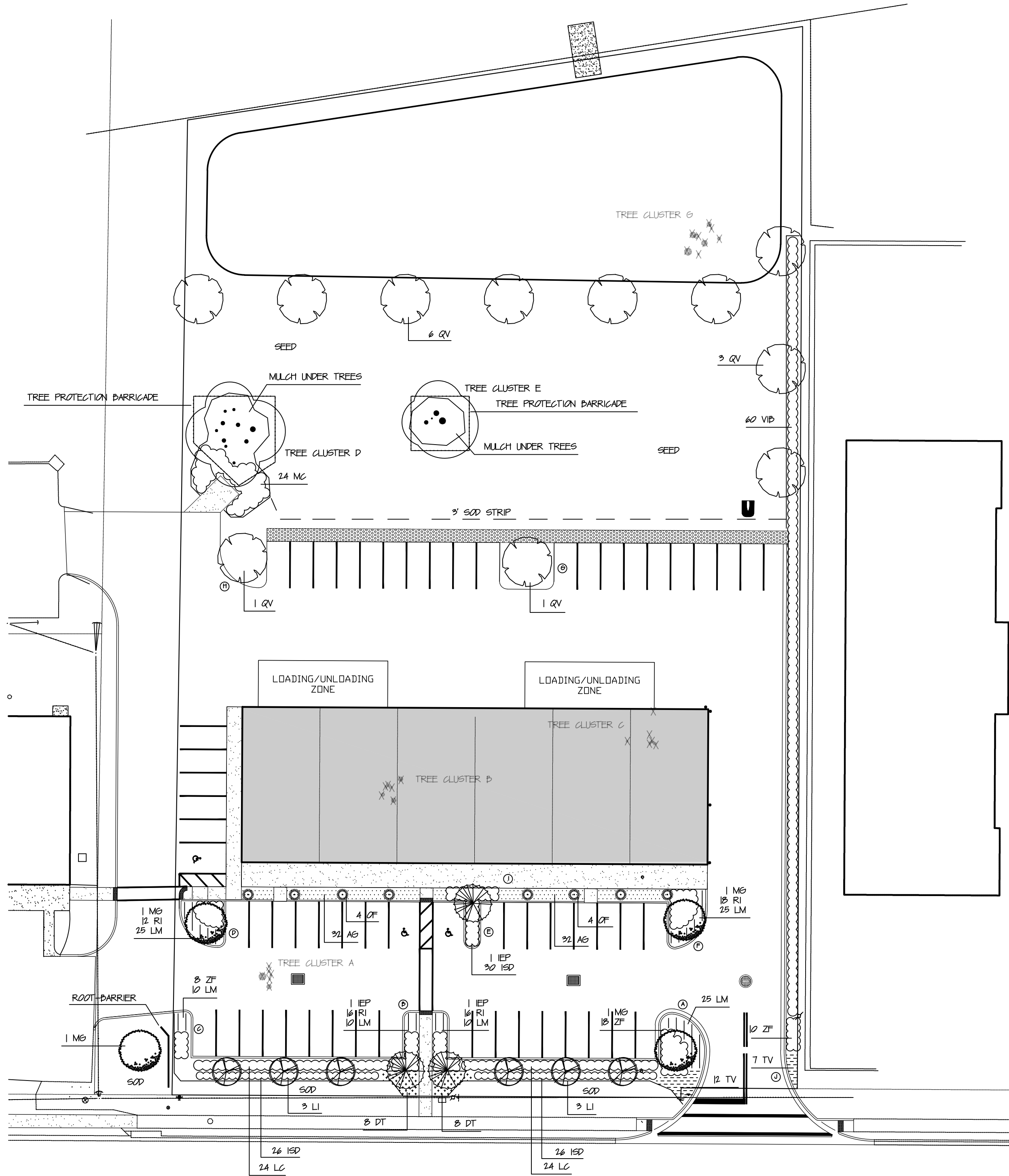
DATE
12/14/2020

SCALE
NONE

SHEET
C201

IE PROJECT NO. - 2020-004
Infinite Engineering
240 SW 8TH STREET, SUITE A
OCALA, FLORIDA 34471
(352) 267-1480
WWW.INFINITEENGR.COM
CERT. OF AUTH. # 33000

Barry Edward Ginn
LICENSE
No. 54595
STATE OF
FLORIDA
PROFESSIONAL ENGINEER



WEST SILVER SPRINGS BOULEVARD

LANDSCAPE MATERIAL LIST

SHADE TREES

1	MG	MAGNOLIA GRANDIFLORA 'DDBLANCHARD'	SOUTHERN MAGNOLIA	NATIVE	45 GAL 35" CAL. 10' - 12' TALL, 40" SPREAD, SINGLE LEADER, 4' CT
11	QV	QUERCUS VIRGINIANA	LIVE OAK	NATIVE	45 GAL 35" CAL. 10' - 12' TALL, 40" SPREAD, SINGLE LEADER, 5' CT

ORNAMENTAL TREES

3	EP	ILEX OPACA 'EAST PALATKA'	EAST PALATKA HOLLY	NATIVE	45 GAL 35" CAL. 7' - 9' TALL, 48" SPREAD, SINGLE LEADER, 3' CT
6	LI	LAGERSTROEMIA INDICA 'TUSCARORA'	CRABE MYRTLE	NATIVE	25 GAL 3" CAL. 6' - 7' TALL, 48" SPREAD, MULTI-TRUNK

SHRUBS

82	ISD	ILEX STOKES DWARF	STOKES DWARF HOLLY	NATIVE	3 GAL 15" - 18", WELL-ROUNDED, SET 25' o.c.
46	LZ	LOROPETALUM CHINENSIS	LOROPETALUM	NATIVE	3 GAL 18" - 24", FULL, SET 3' o.c.
24	MC	MULLENBERGIA CAPILLARIS	MULY GRASS	NATIVE	3 GAL 24" - 30", FULL, SET 4' o.c.
8	OF	OSMANTHUS FRANCES	TEA OLIVE	NATIVE	10 GAL 24" - 30", FULL, SET 4' o.c.
60	RI	RAPHANISTRIS INDICA	INDIAN HAWTHORN	NATIVE	3 GAL 15" - 18", WELL-ROUNDED, SET 3' o.c.
60	VB	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	NATIVE	3 GAL 24" - 30", FULL, SET 3' o.c.
36	ZF	ZAMIA FLORIDANA	COOTE	NATIVE	3 GAL 15" - 18", FULL

GROUNDCOVERS

64	AG	ARACHIS GLABRATA	NATIVE PEANUT	NATIVE	1 GAL FULL, SET 24" o.c. STAGGERED ROWS
16	DT	DANIELA TAMANCA	FLAX LILY	NATIVE	1 GAL MIN 7-9 PIPS, FULL, SET 24" o.c.
125	LM	LEUCOTE MUGGARI 'BIG BLUE'	SOCIETY GARLIC	NATIVE	1 GAL MIN 7-9 PIPS, FULL, SET 18" o.c.
19	TV	TULDAHIA VOLACEA	SOCIETY GARLIC	NATIVE	1 GAL MIN 5-7 PIPS, FULL, SET 18" o.c.

2,400	5F	ARGENTINE-BAMIA SOD			
10,000	5F	ARGENTINE-BAMIA SEED MIX			
24	1F	24" DEEP ROOT-BARRIER			

LANDSCAPE NOTES

- ALL MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER
- ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 2" - 3" OF PINE DARK MULCH
- MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHADE OR ORNAMENTAL TREES
- ALL MATERIAL INSTALLED SHALL MEET THE 2015 GRAPES AND STANDARDS FOR LANDSCAPE INSTALLATION
- CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED PER GRAPES AND STANDARDS
- ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE
- ALL NEW TREES MUST BE CURED OR STAKED AS DETAILED
- EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION
- THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE AND SHALL IDENTIFY TO SCOPE OF WORK
- PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT
- ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER
- ALL MATERIAL SHALL BE GUARANTEED FOR 30 DAYS FROM THE DATE OF ACCEPTANCE
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES AND REMOVING AIR-POCKETS
- DURING THE ESTABLISHMENT PERIOD (FIRST 30 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 60 - 80 GPD TO ALL NEW TREES
- LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION
- NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 2' VEHICULAR OVERHANG AREA
- NEW SOD SHALL BE ARGENTINE-BAMIA, INSTALLED WITH NO GAPS OR OVERLAPS
- SEED ALL DISTURBED AREAS IN BACK WITH ARGENTINE-BAMIA SEED MIX, APPLIED AT 8 LBS / 1000 SF
- OVER-MULCH ALL SEEDED AREAS WITH STRAW OR OTHER ACCEPTABLE MATERIAL
- ALL SODDED / SEEDED AREAS SHALL BE HAND-GRADED AND FREE OF ROCKS AND OTHER DEBRIS
- ALL SOD SHALL BE WATERED UNTIL ESTABLISHMENT AND ACCEPTANCE BY THE LANDSCAPE ARCHITECT
- PLANTING SOL USED FOR THE BUILDING PLANTERS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC. MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
- ALL SOL SHALL BE WEED-FREE, CONTAIN NO STICKS, ROCKS, OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 40% SAND, 50% LOAM, AND 10% TOP-SOL
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE
- THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS
- THE CONTRACTOR SHALL KEEP THE SITE CLEAN OF ALL DEBRIS, SEDIMENT, DIRT, ETC., AND ENSURE THAT THAT DRAINAGE SYSTEM REMAINS CLEAR AND THAT PEDESTRIAN WAYS ARE NOT BLOCKED
- DO NOT PLANT NEW TREES TOO DEEP. UNCOVER THE TRUNK FLARE AND SET THIS AT OR ABOVE THE SURROUNDING SOL LEVEL
- REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED
- ALL NEW TREES AND SHRUBS MUST MEET THE 'AMERICAN STANDARDS FOR NURSERY STOCK' (ANSI 2601)
- LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOMINANT LEADER ESTABLISHED OR CLUSTER BRANCHES REMOVED
- ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE
- ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT INDUSTRY GRAPES AND STANDARDS
- 24" ROOT-BARRIER SHALL BE INSTALLED AS DETAILED IN THE GENERAL AREA SHOWN

MARION COUNTY LANDSCAPE NOTES

- TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. ALL REQUIREMENTS OUTLINED IN SECTION 673 E SHALL BE COMPLIED WITH BY ALL CONTRACTORS OPERATING ON SITE
- ALL REQUIREMENTS OUTLINED IN SECTION 673 SHALL BE COMPLIED WITH FOR ANY REPLACEMENT TREES REQUIRED ON THIS SITE BY THIS CONSTRUCTION
- THE PRELIMINARY AND FINAL INSPECTIONS AS OUTLINED IN SECTION 673 SHALL BE COMPLIED WITH. NO CERTIFICATE OF OCCUPANCY OR CERTIFICATION OF COMPLETION SHALL BE ISSUED UNTIL THESE INSPECTIONS HAVE BEEN COMPLETED AND APPROVAL GRANTED
- NOTES HAVE BEEN SHOWN REGARDING LICENSING (6815, 6910), TREE PROTECTION (673 E), MAINTENANCE (6819, 6938), FERTILIZER USE (6814), AND WATERING (6939)
- ALL REQUIREMENTS OUTLINED IN SECTION 6814 REGARDING FERTILIZER AND OTHER LANDSCAPE CHEMICALS SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER LANDSCAPE PROFESSIONALS
- UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY
- ALL REQUIREMENTS OUTLINED IN SECTION 6819 REGARDING LANDSCAPE MAINTENANCE SHALL BE COMPLIED WITH BY THE OWNER AND/OR OTHER MAINTENANCE PROFESSIONALS
- ALL REQUIREMENTS OUTLINED IN SECTION 6819 REGARDING LANDSCAPE INSTALLATION AND MAINTENANCE LICENSING AND CERTIFICATION SHALL BE COMPLIED WITH

TREE PROTECTION NOTES:

TREE PROTECTION SHALL CONTINUE DURING THE COURSE OF CONSTRUCTION. THE FOLLOWING REQUIREMENTS SHALL BE COMPLIED WITH: TREE REMOVAL PERMITS, ALL PERMITS FOR CONSTRUCTION IN PUBLIC RIGHT-OF-WAY, AND ALL DEVELOPMENT PERMITS ISSUED UNDER AND PURSUANT TO THIS CODE:

- THE CLEANING OF CONSTRUCTION EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS INCLUDING BUT NOT LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TPZ OF ANY TREE WHICH IS PROTECTED IS NOT ALLOWED
- THE MOVEMENT OF EQUIPMENT OR THE STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ OF ANY TREE WHICH IS BEING PROTECTED IS NOT ALLOWED
- THE CONTRACTOR SHALL INSPECT ALL TREE PROTECTION BARRICADES AND SIGNS ON A WEEKLY BASIS DURING THE COURSE OF CONSTRUCTION. ANY BARRICADE OR SIGN WHICH HAS BEEN DAMAGED OR IS MISSING SHALL BE REPLACED IMMEDIATELY
- IF ANY TREE WHICH HAS NOT BEEN APPROVED TO BE REMOVED IS DESTROYED OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, THE TREE(S) MUST BE REPLACED AT AN INCH-FOR-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES TO THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM REPLACEMENT SIZE OF 35-INCH CALIBER. THE COUNTY RESERVES THE RIGHT TO ESTABLISH A REPLACEMENT VALUE FOR SUCH TREES AND PAYMENT INTO THE TREE MITIGATION FUND MAY BE AUTHORIZED BY THE COUNTY LANDSCAPE ARCHITECT.

LANDSCAPE CALCULATIONS

LANDSCAPE / OPEN SPACE

TOTAL PROJECT AREA	=	34,456 SF (217 AC)
LANDSCAPE / OPEN SPACE REQUIRED	=	18,891 SF (120% / AC)
LANDSCAPE / OPEN SPACE PROVIDED	=	28,191 SF (29.8%)

TREE PRESERVATION

TOTAL EXISTING TREES	=	41
TOTAL EXISTING INCHES	=	754" (326" / AC)
PRESERVATION INCHES REQUIRED	=	217" (120" / AC)
PRESERVATION INCHES PROVIDED	=	281" (123% / AC)

TREE CALCULATIONS

TOTAL PROJECT AREA	=	34,456 SF
TOTAL SHADE TREES REQUIRED	=	315 (1 / 3000 SF)
EXISTING TREES TO BE PRESERVED	=	14
NEW SHADE TREES REQUIRED	=	175
NEW SHADE TREES PROVIDED	=	18 (3 EP, 4 MG, 11 QV)

BUILDING FRONTAGE LANDSCAPE

TOTAL BUILDING FRONTAGE	=	180 LF
LANDSCAPE AREA REQUIRED	=	108 LF (60%)
LANDSCAPE AREA PROVIDED	=	165 LF (32%)

LANDSCAPE ISLAND CALCULATIONS

TOTAL VIA	=	30146 SF
LANDSCAPE ISLANDS REQUIRED	=	30146 SF (100%)
LANDSCAPE ISLANDS PROVIDED	=	30146 SF (100%)

NATIVE PLANT CALCULATIONS

TOTAL PLANT MATERIAL	=	548
NATIVE PLANTS REQUIRED	=	198 (35% WITHIN USEB)
NATIVE PLANTS PROVIDED	=	224 (40.9%)

BUFFER CALCULATIONS

SOUTH BUFFER - (241 - 24) = 197 LF, 15' WIDE, 2955 SF AREA, TYPE 'C'

SHADE TREES REQUIRED	=	33 (2 / 100 LF)
SHADE TREES PROVIDED	=	44 (2 EP, 2 MG)
ORNAMENTAL TREES REQUIRED	=	53 (3 / 100 LF)
ORNAMENTAL TREES PROVIDED	=	6 (6 LI)
LANDSCAPE AREA REQUIRED	=	1478 SF (50%)
LANDSCAPE AREA PROVIDED	=	1640 SF (55.5%)

USE OF EAST PALATKA HOLLY BECAUSE OF EXISTING OVERHEAD UTILITIES

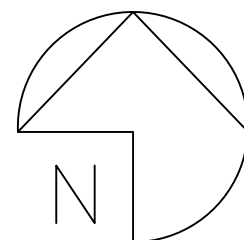
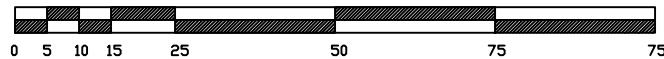
EXISTING TREE LIST

TREE CLUSTER A (TPR)	TREE CLUSTER D
26" OAK	24" OAK
18" OAK	24" OAK
18" OAK	24" OAK
10" OAK	24" OAK
8" OAK	24" OAK
24" OAK	24" OAK
TREE CLUSTER B (TPR)	TREE CLUSTER E
12" CHERRY	12" OAK
12" CHERRY	12" OAK
18" OAK	12" OAK
24" OAK	6" OAK
24" OAK	24" OAK
20" OAK	30" OAK
20" OAK	18" OAK
TREE CLUSTER C (TPR)	TREE CLUSTER F (TPR)
8" OAK	24" OAK
8" OAK	24" OAK
10" OAK	18" OAK
10" OAK	10" OAK
10" OAK	10" OAK
15" OAK	10" OAK
15" OAK	30" CHERRY
	24" CHERRY
	36" OAK

LANDSCAPE ISLANDS

ISLAND A	=	408 SF
ISLAND B	=	140 SF
ISLAND C	=	160 SF
ISLAND D	=	156 SF
ISLAND E	=	110 SF
ISLAND F	=	3022 SF
ISLAND G	=	361 SF
ISLAND H	=	341 SF
ISLAND I	=	750 SF
ISLAND J	=	100 SF

SCALE 1" = 30'

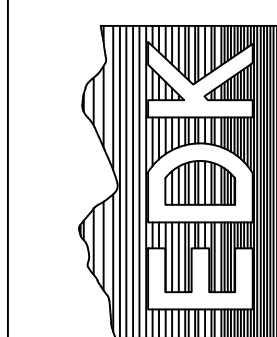


RICHARD A KESSELRING JR., PLA, ASLA
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

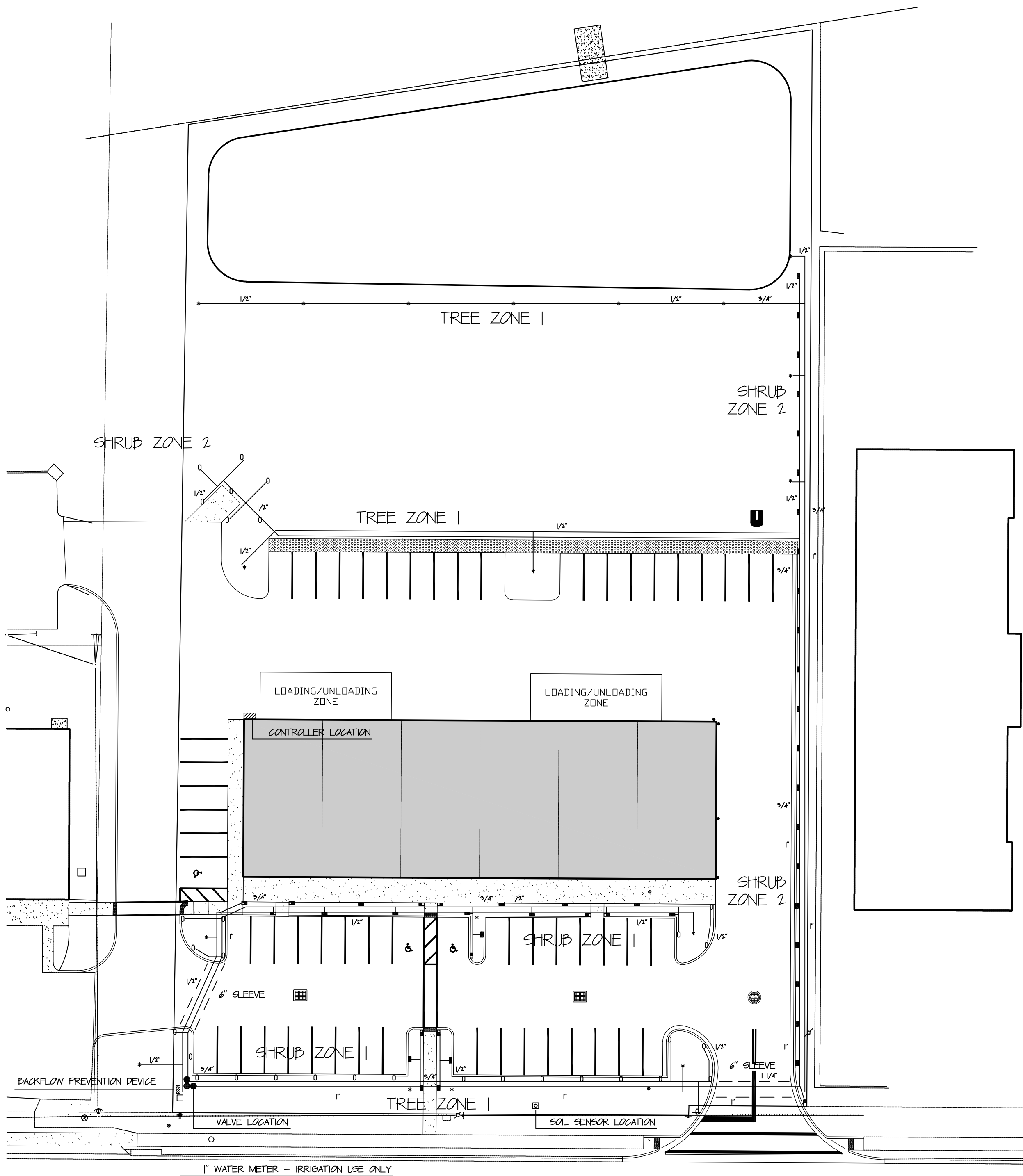
NO.	DATE	DESCRIPTION	BY

DATE: 11 / 20	DRAWING NO.: 1920 SE, 8th STREET	VIEW NAME: 1" = 30'	FB	PG
DRAWN BY: RAK	SCALE: 1" = 30'	JOB NO.: 1920 SE, 8th STREET		

ENVIRONMENTAL DESIGN
ANDY KESSELRING, LANDSCAPE ARCHITECT
1920 SE, 8th STREET
OCALA, FLORIDA 34478
(352) 622-8899
LANDSCAPE ARCHITECTURE, SITE PLANNING,
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



LANDSCAPE PLAN
CALUMET PARK
MARION CO FLORIDA



IRRIGATION LEGEND

- HUNTER MP 1020 SERIES POP-UP SPRAY HEADS
- HUNTER MP 1020 SERIES SIDE-SPRAY HEADS
- ✱ HUNTER PCD SERIES BUBBLER HEADS FOR TREES
- 1" WATER METER - IRRIGATION USE ONLY
- SOL SENSOR LOCATION
- HUNTER X-CORE 4-STATION CONTROLLER
- 2" NELSON VALVES IN WATER-RESISTENT BOXES
- == SLEEVING - SCH. 40 P.V.C.

IRRIGATION ZONE DATA

TREE ZONE 1 = 180 GPM
SHRUB ZONE 1 = 196 GPM
SHRUB ZONE 2 = 123 GPM

484 TOTAL GPM x 15 = 726 GPR
x 2 = 1452 GPM / 7 = 207.5 GPD

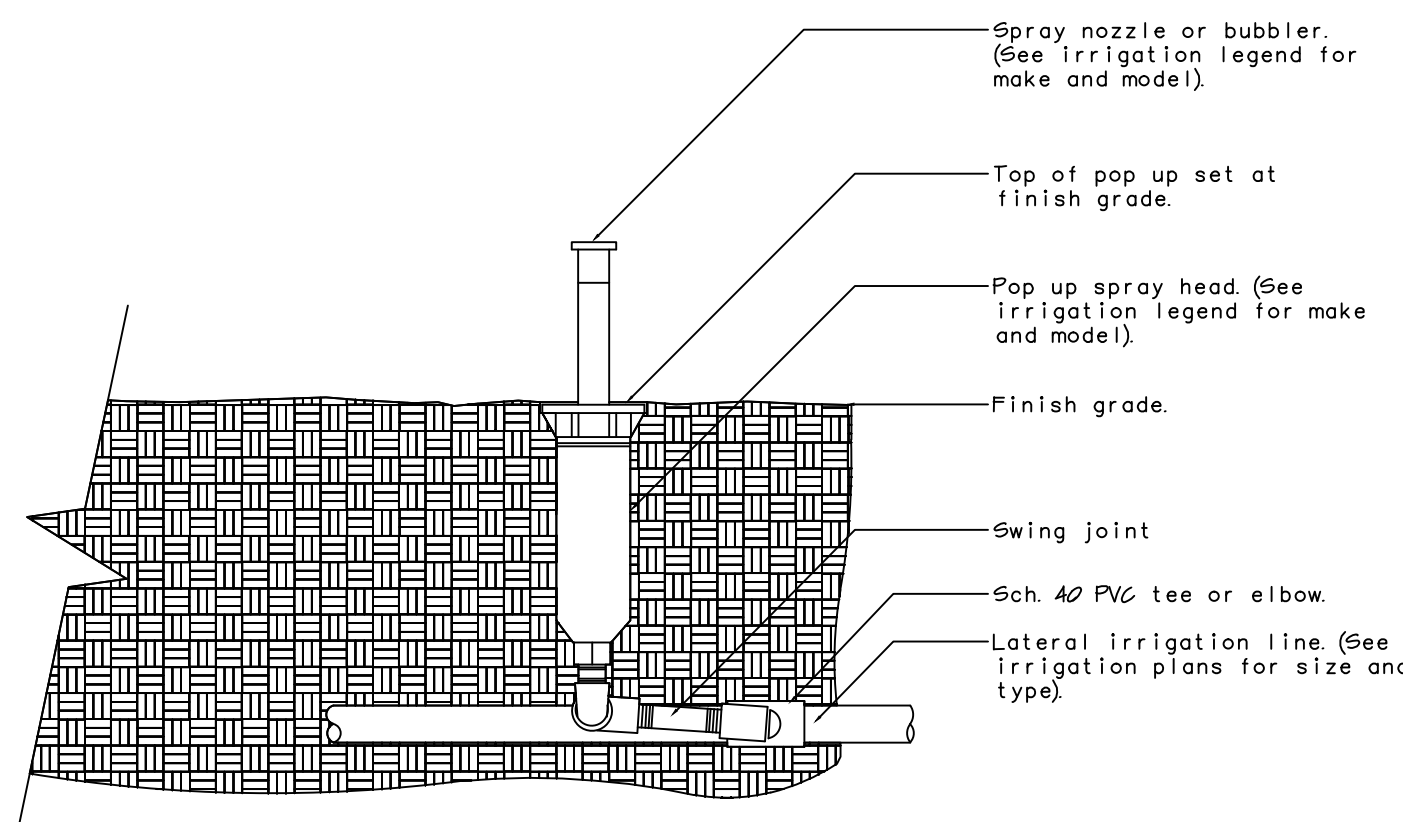
GPM = GALLONS PER MINUTE
GPR = GALLONS PER RUN (15 MINUTES)
GPM = GALLONS PER WEEK (2 RUNS PER WEEK)
GPD = GALLONS PER DAY

IRRIGATION NOTES

- MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
- ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
- HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
- SPRAYS PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
- WATER SOURCE SHALL BE A NEW 1" WATER METER (IRRIGATION USE ONLY) INSTALLED IN AREA SHOWN. COORDINATE METER INSTALLATION WITH UTILITIES SHOWN ON THE CIVIL PLANS
- PRIOR TO ANY INSTALLATION THE IRRIGATION CONTRACTOR SHALL REVIEW THE PROPOSED LAYOUT AND COMMENTS AND PROVIDE WRITTEN CONFIRMATION TO THE LANDSCAPE ARCHITECT IF THERE ARE ANY QUESTIONS OR CONCERNS ABOUT THE SYSTEM AS DESIGNED. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
- THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CASE
- THE OWNER WILL PROVIDE AN ELECTRICAL OUTLET IN THE CONTROLLER AREA
- ALL VALVES SHALL BE INSTALLED IN WATER-RESISTENT BOXES
- ALL SLEEVING MUST BE INSTALLED PRIOR TO THE LIMEROCKING OF THE PAVED AREAS
- ALL SLEEVING SHALL BE SCH. 40 P.V.C. AND INSTALLED A MINIMUM OF 18" DEEP
- ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 12" DEEP
- RAINBIRD "RAINCHECK" DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (RED SERIES). IN ADDITION, AN AGLIMA TDT SENSOR WITH SOX CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION AMOUNTS
- THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
- THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 30 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
- ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
- THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
- INSTALL BACKFLOW PREVENTION DEVICE BETWEEN THE IRRIGATION SYSTEM AND WATER METER PER CODE
- SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
- ZONES ARE DESIGNED TO FUNCTION AT 95 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIRED COVERAGE
- CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TIMING OF THE SYSTEM, BASED ON CURRENT WATER RESTRICTIONS
- SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW PLANT INSTALLATION AND SOO AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT
- ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE ROOT SYSTEMS OF NEW TREES AND TREES TO BE PRESERVED
- ALL IRRIGATION HEADS SHALL BE LOW-VOLUME, MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY IFAS @ EDIS/FA5UFLDU/NE10
- ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD
- POP-UP HEIGHTS WITHIN SOO AREAS SHALL BE SET AT 6"
- ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER SENTRY AND VERIFIED BY CONTRACTOR
- VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- ALL IRRIGATION INSTALLATION SHALL MEET 2015 GRADES AND STANDARDS
- NO IRRIGATION HEADS SHALL BE INSTALLED ON RISERS UNLESS SPECIFICALLY NOTED AND DETAILED
- ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
- BUBBLERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS

MARION COUNTY IRRIGATION NOTES:

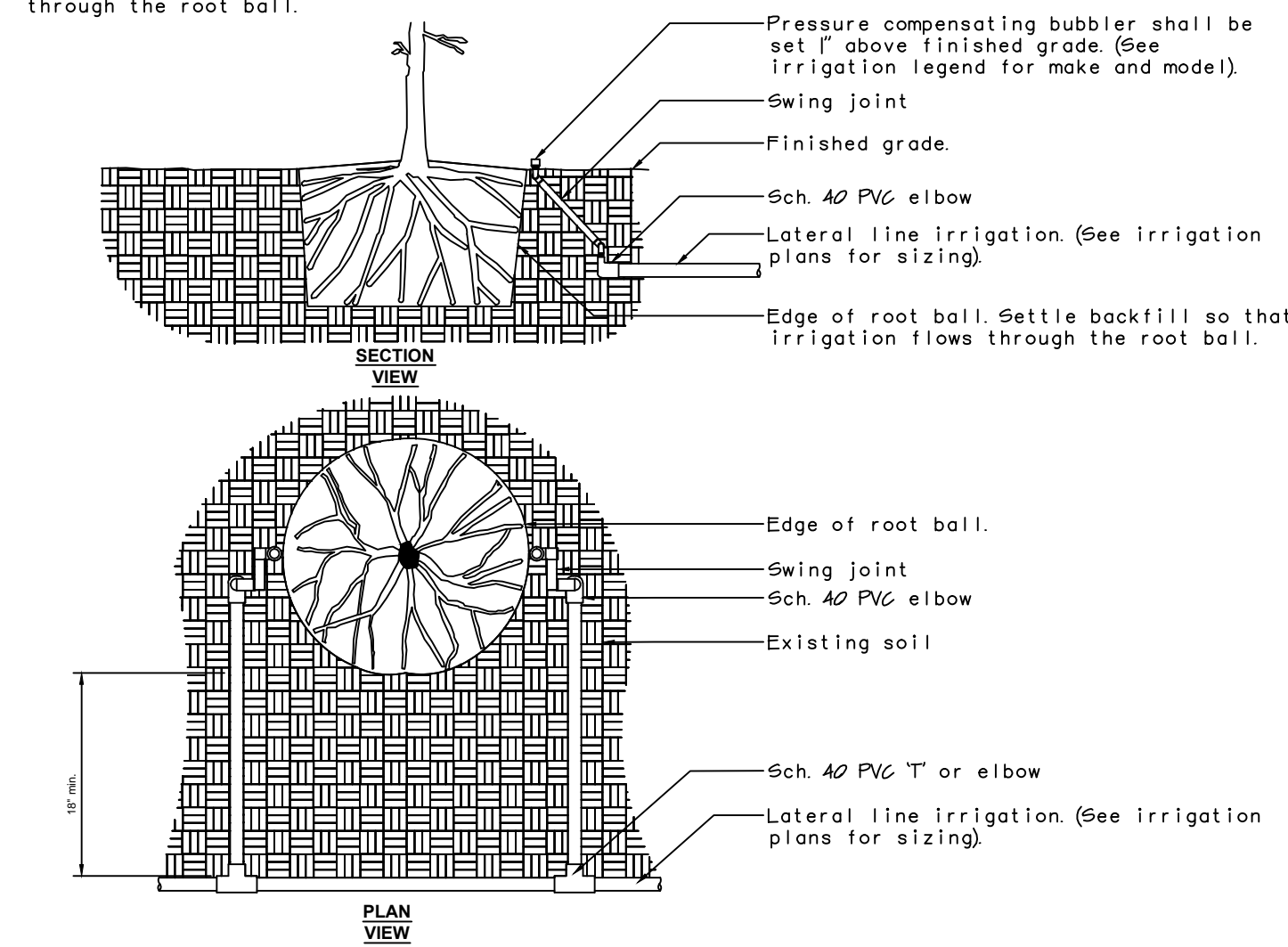
- UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DIAGRAM AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE / IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE MARION COUNTY LANDSCAPE ARCHITECT. ALL REQUIREMENTS OUTLINED IN SECTION 69.6 SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
- ALL REQUIREMENTS IN SECTION 69.8 REGARDING SYSTEM INSTALLATION, SCHEDULING, OPERATION, AND MAINTENANCE SHALL BE COMPLIED WITH. SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OF THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM
- ALL REQUIREMENTS OUTLINED IN SECTION 69.9 REGARDING THE IRRIGATION SCHEDULING SHALL BE COMPLIED WITH BY THE IRRIGATION INSTALLATION PROFESSIONALS
- ALL REQUIREMENTS OUTLINED IN SECTION 69.10 REGARDING LICENSING AND CERTIFICATION OF THE IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL BE COMPLIED WITH
- NOTES HAVE BEEN SHOWN REGARDING CLOSE-OUT REQUIREMENTS (69.6) WATERING INSTALLATION (69.9) AND INSTALLATION LICENSING REQUIREMENTS (69.10)



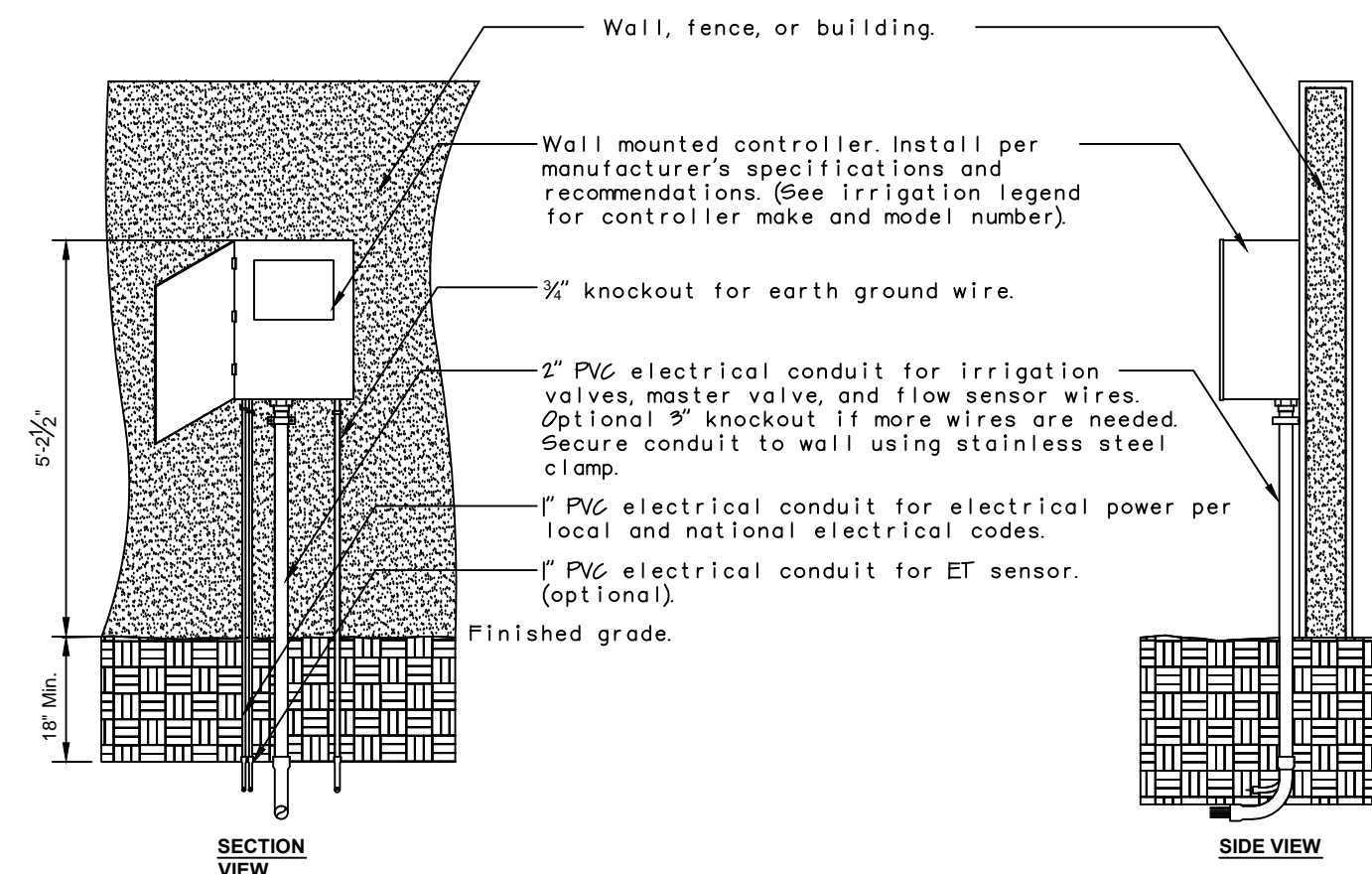
- Notes:
- 1- 6" pop ups shall be used in turf areas.
 - 2- Contractor shall settle soil around the pop up after installation.
 - 3- All pop up spray heads shall have check valves.
 - 4- All Sch. 40 P.V.C. to Sch. 80 P.V.C. connections shall be made using teflon tape.

POP UP-SPRAY HEAD

Notes:
1- All irrigation fittings shall be Sch. 40 P.V.C. unless specified otherwise.
2- All threaded connections from Sch. 40 to Sch. 80 P.V.C. shall be made using teflon tape.
3- Contractor shall settle the area around the bubbler and edge of the root ball so that all irrigation flows through the root ball.



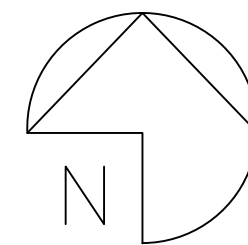
TREE BUBBLER LAYOUT



- Notes:
- 1- Common and controller wire to be bundled using electrical tape at 1/2" on center.
 - 2- Grounding rods shall be located between 8'-0" to 12' away from the controller. Grounding rods shall be 6' in length. Connect the grounding rod to the controller using # gauge bare copper wire per manufacturer's specifications.
 - 3- Rain sensor device shall be installed within 50' of the controller, a minimum of 15' high, and out from any overhead obstructions such as building overhangs, trees, or utilities.

WALL MOUNTED CONTROLLER

SCALE 1" = 30'

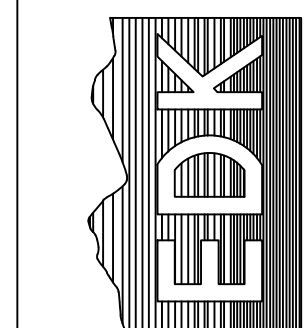


RICHARD A KESSELING JR., PLA, ASLA
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

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IRRIGATION PLAN & DETAILS
CALUMET PARK
MARION CO FLORIDA

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