

MAY 11, 2021

SUBJECT: **INITIAL COMMENTS LETTER**

PROJECT NAME: FAMILY DOLLAR SALT SPRINGS @ CR 314

PROJECT #2021040075

APPLICATION: MAJOR SITE PLAN #26609

**Did not met with staff. DRC 5/17/21**

1. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI  
STATUS OF REVIEW: INFO  
REMARKS: Prior to construction, please have contractor provide a copy of the NPDES Permit or NOI.
2. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Copy of District Permit (County Interest)  
STATUS OF REVIEW: INFO  
REMARKS: Prior to construction, please provide a copy of the SJRWMD permit or 10-2 Certification.
3. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: Additional Development Review Comments  
STATUS OF REVIEW: INFO  
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.
4. DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity  
STATUS OF REVIEW: INFO  
REMARKS: defer to MCFR; water provided by private well
5. DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW  
REVIEW ITEM: Additional Fire comments  
STATUS OF REVIEW: INFO  
REMARKS: The dry hydrant connection will need to be protected from vehicular traffic. Please make sure to add note to the plans.

6. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: Additional Planning Items:  
STATUS OF REVIEW: INFO  
REMARKS: No properties to the east or west are currently recognized under FLUE Policy 10.1.5. a pre-existing commercial uses eligible to continue or change use. This site may have been owned in common with one or more of those properties, however division of the property makes the site ineligible for commercial use per the FLUE Policy.
7. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.3 - Landscape design standards  
STATUS OF REVIEW: INFO  
REMARKS: The Switch grass and Spirea may be difficult to find in this area
8. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)  
STATUS OF REVIEW: INFO  
REMARKS: Will the Cypress trees be irrigated?
9. DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit?  
STATUS OF REVIEW: INFO  
REMARKS: Well to be at least 8 feet from property lines; Septic to be at least 5 feet from property lines.
10. DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: Additional Zoning comments  
STATUS OF REVIEW: INFO  
REMARKS: Please contact Planning/Zoning for Small Scale Amendment process and application.
11. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2 A(1)/(2) - Contributing Basins/Tc  
STATUS OF REVIEW: NO  
REMARKS: Please include the pre- and post- basin maps in the plan set.
12. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters  
STATUS OF REVIEW: NO  
REMARKS: 1) Please add dimensions to the DRA. 2) Please show soil boring locations with ID labels on the plans. 3) Please add ESHWT to DRA Cross section detail, and please add pond bottom will be seeded and mulched. Note: If pond is deeper than 4', sodded bottom is required.
13. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis  
STATUS OF REVIEW: NO  
REMARKS: 1) It appears 10.7" should be used for the 100 year, 24 hour storm based on SJRWMD and NOAA precipitation frequency maps. Please update or provide supporting documentation for the selection of 10".

14. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.4.C - Discharge Conditions  
STATUS OF REVIEW: NO  
REMARKS: Please add a grassed spreader swale at outfall of pond discharge structure to allow discharge to leave site in a sheet flow condition.
15. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(6) - Freeboard  
STATUS OF REVIEW: NO  
REMARKS: 6" freeboard required in pond.
16. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria  
STATUS OF REVIEW: NO  
REMARKS: For the purposes of demonstrating conveyance, a tailwater condition at the receiving body must be assumed in the hydraulic analysis. Please use the peak stage at the 25 year, 24 hour storm as the tailwater condition.
17. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis  
STATUS OF REVIEW: NO  
REMARKS: 1) The Hydraulic Analysis (Appendix E) was not included in the Stormwater Report. Please provide. Conveyance at the 25 year, 24 hour storm must be achieved. The FDOT Zone 7 IDF curves should be used for design.
18. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.2.A(11)(b) - Erosion Control  
STATUS OF REVIEW: NO  
REMARKS: Please extend silt fence around to include the limits of pond construction.
19. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas  
STATUS OF REVIEW: NO  
REMARKS: Please provide the Karst Analysis.
20. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: 6.13.12 - Operation and Maintenance  
STATUS OF REVIEW: NO  
REMARKS: Please provide an Operation and Maintenance document with procedures for the operation and maintenance of the stormwater facility with the Owner's Certification as follows "I hereby certify that I, my successors, and assigned shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications show herein and on the approved plan." Owner must sign and date.
21. DEPARTMENT: ENGDRN - STORMWATER REVIEW  
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.  
STATUS OF REVIEW: NO  
REMARKS: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

22. DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.11.3 - Traffic Impact Analysis  
STATUS OF REVIEW: NO  
REMARKS: 4/26/21 - Provide a turn lane analysis based of FDOT and NCHRP 457 guidelines to determine the need for turn lanes.
23. DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.11.4.B - Cross access  
STATUS OF REVIEW: NO  
REMARKS: 4/26/21 - Provide the executed cross access easement and recording fee prior to final plan approval. The cross access easement template can be obtained from the Development Review Office.
24. DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.11.5 - Driveway access  
**STATUS OF REVIEW: WAIVER REQUESTED**  
REMARKS: 04/26/21 - 1. The driveway doesn't meet spacing requirements. Staff supports a waiver. 2. Confirm that the driveway meets FDOT sight distance requirements and provide a note on the plans stating such.

**LDC 6.11.5.C(1) - Driveway Spacing**

CODE states the minimum allowed distance between a commercial driveway and the nearest intersecting roadway or driveway shall be as shown in Table 6.11-2 and 6.11-3. APPLICANT requests waiver because the driveway spacing cannot be met. Maximum spacing is provided.

25. DEPARTMENT: ENGTRF - TRAFFIC REVIEW  
REVIEW ITEM: 6.12.12 - Sidewalks  
**STATUS OF REVIEW: WAIVER REQUESTED**  
REMARKS: 04/26/21 - Sidewalk is required along CR 314. Staff supports a payment of a fee in-lieu of sidewalk construction. If approved by the DRC, the fee comes out to \$4,000.00

**LDC 6.12.12.D - Sidewalk Fee**

CODE states at the discretion of the Development Review Committee, in-lieu-of construction along external streets, the developer may pay a sidewalk fee to the County in an amount necessary to complete construction.

APPLICANT requests waiver for fee in-lieu-of sidewalk due to rural location with no nearby sidewalk connections.

26. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC  
STATUS OF REVIEW: NO  
REMARKS: 5/11/21 - Due with resubmittal
27. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval  
STATUS OF REVIEW: NO  
REMARKS: 5/11/21 - Update waivers after DRC



28. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW  
REVIEW ITEM: 2.12.4.L(1) - Parcel number  
STATUS OF REVIEW: NO  
REMARKS: 5/11/21 - Application lists 2 parcel numbers, but plan cover sheet lists only 1 which doesn't match either parcel on application.
29. DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities  
STATUS OF REVIEW: NO  
REMARKS: \$130
30. DEPARTMENT: UTIL - MARION COUNTY UTILITIES  
REVIEW ITEM: Additional Utilities comments  
STATUS OF REVIEW: NO  
REMARKS: INFO - Parcels within Marion County Utilities public service area but outside connection distance to utility provider's closest available water or sewer at this time.  
NO - Plan note on Utility Sheet "When water or sewer become available from the public utility provider, parcel shall connect to respective service(s) within 365 days of notification."
31. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation?  
STATUS OF REVIEW: NO  
REMARKS: The site's future land use designation is Low Residential and has been so since the initial compliance determination of the Comprehensive Plan. Obtaining a Comprehensive Plan Future Land Use Map Amendment to at least a Commercial future land use designation must be obtained for the site to be considered for the proposed use.
32. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW  
REVIEW ITEM: 3.2.3 - NON-RESIDENTIAL - Complies with FAR?  
STATUS OF REVIEW: NO  
REMARKS: Commercial uses are not permitted uses within the Low Residential future land use designation, and this site is not qualified as a pre-existing commercial property eligible for use/expansion per FLUM Policy 10.1.5.
33. DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: 2.12.28 - Correct road names supplied  
STATUS OF REVIEW: NO  
REMARKS: Sheet C-00 has incorrect road names in the Vicinity Map. NE County Rd 314 should be NE HWY 314. Forest Rd should be NE 244th Ter. NE 247th Court is north of NE HWY 314, the name changes to NFR 314-16.7 south of NE HWY 314.
34. DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale  
STATUS OF REVIEW: NO  
REMARKS: Sheet L-03 has two north arrows. The one furthest east is incorrect and needs to be removed.

35. DEPARTMENT: 911 - 911 MANAGEMENT  
REVIEW ITEM: Additional 911 comments  
STATUS OF REVIEW: NO  
REMARKS: Sheet C-00 has the parcel incorrect as 1140-008-000 under the site data. It should be 1140-005-000, 1140-006-000 & 1140-007-000. Sheets C-01, C-02, C-03.1, C-04, SP-1 & Survey have an incorrect parcel number of 11431-004-00. It should be 11431-000-00.
36. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.4 - Shade tree requirements  
STATUS OF REVIEW: NO  
REMARKS: please confirm and clarify total disturbed area
37. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.6 - Tree removal submittal requirements  
STATUS OF REVIEW: NO  
REMARKS: Tree calculations appear incorrect - please confirm and clarify total disturbed area
38. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.8 - Protected tree replacement requirements  
STATUS OF REVIEW: NO  
REMARKS: Tree calculations appear incorrect - please confirm and clarify total disturbed area
39. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.7.9 - Replacement trees; general requirements  
STATUS OF REVIEW: NO  
REMARKS: Tree calculations appear incorrect - please confirm and clarify total disturbed area
40. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)  
STATUS OF REVIEW: NO  
REMARKS: Clarify Total disturbed area - cannot be more than total site area
41. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION  
REVIEW ITEM: 6.8.6 - Buffers  
STATUS OF REVIEW: NO  
REMARKS: 1, Label buffers types on Landscape Plan 2. provide calculations in square foot to show 50% planting is met
42. DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.4.L(1) - Parcel number  
STATUS OF REVIEW: NO  
REMARKS: Parcel ID listed is incorrect. Please list 1140-006-00 and 1140-007-00.
43. DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown  
STATUS OF REVIEW: NO  
REMARKS: The correct land use and zoning is shown. However, the LR, Low Residential, prohibits commercial development. A small-scale amendment to the Future Land Use Map will be required.

44. DEPARTMENT: ZONE - ZONING DEPARTMENT  
REVIEW ITEM: 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements  
STATUS OF REVIEW: NO  
REMARKS: Per plat, there is a 10' utility easement along rear lot lines. Please show on plans.



**Marion County  
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.  
Ocala, FL 34471  
Phone: 352-671-8686  
Fax: 352-671-8687

**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Date: 04/23/2021 Parcel Number(s): 1140-006-000 ; 1140-007-000 Permit Number: \_\_\_\_\_  
mm/dd/yyyy

**A. PROJECT INFORMATION:** Fill in below as applicable:

Project Name: Family Dollar - Salt Springs Commercial ☒ or Residential ☐  
Subdivision Name (if applicable): Ker View  
Unit \_\_\_\_\_ Block \_\_\_\_\_ Lot 6 & 7

**B. PROPERTY OWNER'S AUTHORIZATION:** Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:

Property Owner's Name (print): Noon Salt Springs, LLC  
Property Owner's Signature: \_\_\_\_\_  
Property Owner's Mailing Address: 832 Georgia Ave, Suite 355  
City: Chattanooga State: TN Zip Code: 37402 Phone # 423-206-2695

**C. APPLICANT INFORMATION:** The applicant will be the point of contact during this waiver process and will receive correspondence.

Firm Name (if applicable): Berry Engineers, LLC Contact Name: Chris Berry  
Mailing Address: 3555 Keith St, Suite 109 City: Cleveland State: TN Zip Code: 37312  
Phone # 423-790-5880 Alternate Phone # \_\_\_\_\_  
Email address: cberry@berryengineers.com

**D. WAIVER INFORMATION:**

Section & Title of Code: 6.11.5.C(1) - Driveway Spacing  
Reason/Justification for Waiver Request: Driveway spacing cannot be met. Maximum spacing is provided.

**DEVELOPMENT REVIEW USE:**

Received By: \_\_\_\_\_ Date Processed: \_\_\_\_\_ Project # \_\_\_\_\_ AR # \_\_\_\_\_

**ZONING USE:** Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐  
Zoned: \_\_\_\_\_ ESOZ: \_\_\_\_\_ P.O.M. \_\_\_\_\_ Must Vacate Plat: Yes ☐ No ☐  
Land Use: \_\_\_\_\_ Date: \_\_\_\_\_ Verified by: \_\_\_\_\_

Revised 7/2017

**Submit via Email**

**Print Form**

**Clear Form**

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[www.marioncountyfl.org](http://www.marioncountyfl.org)



**Marion County  
Board of County Commissioners**

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412 SE 25th Ave.  
Ocala, FL 34471  
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**DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM**

Section & Title of Code: 6.12.12 - Sidewalks  
Reason/Justification for Waiver Request: Request for fee in lieu of sidewalk due to rural location with no nearby sidewalk connections.

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

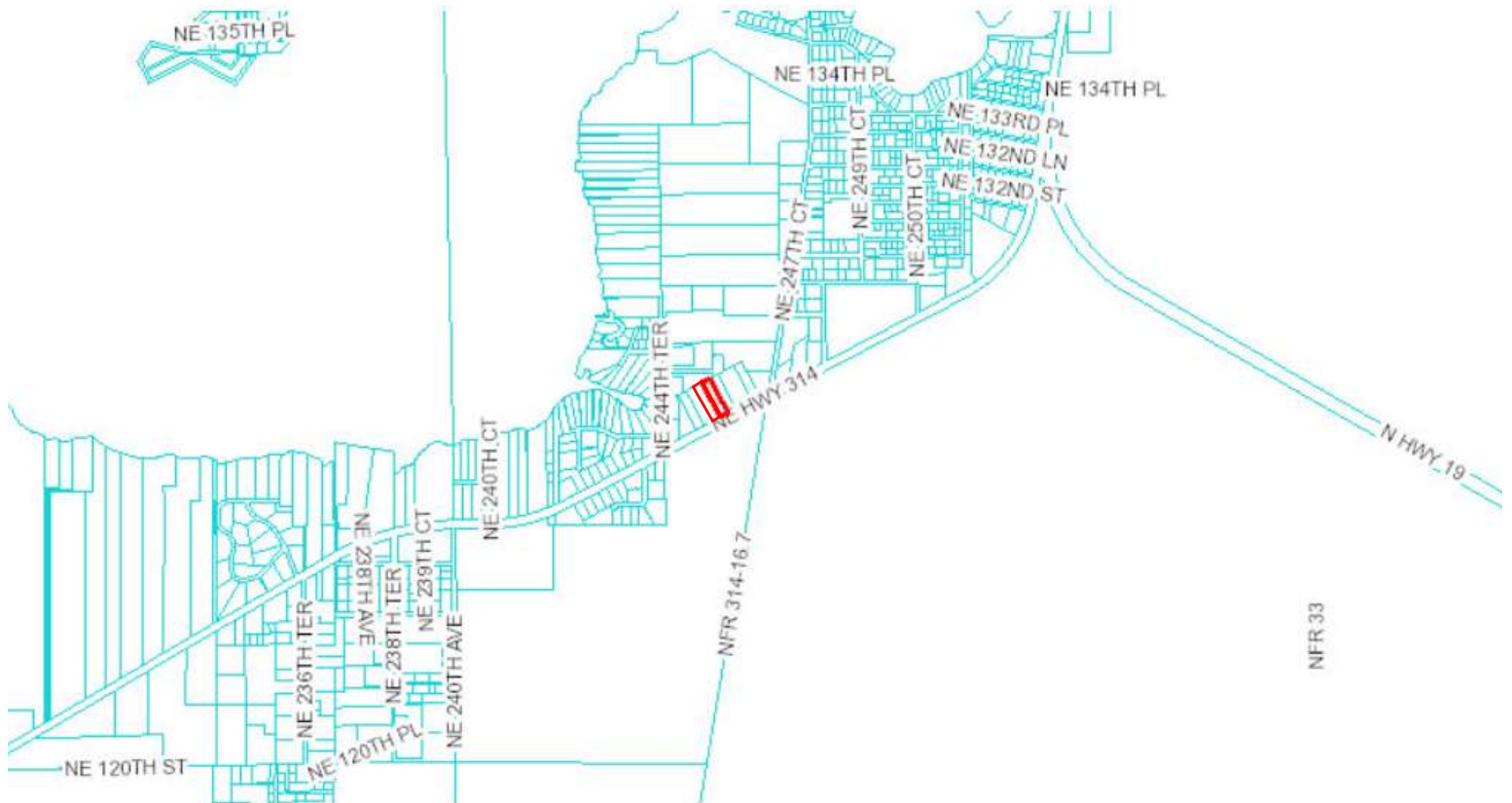
Section & Title of Code: \_\_\_\_\_  
Reason/Justification for Waiver Request: \_\_\_\_\_

Revised 7/2017



<b>Project #2021040075</b>	<b>#26609</b>	<b>Parcel #1140-006-000</b>
<b>BERRY ENGINEERS</b>		

<b>Project #2021040075</b>	<b>#26609</b>	<b>Parcel #1140-006-000</b>
<b>BERRY ENGINEERS</b>		





MAJOR SITE PLAN:

FAMILY DOLLAR  
NE COUNTY RD 314  
MARION COUNTY, FL

OWNER CERTIFICATION

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

JAMEY FLEGAL  
NOON SALT SPRINGS, LLC

DATE

STORMWATER MAINTENANCE CERTIFICATION

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

JAMEY FLEGAL  
NOON SALT SPRINGS, LLC

DATE

DESIGN PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, EXCEPT AS WAIVED.

BENJAMIN M. BERRY, FL PE#76300  
BERRY ENGINEERS, LLC

DATE

2.12.4.K – LIST OF APPROVED WAIVERS

CODE SECTION	WAIVER DETAILS	APPROVAL DATE
6.11.5.C(1) DRIVEWAY SPACING	APPROVED SUBJECT TO AS IS SHOWN ON THE CURRENT PLANS.	
6.12.12 SIDEWALKS	APPROVED SUBJECT TO PAYMENT OF THE FEE-IN-LIEU OF CONSTRUCTION.	

TRAFFIC ASSESSMENT

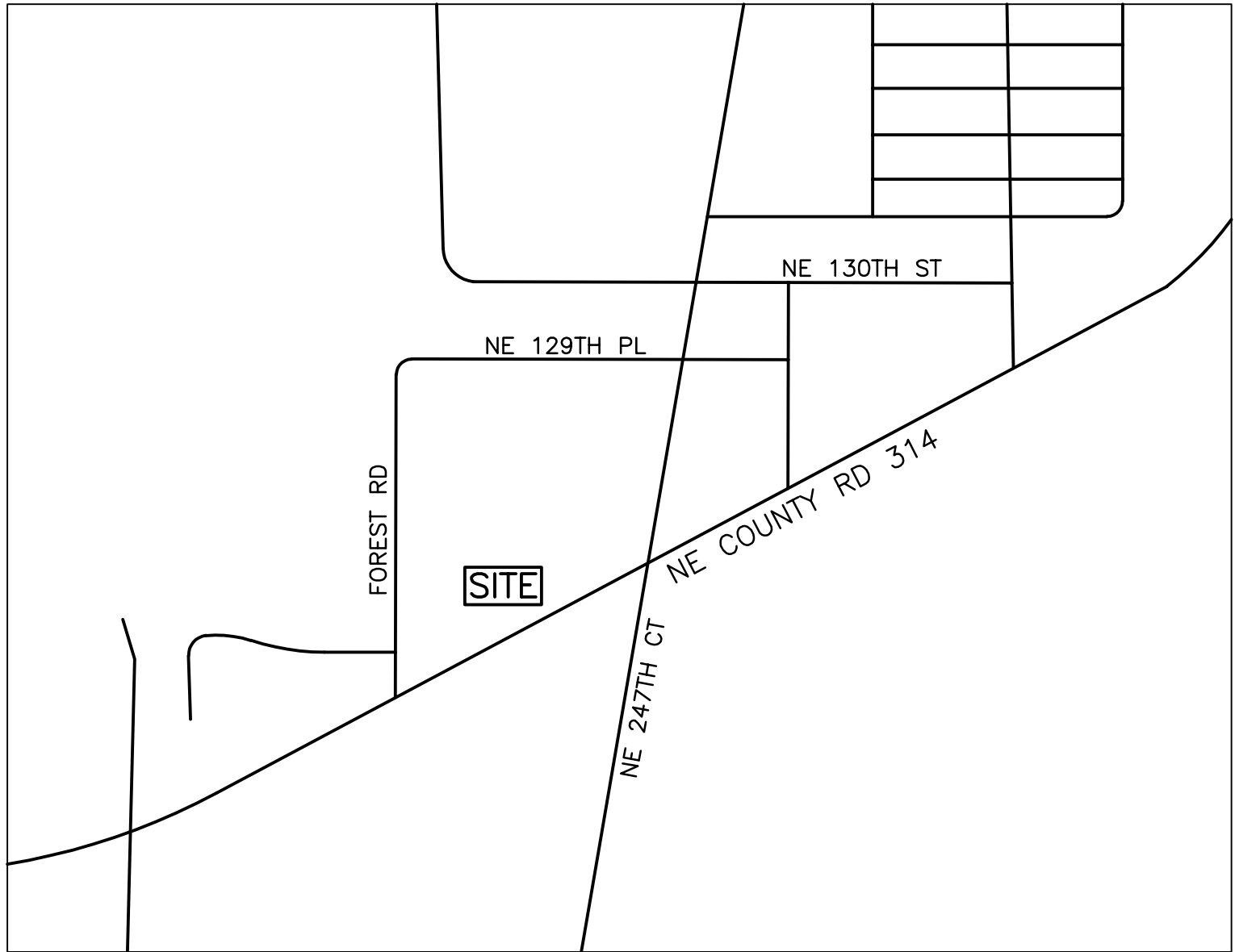
THIS PROJECT HAS COMPLETED A TRAFFIC ASSESSMENT, BECAUSE IT IS EXPECTED TO GENERATE BETWEEN 50–99 PEAK HOUR TRIPS. A FULL TRAFFIC IMPACT STUDY IS NOT REQUIRED.

CONCURRENCY STATEMENT

THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRECY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

CHANGES TO APPROVED PLAN

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER.



VICINITY MAP  
N.T.S.

OWNER/DEVELOPER:

NOON REAL ESTATE, LLC  
MR. JAMEY FLEGAL  
832 GEORGIA AVE, SUITE 355  
CHATTANOOGA, TN 37402  
423-206-2695

CIVIL  
ENGINEER:



3555 KEITH STREET, SUITE 109  
CLEVELAND, TN 37312 (423) 790-5880

INDEX OF SHEETS

CIVIL ENGINEERING PLANS

- C–00 COVER SHEET
- C–01 EXISTING CONDITIONS
- C–02 SITE LAYOUT & PAVING PLAN
- C–03.1 SITE GRADING & DRAINAGE PLAN
- C–03.2 DETENTION BASIN PLAN
- C–04 EROSION CONTROL PLAN
- C–05 SITE UTILITY PLAN
- C–06 SITE DETAILS
- C–07 SITE DETAILS
- C–08 SITE DETAILS
- C–09 SITE DETAILS
- L–01 LANDSCAPE PLAN
- L–02 LANDSCAPE DETAILS
- L–03 IRRIGATION PLAN
- L–04 IRRIGATION DETAILS
- SP–1 SITE LIGHTING PHOTOMETRICS
- SP–2 SITE LIGHTING DETAILS
- BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)

LOCAL CONTACTS

MARION COUNTY – PLANNING  
PHONE: 352–438–2600  
MR. JEREMY CRAIG  
MR. JOHN HARVEY

MARION COUNTY – TRAFFIC  
PHONE: 352–671–8356  
MR. CHRIS ZEIGLER

MARION COUNTY – DEVELOPMENT REVIEW  
PHONE: 352–671–8682  
MS. CARLA SANSONE

MARION COUNTY – ENGINEERING  
PHONE: 352–671–8686

MARION COUNTY – BUILDING SAFETY  
PHONE: 352–438–2400

MARION COUNTY – FIRE MARSHAL  
PHONE: 352–291–8000

MARION COUNTY – WATER/SEWER  
PHONE: 352–307–6000  
MR. JOSH KRAMER  
MS. CARRIE LYN HYDE

MARION COUNTY – STORMWATER  
PHONE: 352–671–8366  
MR. JAMES HULSEY

MARION COUNTY – ENV. HEALTH  
PHONE: 352–622–7744

FLORIDA DEPT. OF HEALTH – SEPTIC  
MR. ED BROWN  
PHONE: 352–629–0137

SECO ENERGY – ELECTRIC  
PHONE: 352–237–4107  
MR. JERRY BOLDUC  
PHONE: 352–569–9633

TECO – NATURAL GAS  
MR. CHUCK HUMPHREY  
PHONE: 352–427–0743  
CMHUMPHREY@TECOENERGY.COM

SITE DATA

PROJECT DESCRIPTION: NEW CONSTRUCTION OF A FAMILY DOLLAR STORE  
LOCATION: NE COUNTY RD 314, SALT SPRINGS, FL  
PARCEL: 1140–008–000  
ZONING: B–5 (HEAVY BUSINESS)  
FUTURE LAND USE: LR (LOW RESIDENTIAL)  
OVERLAY ZONE: SECONDARY SPRINGS PROTECTION ZONE  
FLOOD ZONE: ZONE X, AS SHOWN ON MAP NO. 12160C0405D DATED 08/28/2008

SITE AREA: 2.00 ACRES  
DISTURBED AREA: 1.5± ACRES

LAND COVERAGE  
BUILDING AREA COVERAGE 10,500 SF (12%)  
ON–SITE IMPERVIOUS 0.82 ACRES (41%)  
ON–SITE LANDSCAPE 1.08 ACRES (59%)

BUILDING SETBACKS:  
FRONT (S) 40' 102.6'  
REAR (N) 25' 218.2'  
SIDE (W) 10' 12.0'  
SIDE (E) 10' 95.0'

PARKING SUMMARY:  
STANDARD 33 33  
ACCESSIBLE 2 2  
TOTAL 35 35

PARKING CALCULATIONS:  
1 SPACE PER 300 SF  
10,500 SF / 300 SF = 35 REQUIRED SPACES

ARCHITECT:

CLARK, GEER, LATHAM, & ASSOCIATES  
3901 SPRINGHILL AVE  
MOBILE, AL 36608  
251-344-7073

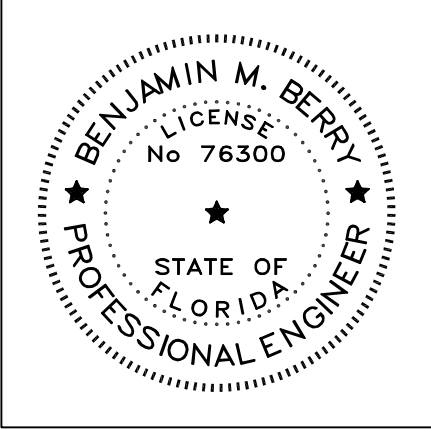
SEPTIC DESIGNER:

GEO-TECH, INC.  
MR. GERALD GREEN  
1016 SE 3RD AVENUE  
OCALA, FL 34471  
352-694-7711

CIVIL ENGINEER:  
**BERRY**  
ENGINEERS LLC  
3555 KEITH ST NW, SUITE 109  
CLEVELAND, TN 37312  
TEL: (423) 790-5880  
CERTIFICATE OF AUTHORIZATION #00385

DEVELOPER:  
NOON REAL ESTATE, LLC  
832 GEORGIA AVE, SUITE 355  
CHATTANOOGA, TN 37402  
423-206-2695

PROJECT:  
**MAJOR SITE PLAN**  
FAMILY DOLLAR  
STORE  
NE COUNTY RD 314  
MARION COUNTY, FL



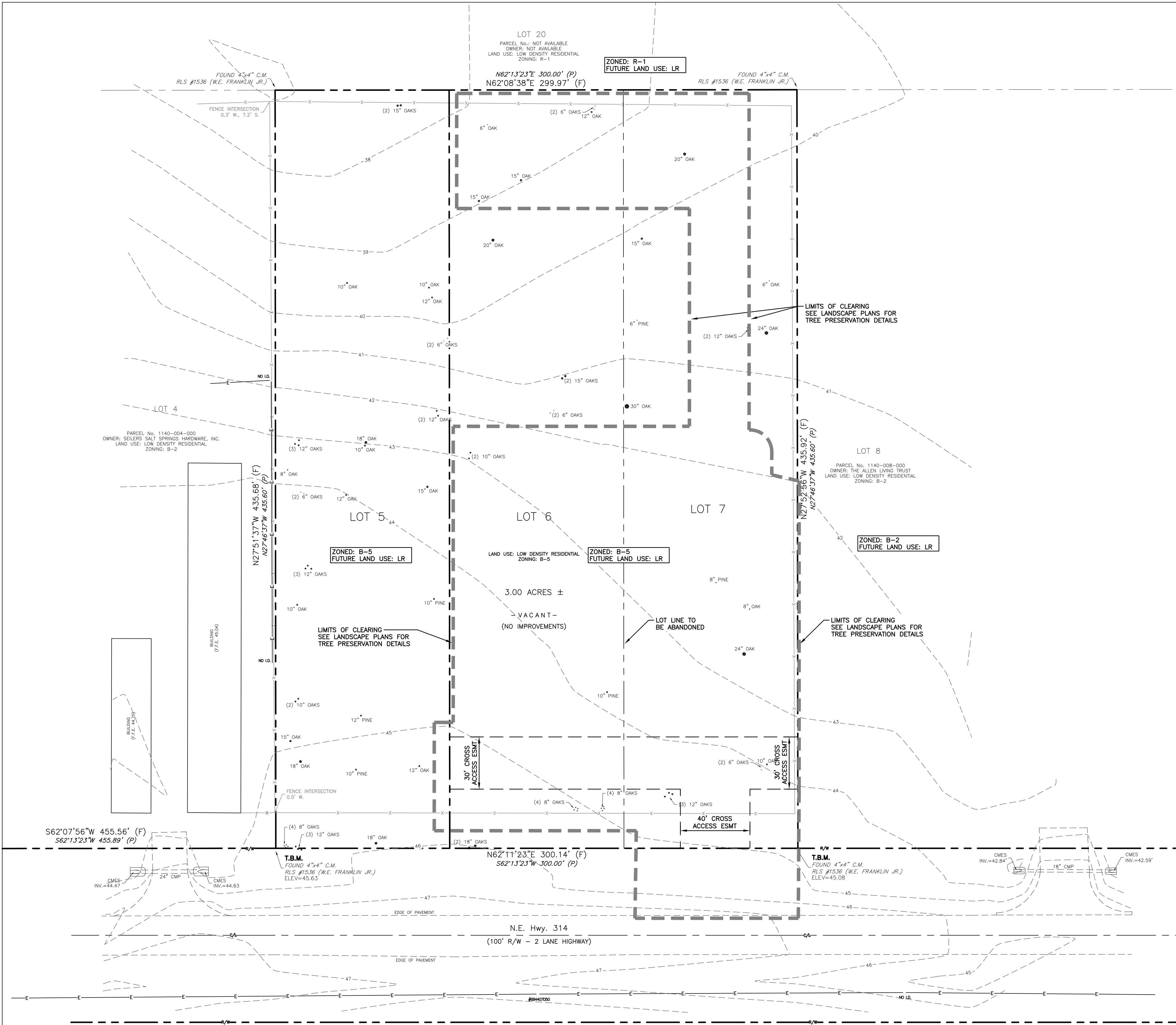
BENJAMIN M. BERRY, STATE OF FLORIDA,  
PROFESSIONAL ENGINEER, LICENSE NO. 76300  
THIS ITEM HAS BEEN ELECTRONICALLY  
SIGNED AND SEALED BY BENJAMIN M. BERRY,  
PE ON DATE AND/OR TIME STAMP SHOWN  
USING A DIGITAL SIGNATURE.  
PRINTED COPIES OF THE DOCUMENT ARE NOT  
CONSIDERED SIGNED AND SEALED AND THE  
SIGNATURE MUST BE VERIFIED ON ANY  
ELECTRONIC COPIES.

REVISIONS		
1		
2		
3		
4		
5		

SHEET NAME:  
COVER SHEET

DATE:	04/23/2021
DRAWN BY:	CMB
CHECKED BY:	BMB
PROJECT NO.:	21015
SHEET NUMBER:	C-00





EXISTING CONDITIONS SHOWN ARE  
BASED UPON A SURVEY BY OTHERS

UTILITIES & GRADING LEGEND		
	EXISTING	
RIGHT-OF-WAY/PROPERTY LINE	---	
WATER LINE		
SANITARY SEWER / SEPTIC		
UTILITY POLE	⊗	
UNDERGROUND POWER LINE		
UNDERGROUND TELEPHONE/DATA LINE		
OVERHEAD ELECTRIC LINE	— E —	
NATURAL GAS LINE		
CLEANOUT		
FIRE HYDRANT		
WATER VALVE		
INDEX CONTOURS	— 40 —	
1' INTERVALS	— 41 —	
SPOT ELEVATION	×40.50	
STORM SEWER	— — —	
CATCH BASIN	□	

CIVIL ENGINEER:

**BERRY**  
**ENGINEERS LLC**

3555 KEITH ST NW, SUITE 109  
CLEVELAND, TN 37312

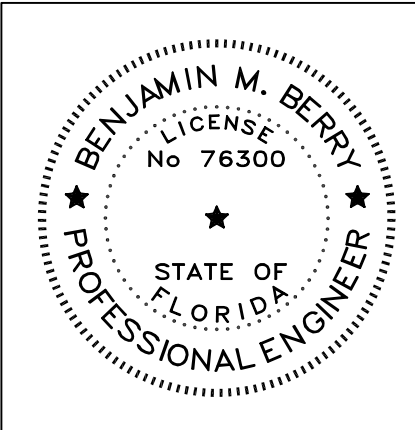
CERTIFICATE OF AUTHORIZATION #0385

DEVELOPER:

NOON REAL ESTATE, LLC  
832 GEORGIA AVE, SUITE 355  
CHATTANOOGA, TN 37402  
423-206-2695

PROJECT:

**MAJOR SITE PLAN**  
**FAMILY DOLLAR**  
**STORE**  
NE COUNTY RD 314  
MARION COUNTY, FL



BENJAMIN M. BERRY, STATE OF FLORIDA,  
PROFESSIONAL ENGINEER, LICENSE NO. 76300

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SHEET NAME:  
EXISTING  
CONDITIONS &  
DEMOLITION PLAN

DATE: 04/23/2021

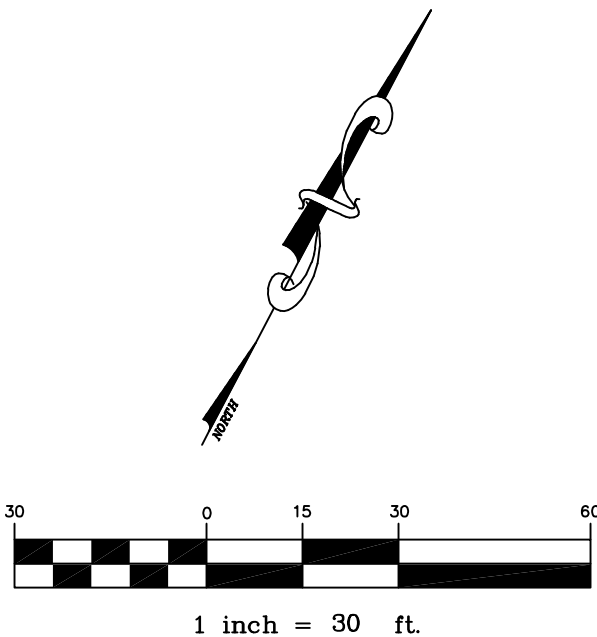
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PROJECT NO.: 21015

SHEET NUMBER:

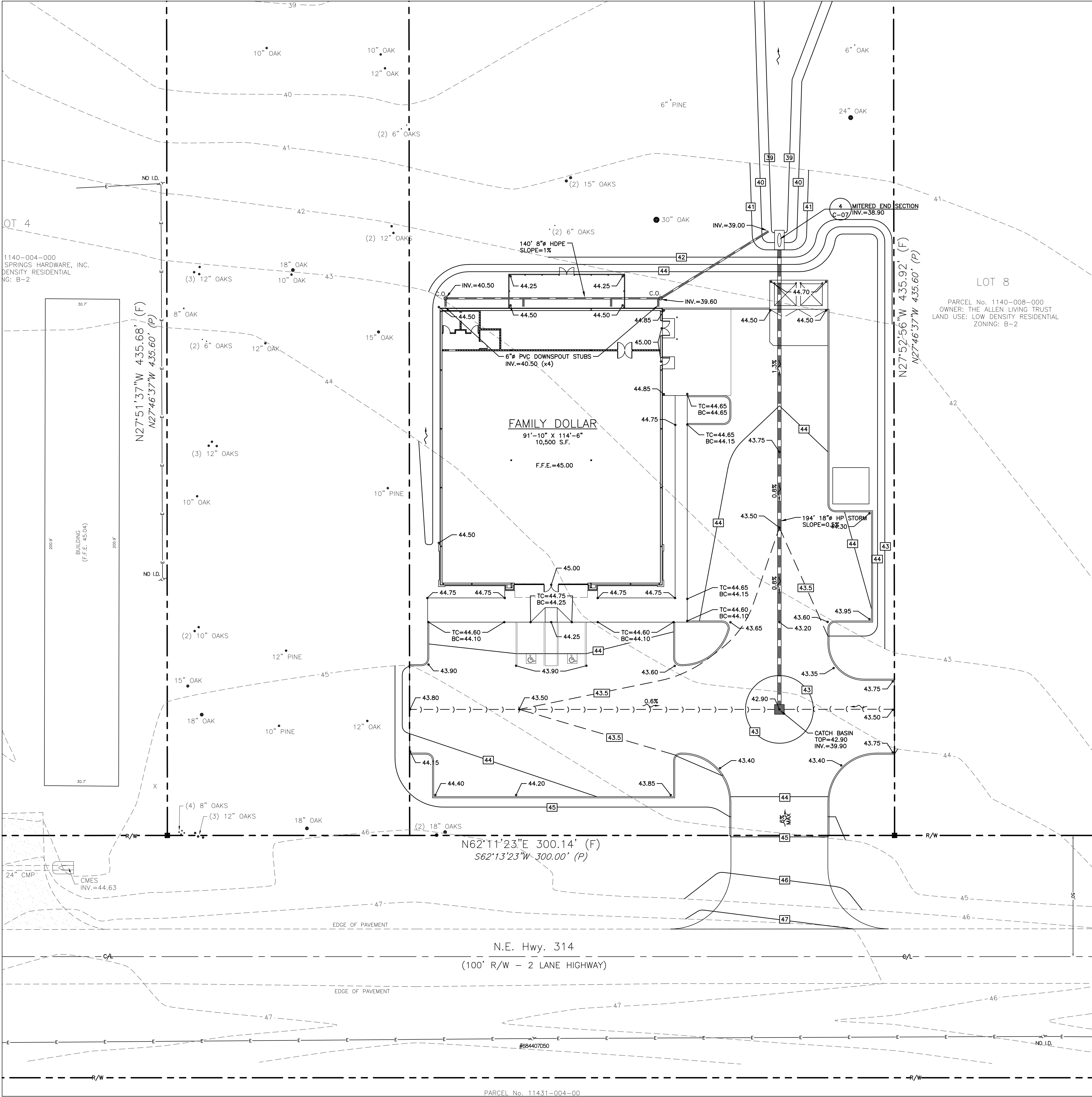
**C-01**











SITE GRADING NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM A SURVEY DATED 03/25/21 BY: ROGERS ENGINEERING, LLC. TEL. 352-622-9214 EMAIL: rkrogers@rogerseng.com
- EXISTING SOIL INFORMATION IS AVAILABLE FROM: GEO-TECH, INC. TEL. 352-694-7711 SOIL REPORT DATED 04/19/2021
- CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS MADE IN THIS REPORT UNLESS OTHERWISE NOTED.
- NEW FINISHED CONTOURS SHOWN ARE TOP OF FUTURE PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN PLANTING AREAS.
- ROUGH GRADE ELEVATIONS SHALL BE AS FOLLOWS\*\*:
  - 4" BELOW FINISHED CONTOURS IN GRASS AREAS.
  - 8" BELOW FINISHED CONTOURS IN CONCRETE PAVEMENT AREAS.
  - 7.5" BELOW FINISHED CONTOURS IN STANDARD DUTY ASPHALT PAVEMENT AREAS.
  - 12" BELOW FINISHED CONTOURS IN HEAVY DUTY ASPHALT PAVEMENT AREAS.
  - 8" BELOW FLOOR ELEVATIONS WITHIN THE BUILDING AND SIDEWALK AREAS, UNLESS OTHERWISE NOTED.
- \*\*NOTE: DEPTH DOES NOT INCLUDE STABILIZED SUBGRADE DEPTH.
- RCP STORM DRAIN PIPE IS CLASS III REINFORCED CONCRETE CONFORMING TO ASTM C-76. PVC STORM DRAIN PIPE IS SDR35. HOPE STORM DRAIN PIPE IS ADS N-12 IB WT.
- DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAY-OUT FOOTINGS. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION INFORMATION.
- GRADING CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES TO REMAIN AS REQUIRED TO MATCH FINISHED GRADES.
- GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.
- THE GRADING CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTORS SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND NOT BEFORE THE ESTABLISHMENT OF A STAND OF GRASS SUFFICIENT TO PREVENT EROSION.
- FOR ANY WORK ON THE STATE OR CITY RIGHT-OF-WAY, THE GRADING CONTRACTOR SHALL:
  - A. NOT STORE MATERIAL, EXCESS DIRT, OR EQUIPMENT IN THE RIGHT-OF-WAY IN CASE OF MULTILANE HIGHWAYS. THE PAVEMENT SHALL BE KEPT FREE FROM ANY MUD OR EXCAVATION WASTE FROM TRUCKS OR OTHER EQUIPMENT. ON COMPLETION OF THE WORK, ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE RIGHT-OF-WAY.
  - B. PROVIDE ALL NECESSARY AND ADEQUATE SAFETY PRECAUTIONS SUCH AS SIGNS, FLAGS, LIGHT BARRICADES, AND FLAGMEN AS REQUIRED BY THE LOCAL AUTHORITIES AND IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THE GRADING CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HOLD HARMLESS THE CITY, STATE, ARCHITECT, ENGINEER, AND OWNER FROM ANY CLAIMS FOR DAMAGE DONE TO EXISTING PRIVATE PROPERTY, PUBLIC UTILITIES, OR TO THE TRAVELING PUBLIC.
  - C. COMPLETE WORK TO THE SATISFACTION OF THE CITY PUBLIC WORKS DEPARTMENT AND OBTAIN A LETTER FROM THE DEPARTMENT STATING THAT THE WORK IS ACCEPTABLE.
- A QUALIFIED SOILS LABORATORY SHALL BE ON-SITE DURING EXCAVATING TO DETERMINE THE SUITABILITY OF THE EXISTING SUB-GRADE AND EXISTING ON-SITE MATERIAL PRIOR TO BEGINNING ANY FILLING OPERATION.
- GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY ENGINEER AND/OR OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST TO OWNER.
- SITE GRADING CONTRACTOR SHALL TERMINATE ALL STORM DRAIN PIPES FIVE FEET MAXIMUM FROM BUILDING UNLESS OTHERWISE NOTED.
- STORM SEWER LEAD-INS TO BUILDING SHALL NOT BE INSTALLED UNTIL BUILDING PLANS ARE COMPLETED AND LOCATIONS ESTABLISHED ON THE ARCHITECTURAL PLANS. LEAD-INS MAY CHANGE 15' HORIZONTALLY AND 3' VERTICALLY PRIOR TO INSTALLATION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM PRIME CONTRACTOR PRIOR TO INSTALLATION OF LEAD-INS. CONTRACTOR SHALL COORDINATE, LOCATIONS, SIZE, AND INVERT ELEVATIONS OF STORM SEWERS WITH APPROVED BUILDING PLUMBING PLANS.
- ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
- BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION. OWNER MUST APPROVE STAKED ITEMS PRIOR TO CONSTRUCTION.
- TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO BEGINNING OF GRADING. CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES AND SHALL REMOVE SILT FROM BERM DITCHES, SILT DAMS, AND SILT FENCES AS NEEDED. INSPECT DEVICES WITH GENERAL CONTRACTOR AT LEAST ONCE A WEEK.
- CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS, (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS & CONSTRUCTION TO BE PERFORMED.
- CUT AND FILL SLOPES ARE NOT TO EXCEED 3:1 UNLESS OTHERWISE NOTED.
- IN NO CASE SHALL ANY PAVED AREAS BE LESS THAN A SLOPE OF 1.0%. ALL ACCESSIBLE SIDEWALKS AND AISLE SLOPES NOT TO EXCEED 2% CROSS-SLOPE.
- CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF HIS WORK.
- ALL LINEAR FOOTAGE FOR ALL UTILITY PIPES ARE APPROXIMATE. ACTUAL INSTALLED QUANTITIES MAY VARY.
- GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO BASE AND PAVING OPERATIONS COMMENCING.
- GRADING CONTRACTOR SHALL MAINTAIN ALL WEATHER CONSTRUCTION ACCESS ROADS AS REQUIRED BY GENERAL CONTRACTOR.

UTILITIES & GRADING LEGEND		
	EXISTING	PROPOSED
RIGHT-OF-WAY/PROPERTY LINE	---	---
WATER LINE		— W —
SANITARY SEWER / SEPTIC		— SS —
UTILITY POLE	⊗	
UNDERGROUND POWER LINE		— UGE —
UNDERGROUND TELEPHONE/DATA LINE		— UGT —
OVERHEAD ELECTRIC LINE	— E —	
NATURAL GAS LINE		— G —
CLEANOUT		— C —
FIRE HYDRANT		— H —
WATER VALVE		— V —
INDEX CONTOURS	— 40 —	— 40 —
1' INTERVALS	— 41 —	— 41 —
SPOT ELEVATION	40.50	40.50
STORM SEWER	— S —	— S —
CATCH BASIN	□	■

CIVIL ENGINEER

**BERRY**

ENGINEERS LLC

3555 KEITH ST NW, SUITE 109  
CLEVELAND, TN 37312

TEL: (423) 790-5880

CERTIFICATE OF AUTHORIZATION #00385

DEVELOPER:

PROJECT:

**MAJOR SITE PLAN**

**FAMILY DOLLAR STORE**

NE COUNTY RD 314  
MARION COUNTY, FL

NOON REAL ESTATE, LLC  
832 GEORGIA AVE, SUITE 355  
CHATTANOOGA, TN 37402  
423-206-2695

BENJAMIN M. BERRY

LICENSE  
No 76300

STATE OF  
FLORIDA

PROFESSIONAL ENGINEER

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PROFESSIONAL ENGINEER, LICENSE NO. 76300

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REVISIONS

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SHEET NAME:  
SITE GRADING &  
DRAINAGE PLAN

DATE: 04/23/2021

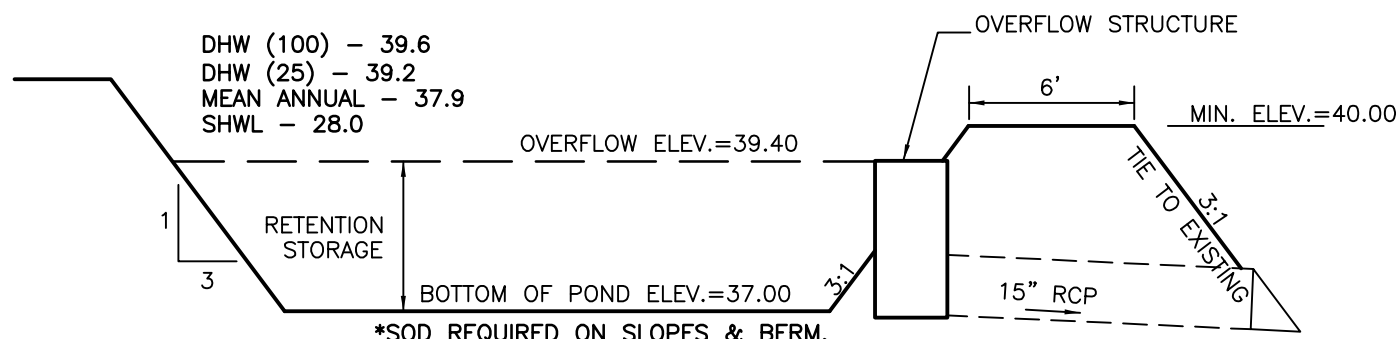
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SHEET NUMBER:  
**C-03.1**





43"x36" FOOT STEEL GRATE  
ELEV=39.40

12"

15" RCP

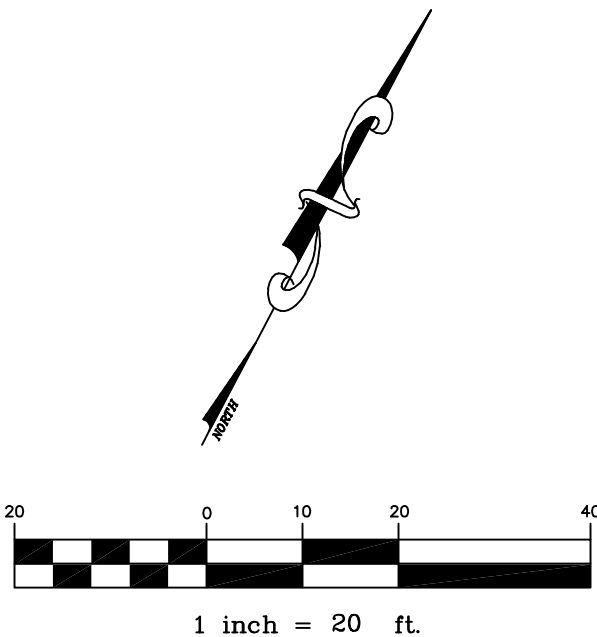
ELEV=38.20

8"

SIDE VIEW

Figure 1 shows a cross-section of a concrete wall with a rectangular opening. The wall has a total height of 12 inches. The opening is 6 inches high and 12 inches wide. The concrete has a thickness of 6 inches. The opening is filled with a material labeled 'F'. The wall is labeled 'W'.

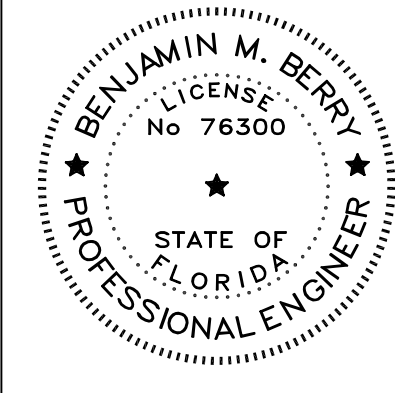
## OUTLET CONTROL STRUCTURE (AT DETENTION)



CIVIL ENGINEER:

DEVELOPER:

PROJECT: **MAJOR SITE PLAN**  
**FAMILY DOLLAR**  
**STORE**  
NE COUNTY RD 314  
MARION COUNTY, FL



BENJAMIN M. BERRY, STATE OF FLORIDA,  
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SHEET NAME:  
DETENTION BASIN  
PLAN

DATE: 04/23/2021

DRAWN BY: CMB

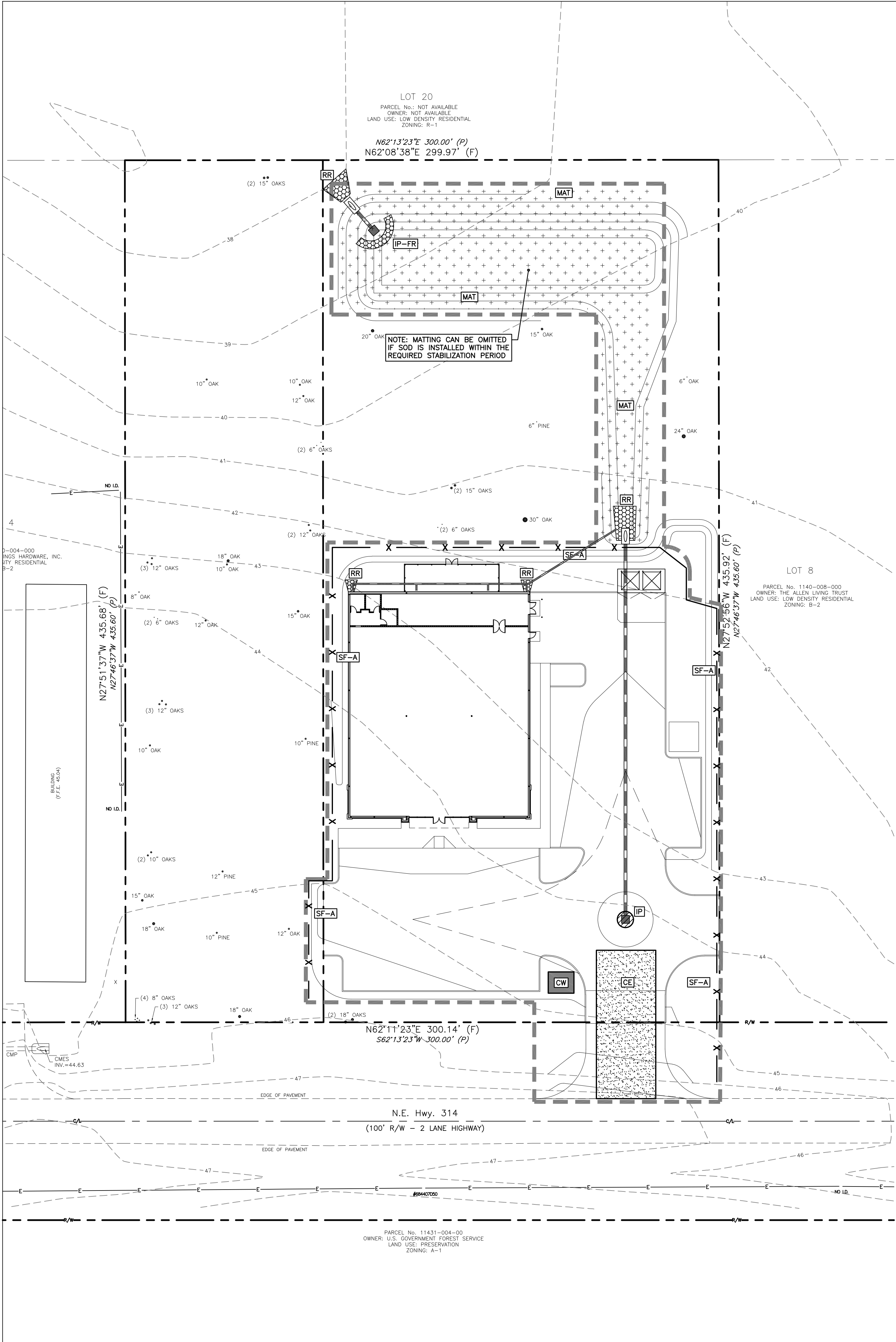
CHECKED BY: BMB

PROJECT NO.: 21015

SHEET NUMBER:

C-03.2





EROSION CONTROL NOTES

1. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES.
2. TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED, AND REDISTRIBUTED OVER ALL GRADED AREAS TO A MINIMUM OF 4". ALL AREAS NOT COVERED BY BUILDINGS OR PAVING TO RECEIVE TOPSOIL.
3. ALL GRADED AREAS INCLUDING SLOPES ARE TO BE STABILIZED WITHIN 14 DAYS AFTER GRADING IS COMPLETED. COORDINATE WITH LANDSCAPING DRAWINGS AS TO TYPE OF PERMANENT GROUND COVER TO BE USED. AT A MINIMUM, ALL DISTURBED AREAS ARE TO BE SEEDED AND MULCHED.
4. CUT AND FILL SLOPES ARE NOT TO EXCEED 3:1 UNLESS OTHERWISE NOTED.
5. CONSTRUCT EROSION CONTROL DEVICES AS SHOWN AND WHERE DESIGNATED BY THE ENGINEER.
6. ALL NEW STRUCTURES AND EXISTING STRUCTURES SHALL HAVE ALL SEDIMENT CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS NECESSARY TO BE EFFECTIVE.
7. ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS NECESSARY TO BE EFFECTIVE.
8. WHEN THE TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE THEY SHALL BE REMOVED.
9. SILT FENCES ARE TO BE REPLACED WHEN EFFECTIVENESS IS SIGNIFICANTLY REDUCED, OR AS DIRECTED.
10. EROSION CONTROL MEASURES SHALL MEET OR EXCEED MINIMUM CRITERIA, STANDARDS AND SPECIFICATIONS SET BY MARION COUNTY.
11. CONTRACTOR SHALL ENSURE THAT ANY EROSION CONTROL MEASURES DO NOT CAUSE WATER TO ENTER ONTO ROADWAY.
12. CONTRACTOR IS RESPONSIBLE TO PERFORM ALL REQUIRED INSPECTIONS AND TO SUBMIT ALL REQUIRED DOCUMENTATION TO THE LOCAL AUTHORITY.
13. TOPSOIL MATERIAL AND SEEDING
  - A. TOPSOIL MATERIAL HAS BEEN SAVED FOR USE IN FINISH GRADING. AFTER SIFTING OUT ALL PLANT GROWTH, RUBBISH, AND STONES, USE FOR AREAS DESIGNATED TO RECEIVE GRASS. IF STOCKPILED TOPSOIL IS NOT SUFFICIENT QUANTITY TO COMPLETE WORK, FURNISH ACCEPTABLE TOPSOIL FOR GRASS AREAS UNLESS NOTED OTHERWISE ON THE DRAWINGS. GRASS AREAS SHALL BE DEFINED AS THAT GRADED AREA DISTURBED DURING CONSTRUCTION NOT TO BE PAVED OR BUILT UPON.
  - B. ACCEPTABLE TOPSOIL MATERIAL SHALL BE DEFINED AS NATURAL FERTILE, AGRICULTURAL SOIL, CAPABLE FOR SUSTAINING VIGOROUS PLANT GROWTH, UNIFORM COMPOSITION THROUGHOUT, WITHOUT ADMIXTURE OF SUBSOIL, FREE OF STONES, LUMPS, PLANTS AND THEIR ROOTS, STICKS, OR OTHER EXTRANEEOUS MATTER, DO NOT DELIVER WHILE IN A FROZEN OR MUDDY CONDITION.
  - C. GRASS SEED SHALL BE OF THE PREVIOUS SEASON'S CROP AND THE DATE OF ANALYSIS SHOWN ON EACH BAG FOR TESTING. GRADING CONTRACTOR SHALL HIRE A QUALIFIED LANDSCAPE CONTRACTOR TO PREP FOR AND PERFORM ALL PERMANENT SEEDING.
  - D. THE SEED SHALL COMPLY WITH ALL PROVISIONS OF THE U.S. DEPARTMENT OF AGRICULTURE AS TO LABELING, PURITY, AND GERMINATION.
  - E. PERMANENT STAND OF GRASS SHALL BE ESTABLISHED 30 DAYS PRIOR TO GRAND OPENING. ALL WATERING, MAINTENANCE, MOWING, ETC. SHALL BE PERFORMED BY THE SITE CONTRACTOR WITH ACCEPTANCE BY OWNER.
14. SEE SHEET C-07 FOR ADDITIONAL DETAILS ON EROSION AND SEDIMENT CONTROL.

EROSION CONTROL LEGEND		
<b>CE</b>	TEMPORARY GRAVEL CONSTRUCTION EXIT	
<b>SF-A</b>	SILT FENCE (TYPE A, NON-WIRE BACKED)	
<b>SF-C</b>	(TYPE C, WIRE BACKED)	
<b>RR</b>	RIP RAP (6"Ø PERMANENT)	
<b>MAT</b>	EROSION CONTROL MATTING	
<b>CW</b>	CONCRETE TRUCK WASH OUT AREA	
<b>IP-FR</b>	INLET PROTECTION (FILTER RING)	
LIMITS OF DISTURBANCE (1.5± ACRES)		

CIVIL ENGINEER:

**BERRY ENGINEERS LLC**

3555 KEITH ST. NW, SUITE 109  
CLEVELAND, TN 37312

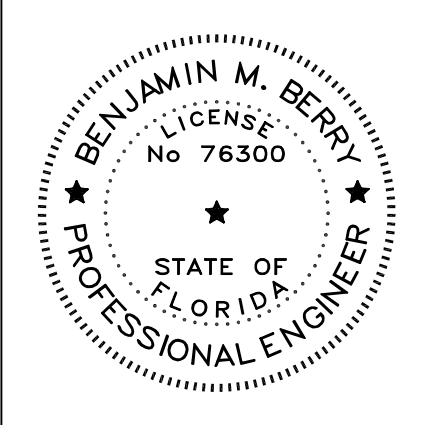
TEL: (423) 790-5880  
CERTIFICATE OF AUTHORIZATION #00385

DEVELOPER:

**NOON REAL ESTATE, LLC**  
832 GEORGIA AVE, SUITE 355  
CHATTANOOGA, TN 37402  
423-206-2695

PROJECT:

**MAJOR SITE PLAN**  
**FAMILY DOLLAR STORE**  
NE COUNTY RD 314  
MARION COUNTY, FL



BENJAMIN M. BERRY, STATE OF FLORIDA,  
PROFESSIONAL ENGINEER, LICENSE NO. 76300

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SHEET NAME:  
**EROSION CONTROL PLAN**

DATE: 04/23/2021

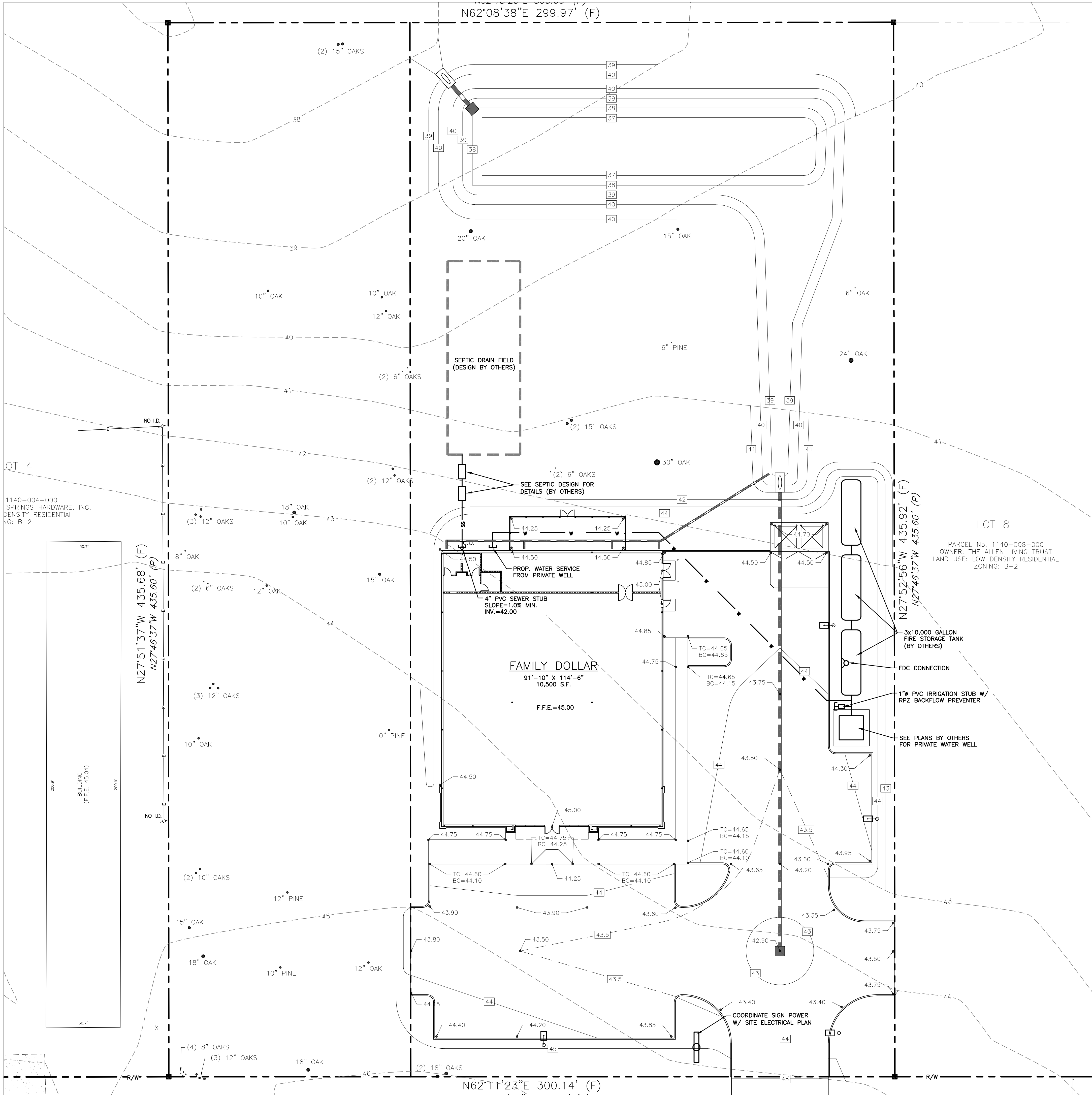
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PROJECT NO.: 21015

SHEET NUMBER:  
**C-04**

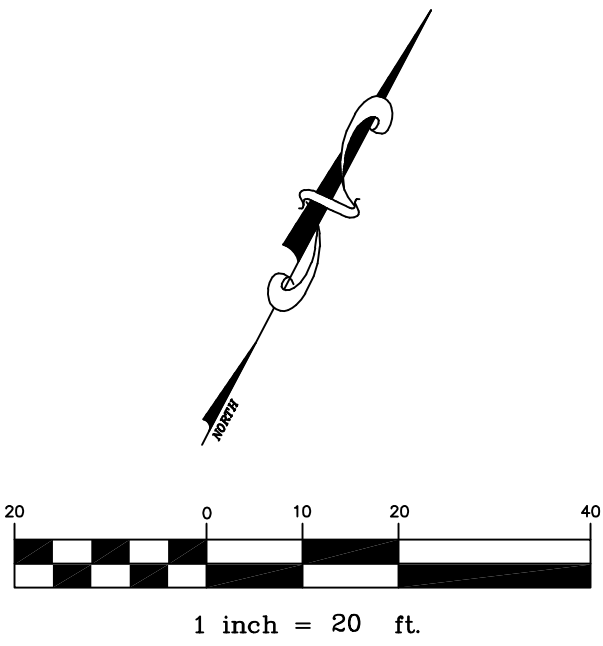




SITE UTILITY NOTES

1. THE SITE UTILITY PLAN IS FOR SANITARY SEWER AND WATER LINE CONSTRUCTION ONLY. DO NOT USE FOR GRADING OR STORM SEWER CONSTRUCTION.
2. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
3. ALL DOMESTIC WATER AND SANITARY SEWER STUBS TO BE TERMINATED 5 FEET OUTSIDE OF THE BUILDING UNLESS OTHERWISE NOTED. THE END OF THESE SERVICE LINES SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED UNTIL SUCH TIME AS CONNECTION IS MADE INSIDE BUILDING BY PLUMBING CONTRACTOR.
4. SITE UTILITY CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE AND FITTINGS SHALL BE INSPECTED BY THE WATER DEPARTMENT INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING PRESSURE TESTING AND DISINFECTION OF LATERALS AND HIS SIGNATURE OF APPROVAL IS REQUIRED.
5. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY, AND MARION COUNTY.
6. THE SITE UTILITY CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE LOCAL UTILITY AUTHORITIES FOR CONNECTION TO THE EXISTING MAINS AND PAY ALL APPLICABLE FEES.
7. ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 36" ABOVE TOP OF PIPE.
8. CONTRACTOR SHALL ADJUST LOCATION OF PROPOSED WATER LINES AS REQUIRED TO AVOID CONFLICTS WITH STORM SEWER OR OTHER UTILITIES AT NO EXTRA COST.
9. BASED ON THE CURRENT EDITION OF THE INTERNATIONAL PLUMBING CODE, CLEANOUTS ARE REQUIRED AT A MAXIMUM SPACING OF 100 FEET ON UTILITY LEAD-INS TO BUILDING. CONTRACTOR TO PROVIDE A CLEANOUT WITHIN 5 FEET OF BUILDING AND AT ALL BENDS.
10. THE SITE UTILITY CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS ON THE SITE.
11. ALL MATERIALS SHALL BE U.L. LISTED AND APPROVED BY THE LOCAL UTILITY COMPANY UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
12. THE EXISTING UTILITY FACILITIES AND LOCATIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM READILY AVAILABLE INFORMATION. THE ACTUAL LOCATIONS OF THE UTILITY FACILITIES MAY VARY SOMEWHAT FROM THE LOCATIONS SHOWN OR INDICATED ON THE DRAWINGS. THE SITE UTILITY CONTRACTOR SHALL CONTACT ALL AGENCIES WITH UTILITY FACILITIES IN THE VICINITY OF THE WORK AND SHALL LOCATE ALL UNDERGROUND FACILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL PROTECT ALL UTILITY FACILITIES AND REPAIR ANY DAMAGES RESULTING FROM THEIR WORK, IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS AND RELOCATE IF REQUIRED.
13. ALL PVC WATER LINES SHALL MEET AWWA C900 SPECIFICATIONS WITH GASKET JOINTS MEETING ASTM F477 AND ASTM D3139. PVC WATER LINES OVER 4" SHALL BE PRESSURE CLASS DR 25 (165 PSI). FIRE LINES TO BUILDINGS SHALL BE PRESSURE CLASS DR 18 (235 PSI). PVC WATER LINES 4" OR LESS SHALL BE SDR-21 OR SDR-26 MEETING ASTM D-2241. POLYETHYLENE (PE) PLASTIC PIPE OR TUBING MAY BE USED FOR 2" OR LESS SERVICE LINES. PE PIPE OR TUBING SHALL MEET AWWA C901 SPECIFICATIONS AND ASTM D2239 OR ASTM D2737.
14. ALL SANITARY SEWER PIPE SHALL BE SDR 35 MEETING ASTM D3034 WITH GASKET TYPE JOINTS MEETING ASTM F477.
15. UTILITY LEAD-INS TO BUILDING SHALL NOT BE INSTALLED UNTIL BUILDING PLANS ARE COMPLETED AND LOCATIONS ESTABLISHED ON THE ARCHITECTURAL PLUMBING PLANS. LEAD-INS MAY CHANGE 15' HORIZONTALLY AND 3' VERTICALLY PRIOR TO INSTALLATIONS AT NO ADDITIONAL COST TO THE OWNER. UTILITY CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM PRIME CONTRACTOR PRIOR TO INSTALLATION OF LEAD-INS. LOCATION, SIZE, AND INVERT ELEVATIONS OF SANITARY SEWER SHALL BE COORDINATED WITH THE APPROVED PLUMBING PLANS FOR THE BUILDING.
16. BUILDING PLUMBING CONTRACTOR SHALL PAY ALL COST FOR WATER METERS, METER BOXES, VALVES, ETC. TO PROVIDE A COMPLETE JOB PER LOCAL AUTHORITY REQUIREMENTS.
17. THRUST BLOCKS SHALL BE PROVIDED AT ALL TEES, ELBOWS, AND BENDS OF SUFFICIENT SIZE TO COMPLY WITH MINIMUM STANDARDS OF N.F.P.A. - EXISTING SOIL CONDITIONS.
18. SHOULD LATENT SOIL CONDITIONS NECESSITATE, CONTRACTOR SHALL INSTALL SPECIAL SUPPORTS FOR PIPING AND/OR APPURTENANCES INCLUDING THE REMOVAL OF UNSUITABLE MATERIAL AND BACKFILLING WITH GRAVEL OR OTHER MATERIAL. CONTRACTOR SHALL PERFORM ANY SUCH WORK AS DIRECTED BY THE CIVIL ENGINEER AND/OR SOILS ENGINEER AT NO COST TO OWNER.
19. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PREPARED.
20. THE SITE UTILITY CONTRACTOR SHALL COORDINATE AND PAY FOR ALL SANITARY SEWER CONNECTIONS. SANITARY SEWER CONNECTION FINAL TIE-IN TO THE EXISTING MANHOLE(S) SHALL NOT BE MADE UNTIL COMPLETION OF THE PROPOSED SYSTEM AND ALL MANHOLES HAVE BEEN BROUGHT ABOVE GROUND TO INSURE SEDIMENT DOES NOT ENTER SYSTEM. LINES SHALL BE PROPERLY CLEANED, IF NEEDED.
21. CONNECTIONS TO EXISTING WATER LINE MAY BE PERFORMED BY THE CONTRACTOR. THE SITE UTILITY CONTRACTOR SHALL VERIFY REQUIREMENTS AND PAY ALL COSTS.
22. SITE UTILITY CONTRACTOR TO COORD. WITH IRRIGATION CONTRACTOR TO PROVIDE POWER IN CONDUIT TO IRRIGATION CONTROLLER PER MANUFACTURERS RECOMMENDATIONS. VERIFY EXACT LOCATION OF CONTROLLER W/ OWNER PRIOR TO INSTALLATION.
23. SEE SHEET C-08 ADDITIONAL UTILITY DETAILS.

UTILITIES & GRADING LEGEND		
	EXISTING	PROPOSED
RIGHT-OF-WAY/PROPERTY LINE	---	---
WATER LINE		W
SANITARY SEWER / SEPTIC		SS
UTILITY POLE	⊙	
UNDERGROUND POWER LINE		UGP
UNDERGROUND TELEPHONE/DATA LINE		UGT
OVERHEAD ELECTRIC LINE	E	
NATURAL GAS LINE		
CLEANOUT		⊕
FIRE HYDRANT		
WATER VALVE		
INDEX CONTOURS	40	40
1' INTERVALS	41	41
SPOT ELEVATION	40.50	40.50
STORM SEWER		
CATCH BASIN		



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TEL: (423) 790-5880

CERTIFICATE OF AUTHORIZATION #00385

DEVELOPER:

**NOON REAL ESTATE, LLC**  
832 GEORGIA AVE, SUITE 355  
CHATTANOOGA, TN 37402

423-206-2695

PROJECT:

**MAJOR SITE PLAN**  
**FAMILY DOLLAR**  
**STORE**

NE COUNTY RD 314  
MARION COUNTY, FL

BENJAMIN M. BERRY  
LICENSE  
No 76300  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

BENJAMIN M. BERRY, STATE OF FLORIDA,  
PROFESSIONAL ENGINEER, LICENSE NO. 76300

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REVISIONS		
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SHEET NAME:  
SITE UTILITY PLAN

DATE: 04/23/2021

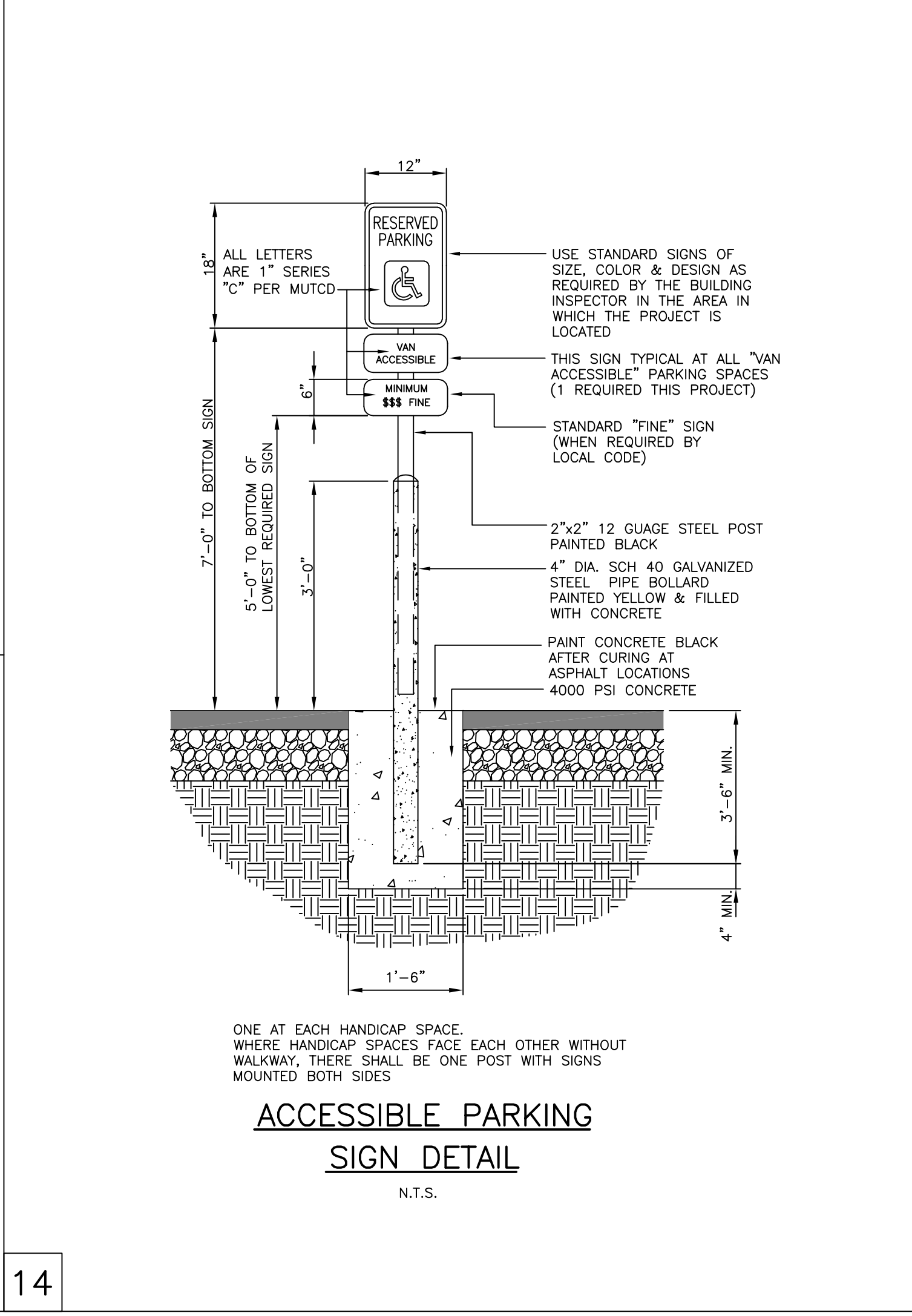
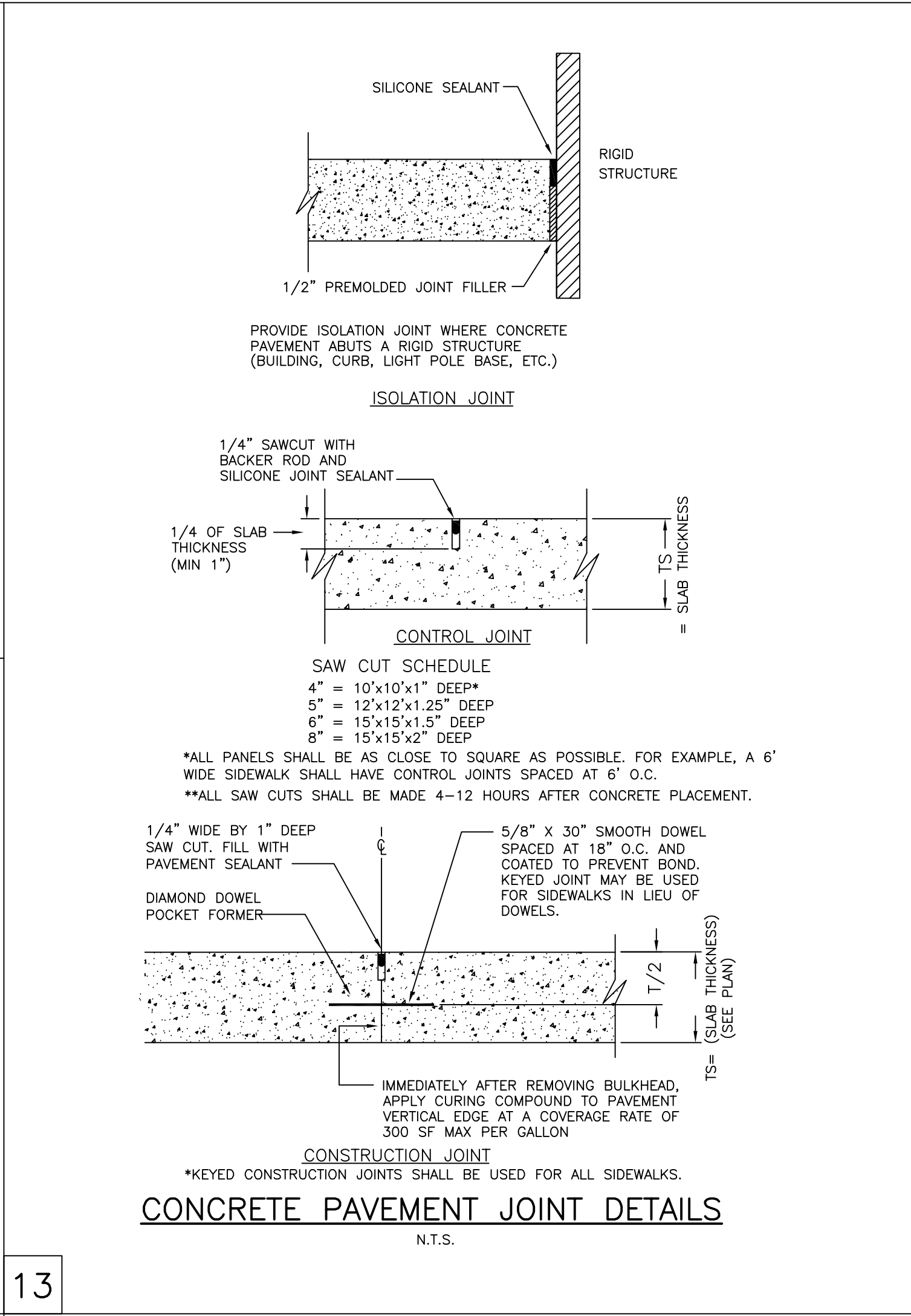
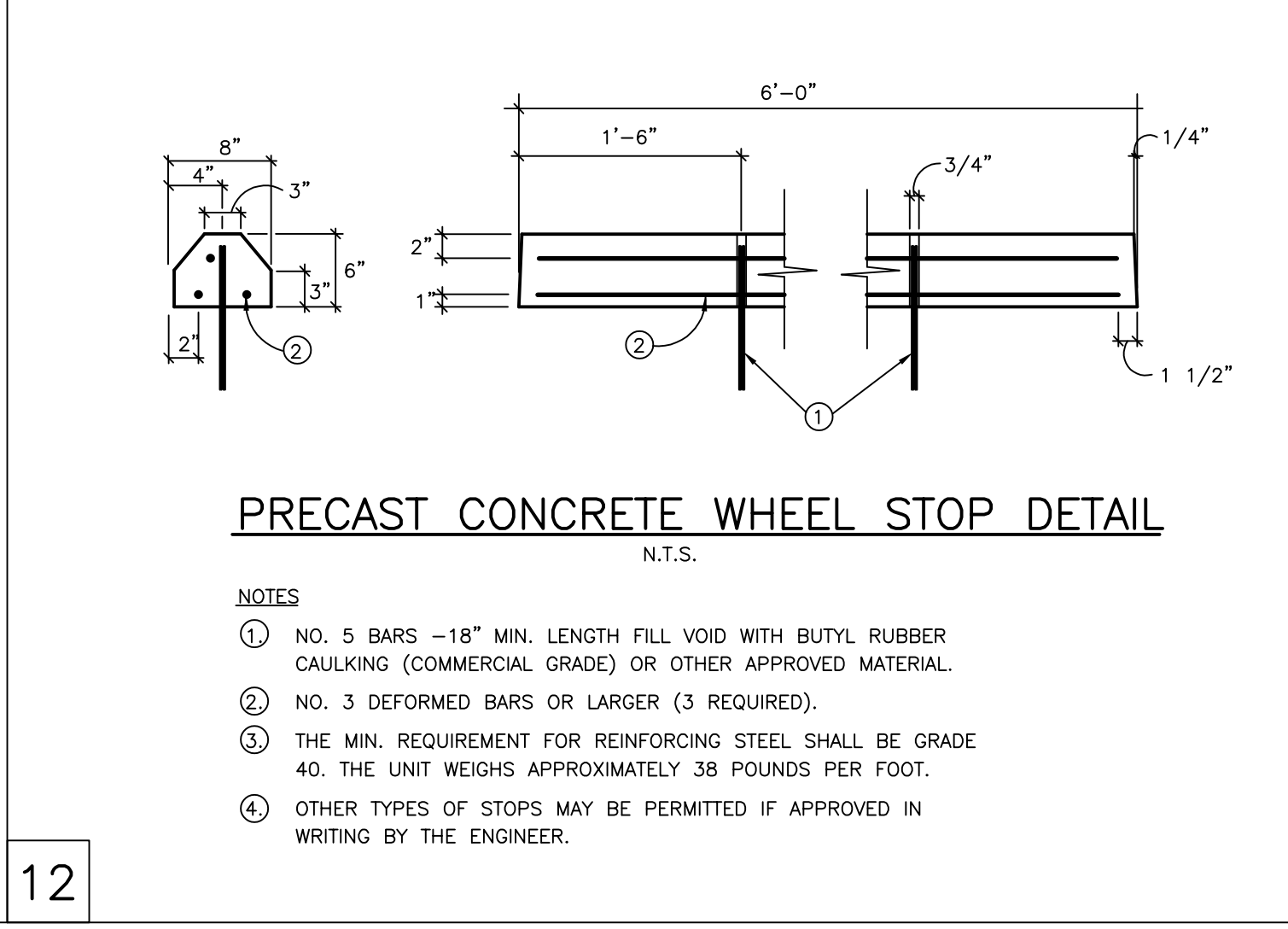
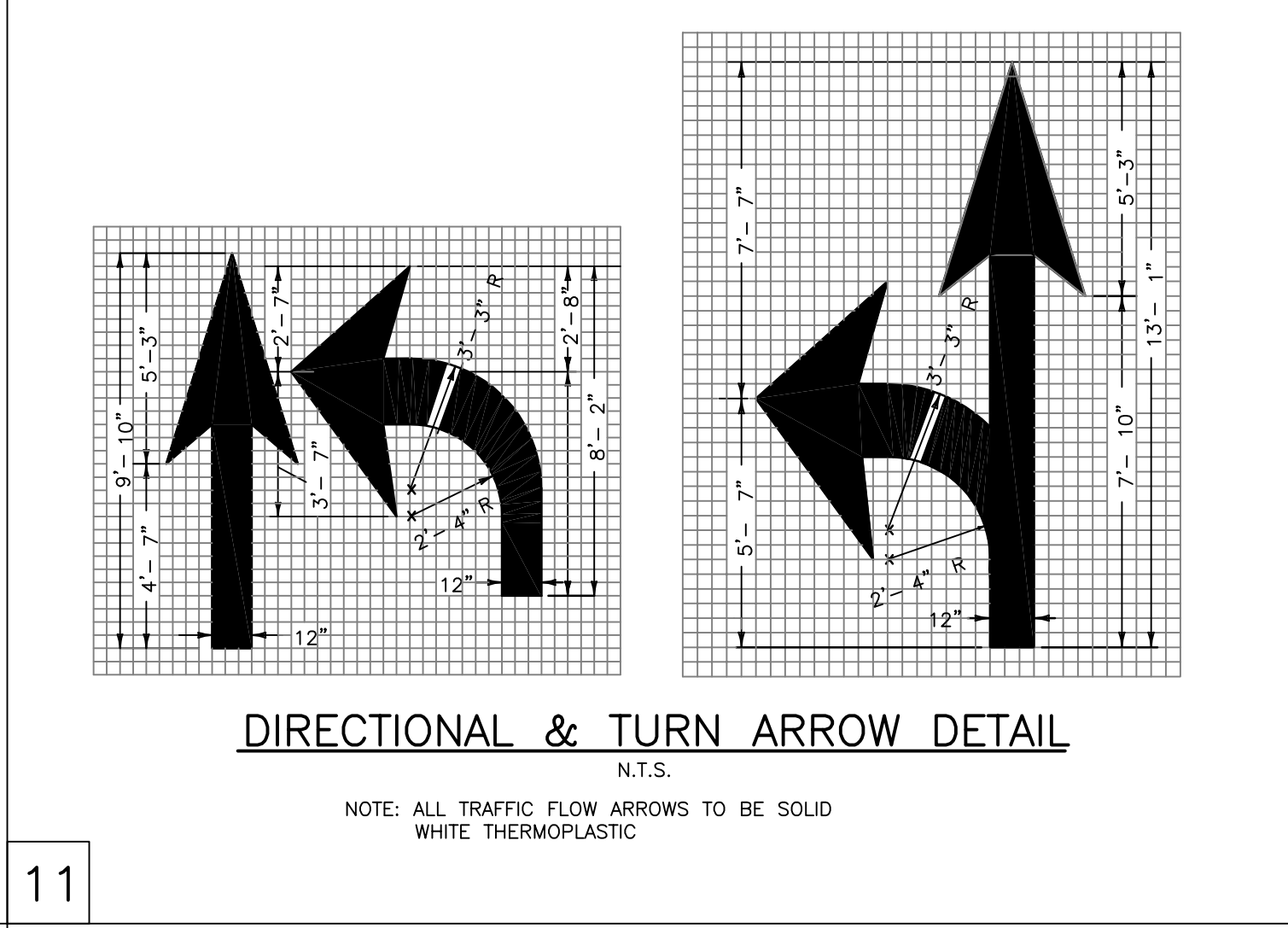
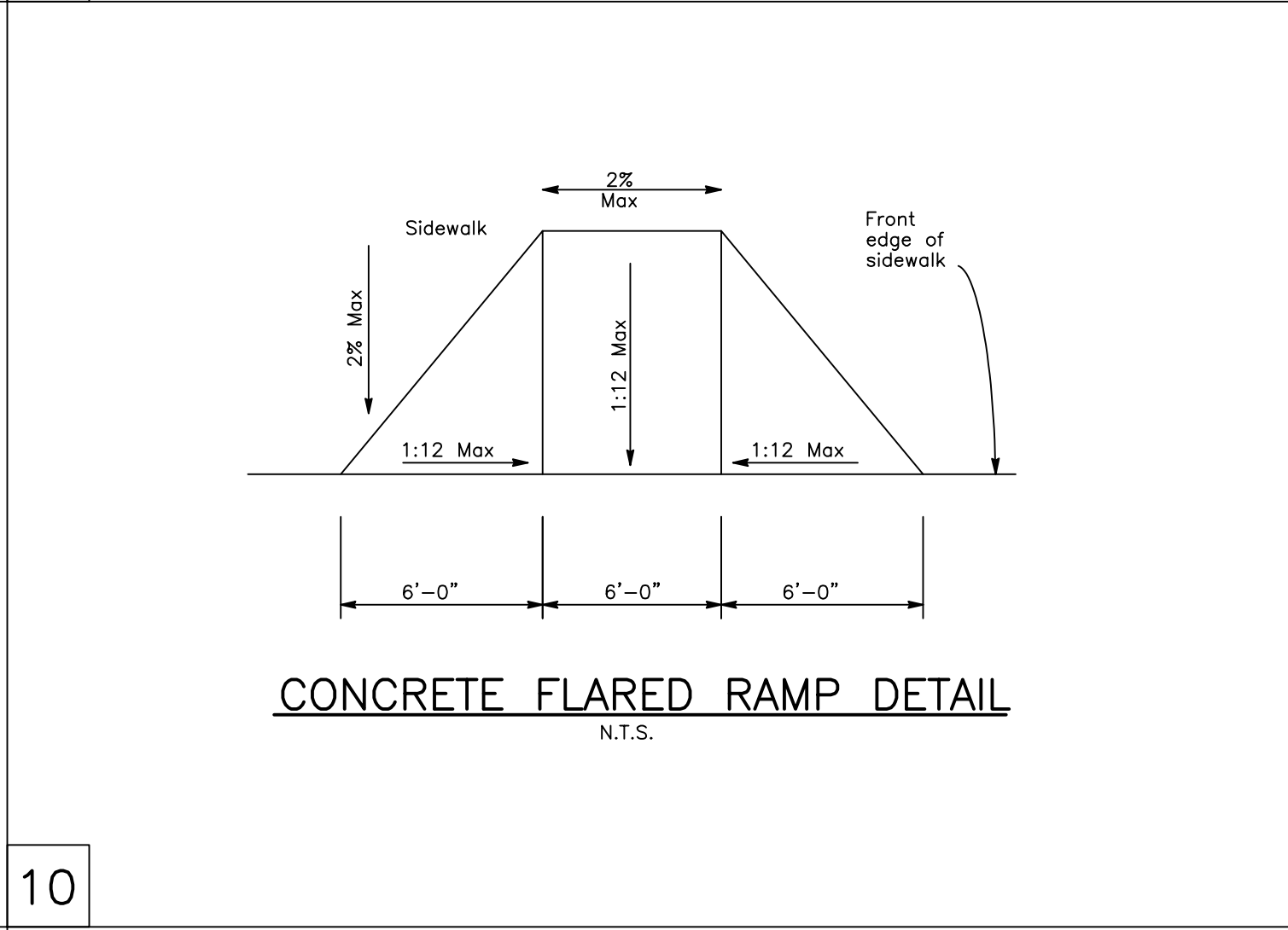
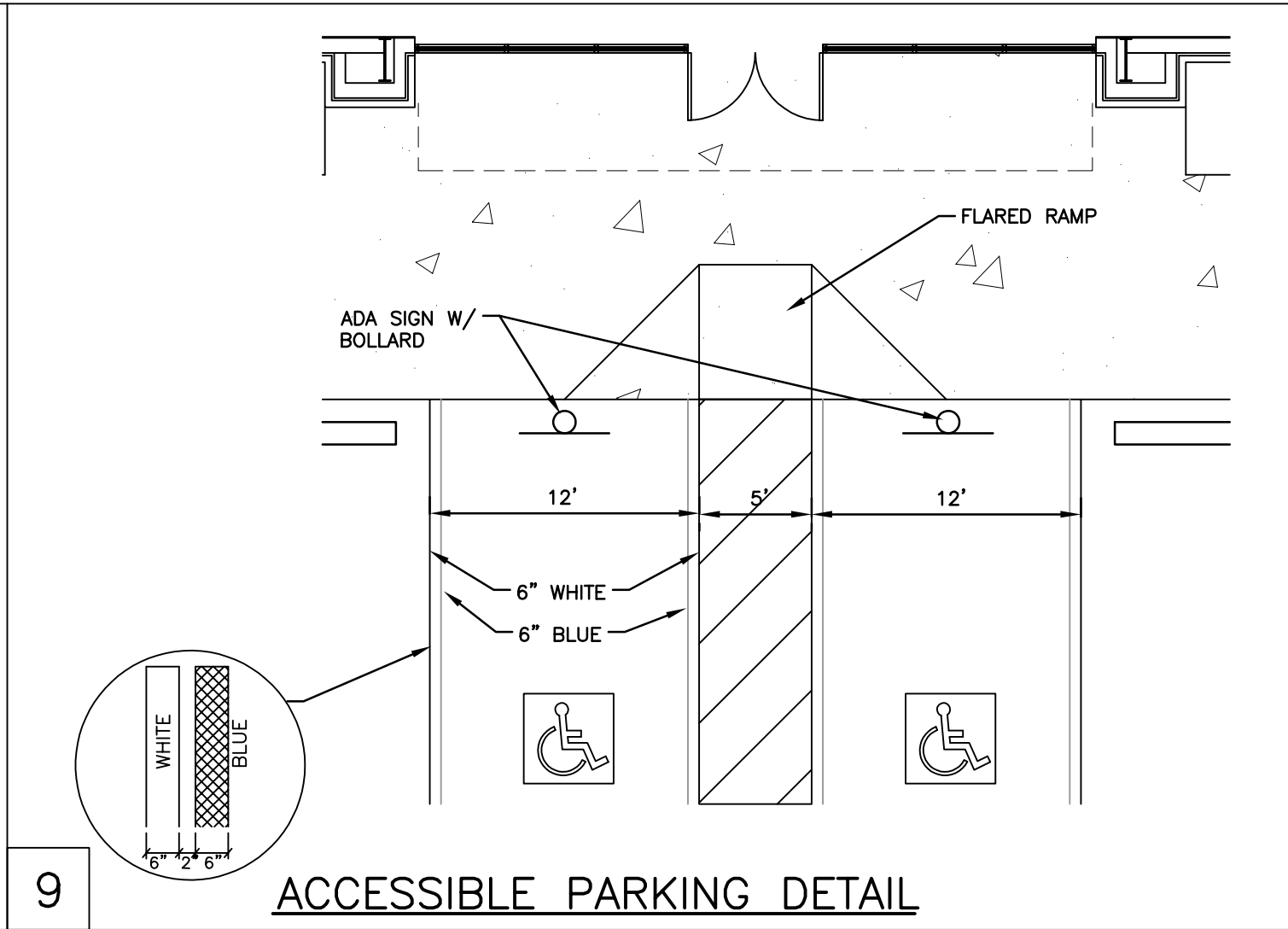
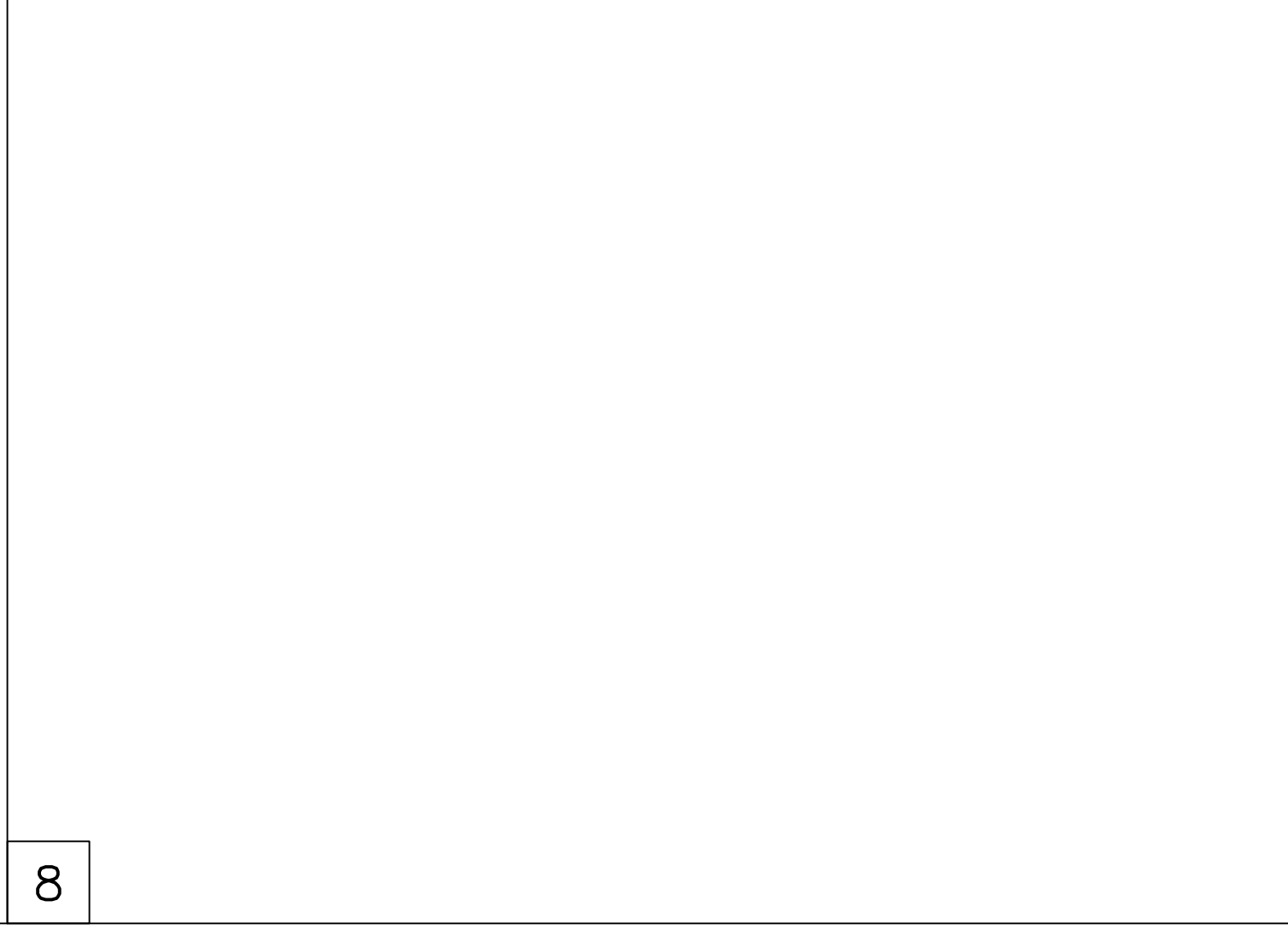
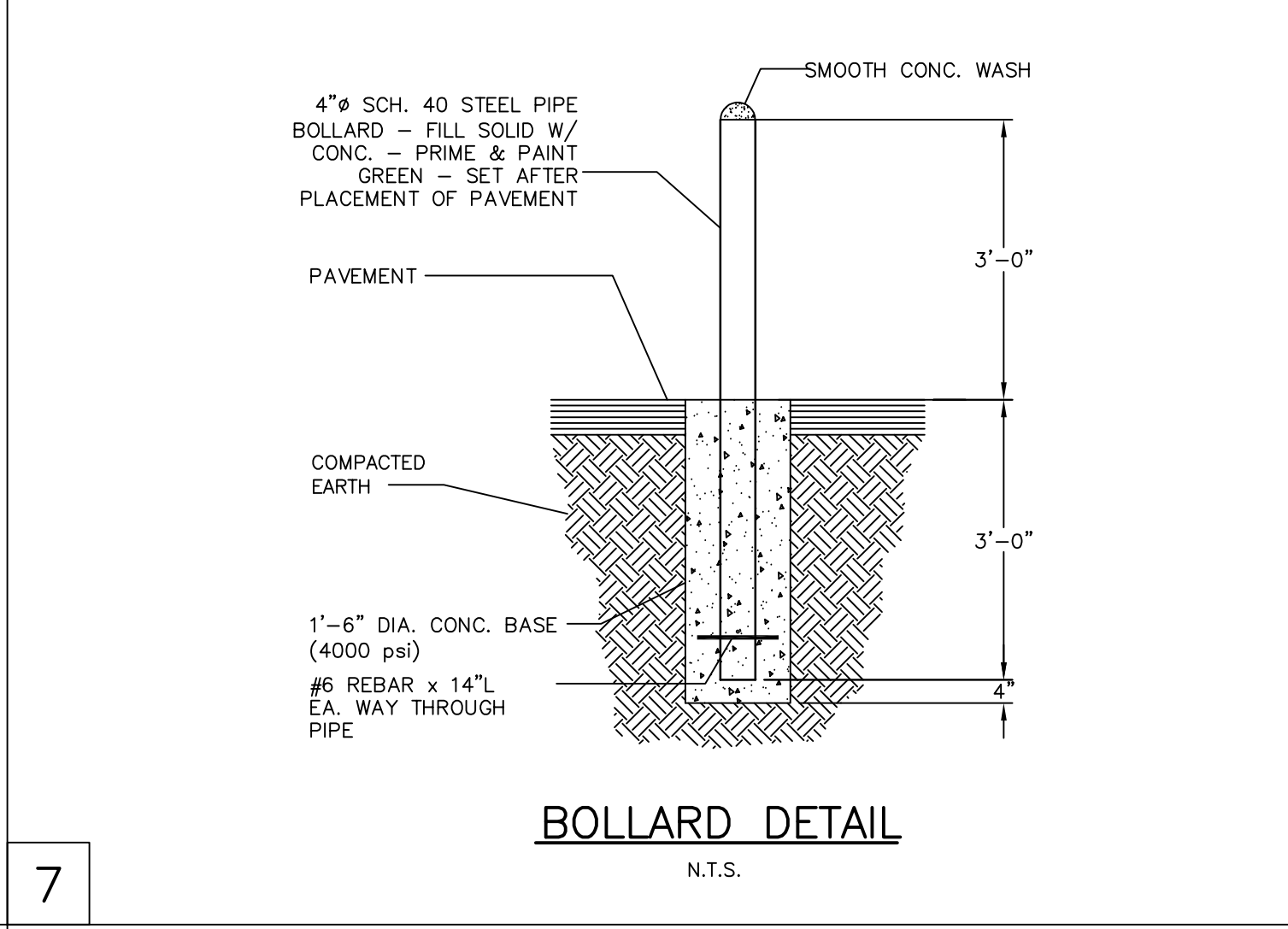
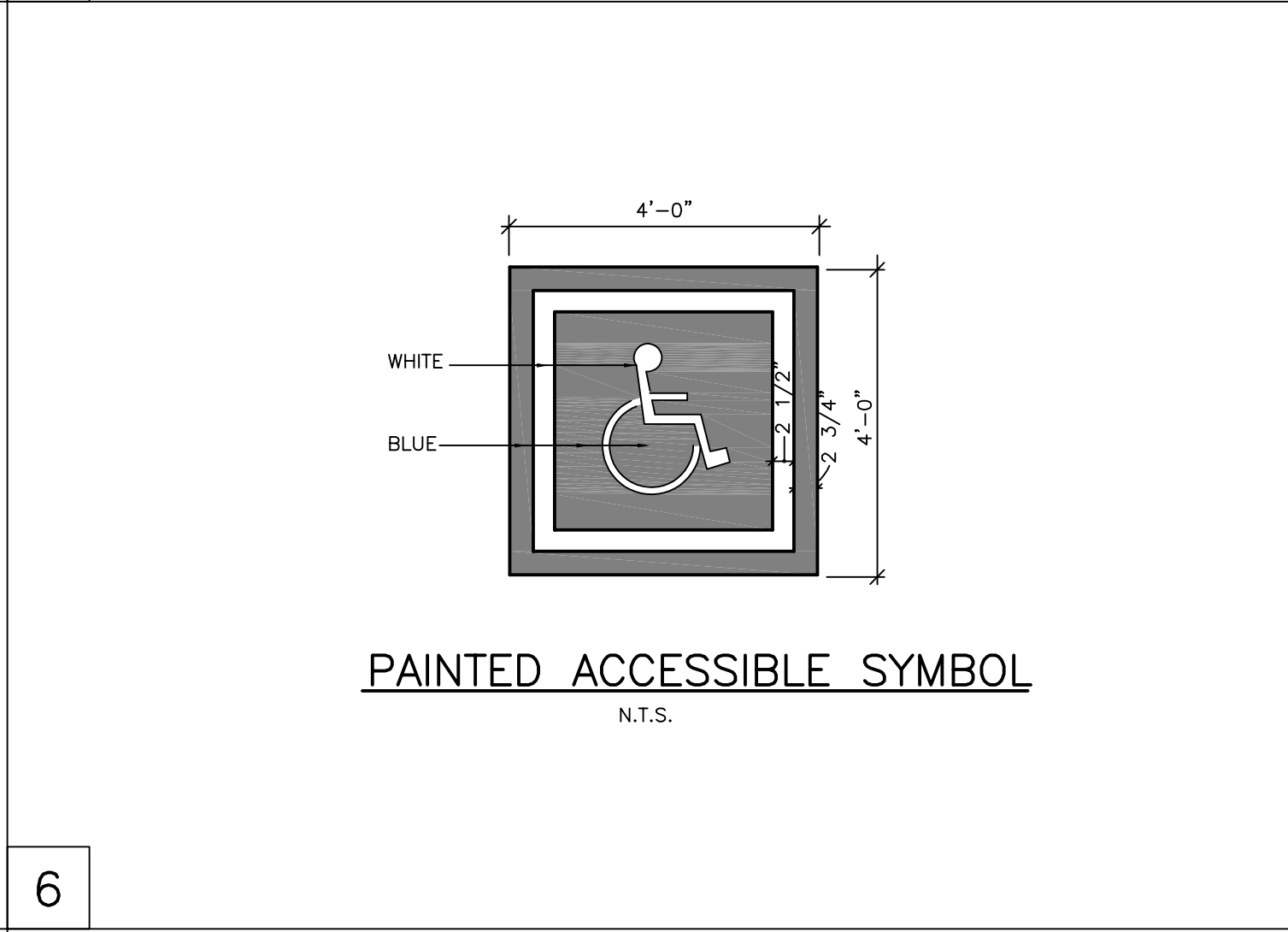
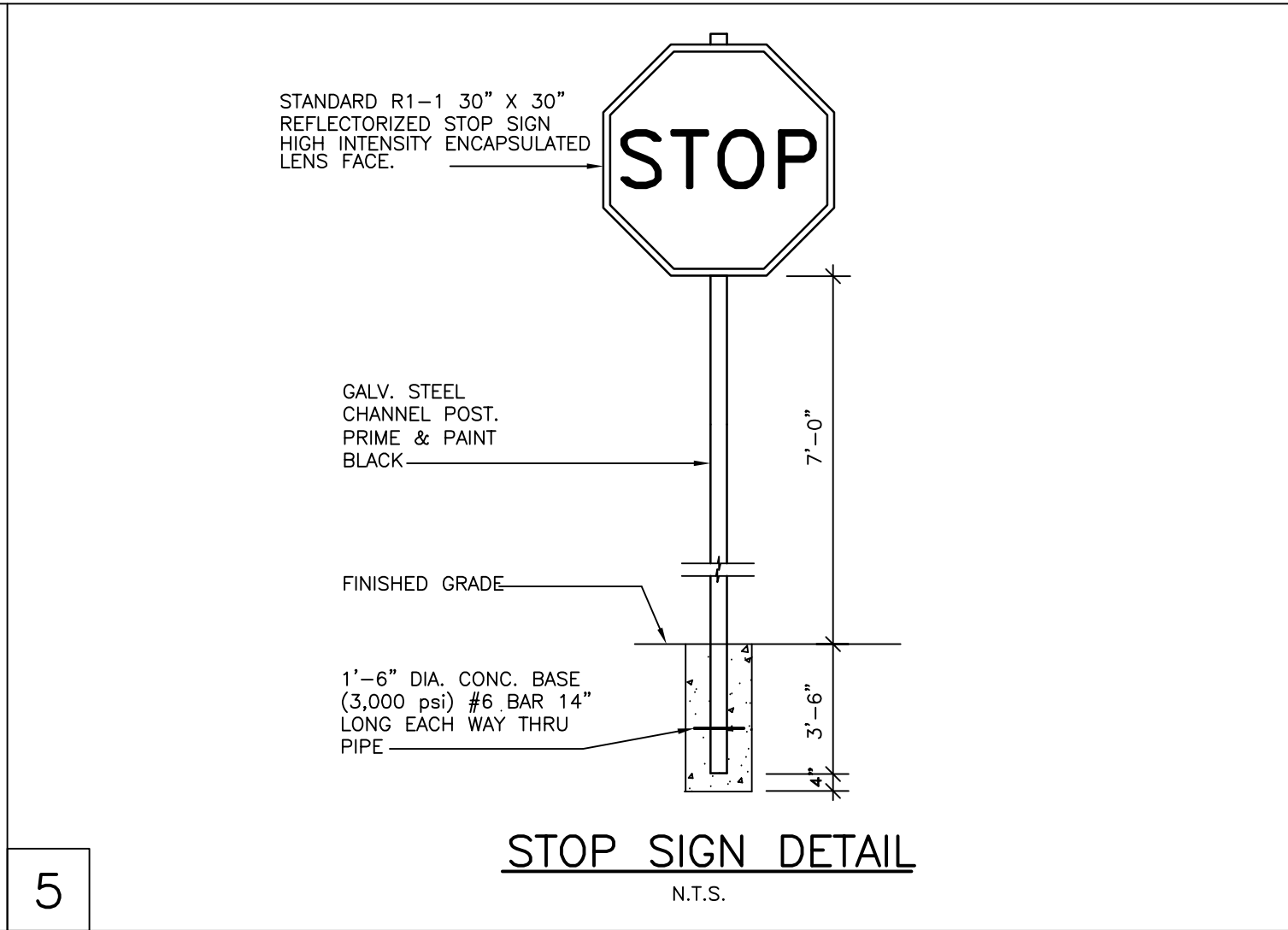
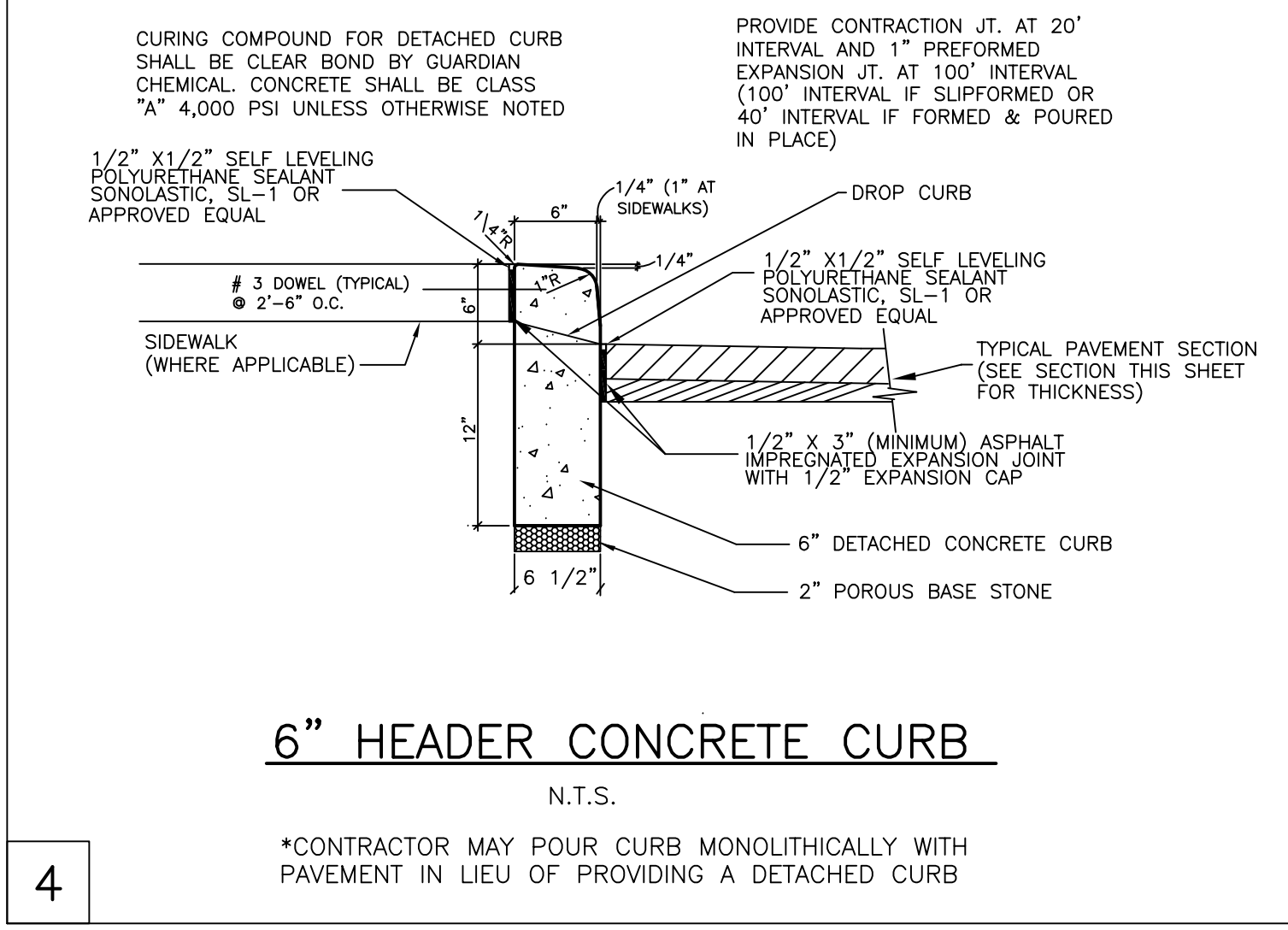
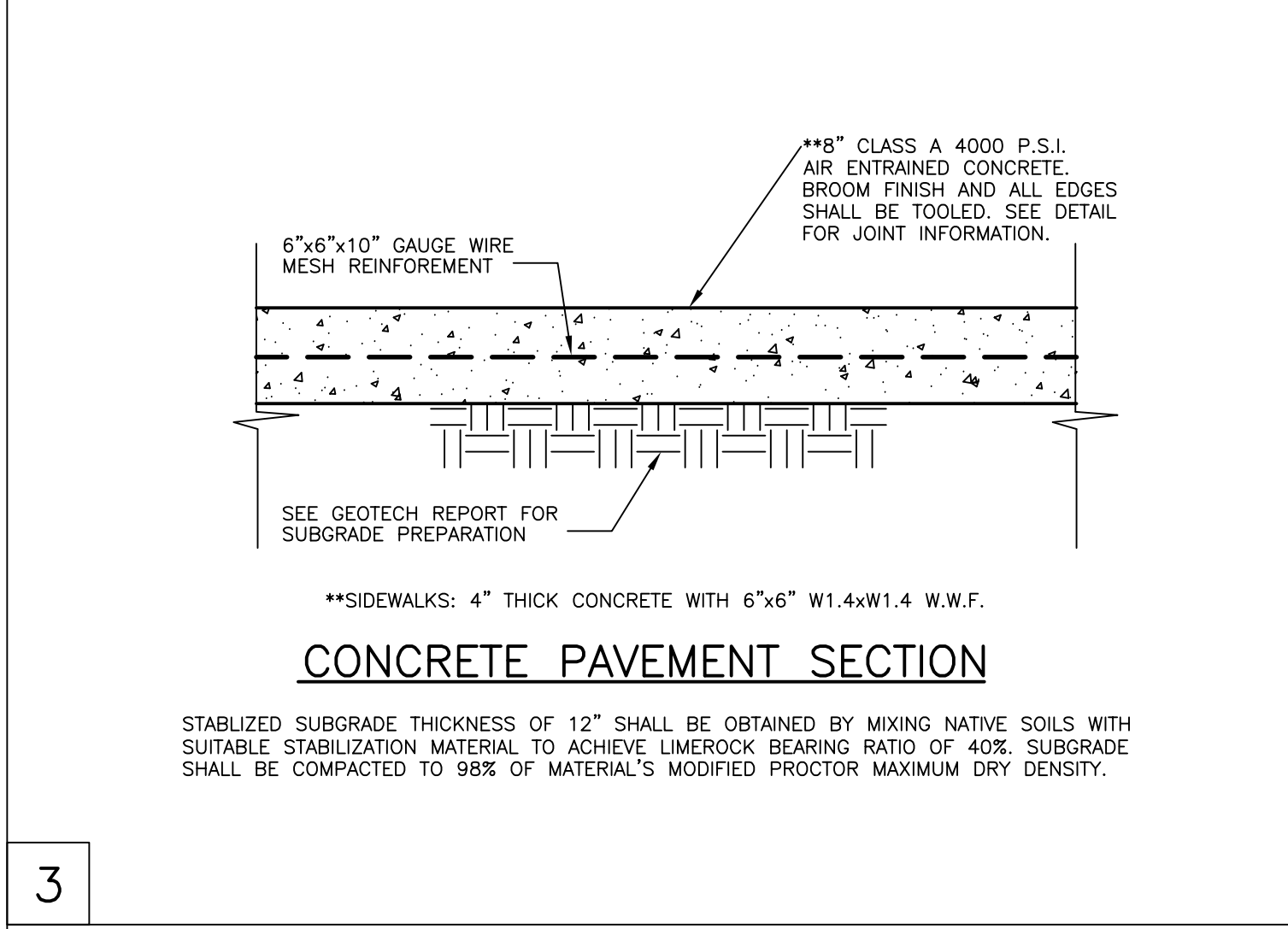
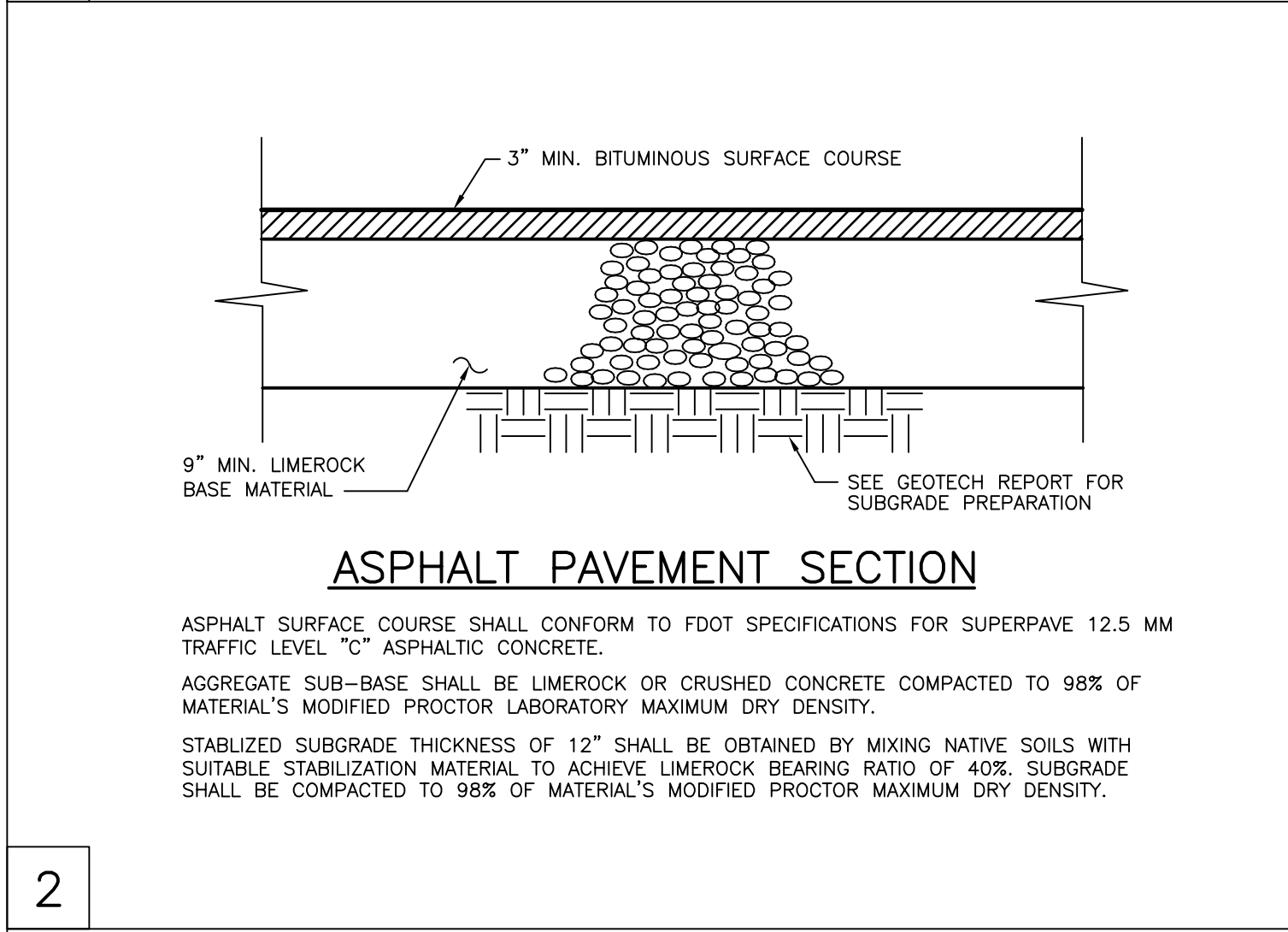
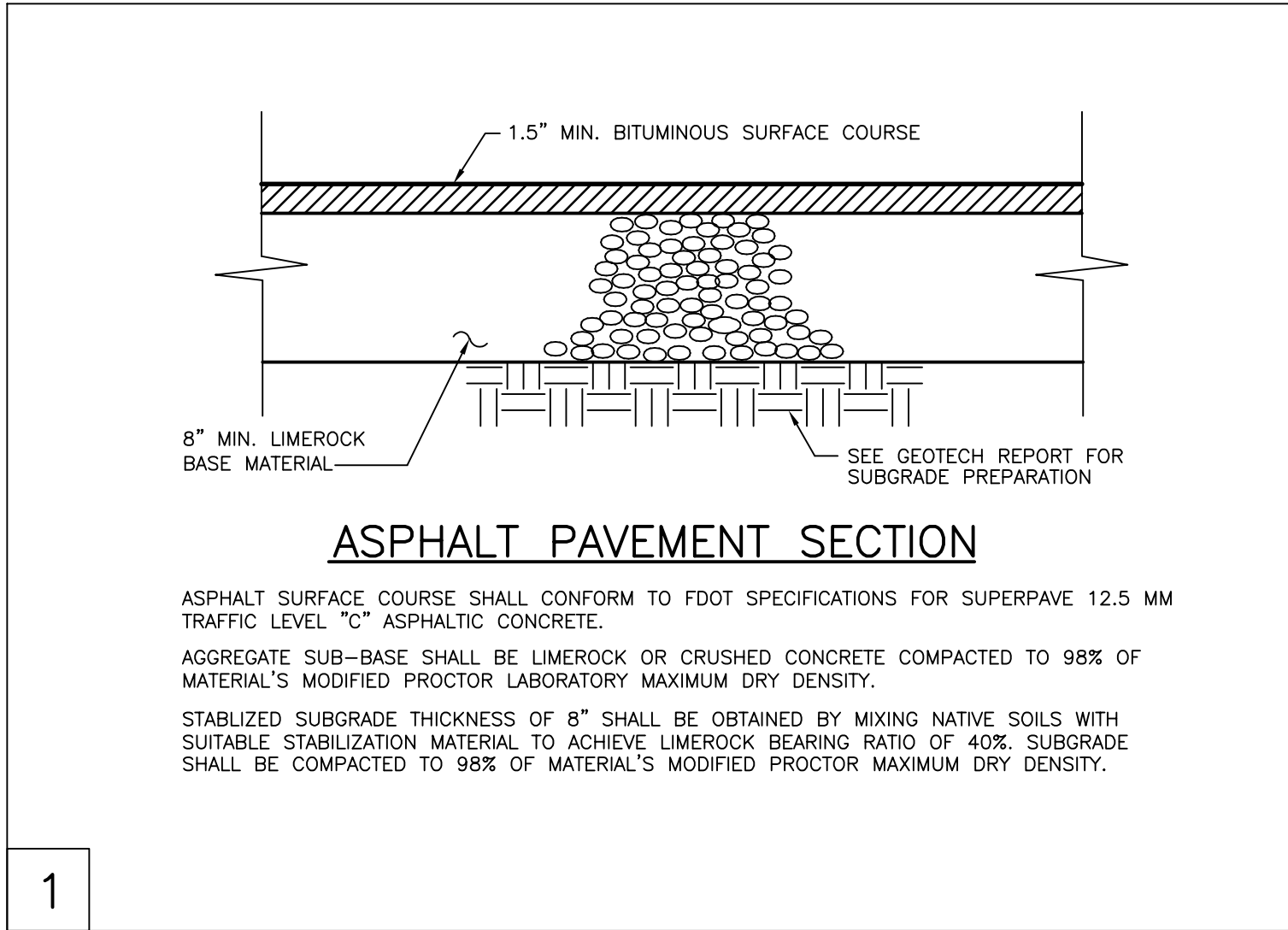
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CHECKED BY: BMB

PROJECT NO.: 21015

SHEET NUMBER:  
**C-05**





CIVIL ENGINEER

**BERRY**

ENGINEERS LLC

3555 KEITH ST. NW, SUITE 109  
CLEVELAND, TN 37312

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CERTIFICATE OF AUTHORIZATION #00385

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SHEET NAME:  
SITE DETAILS

DATE: 04/23/2021

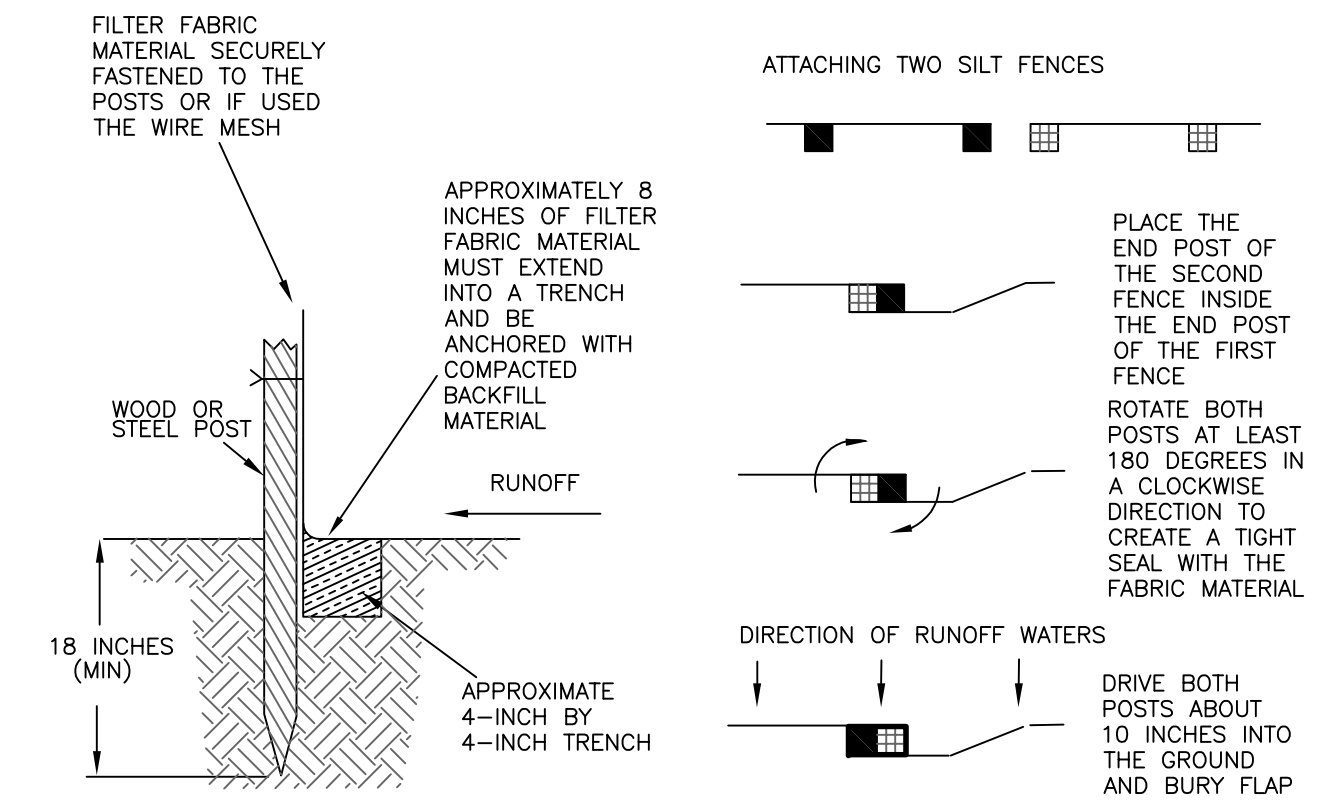
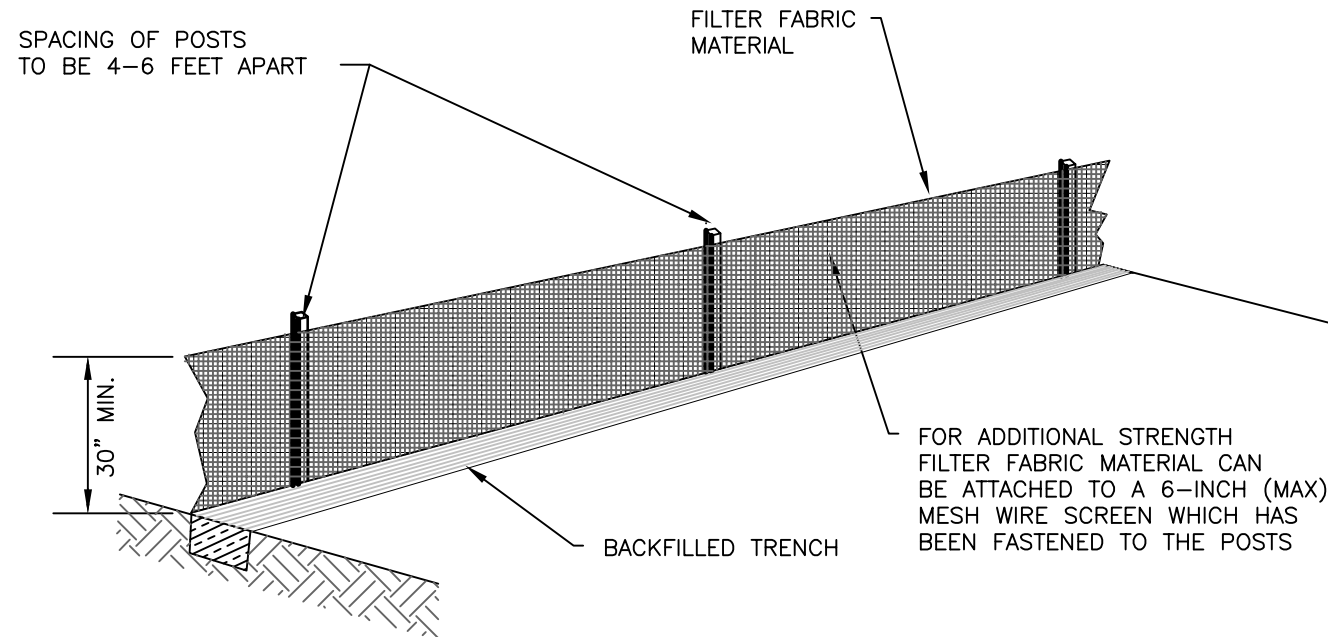
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PROJECT NO.: 21015

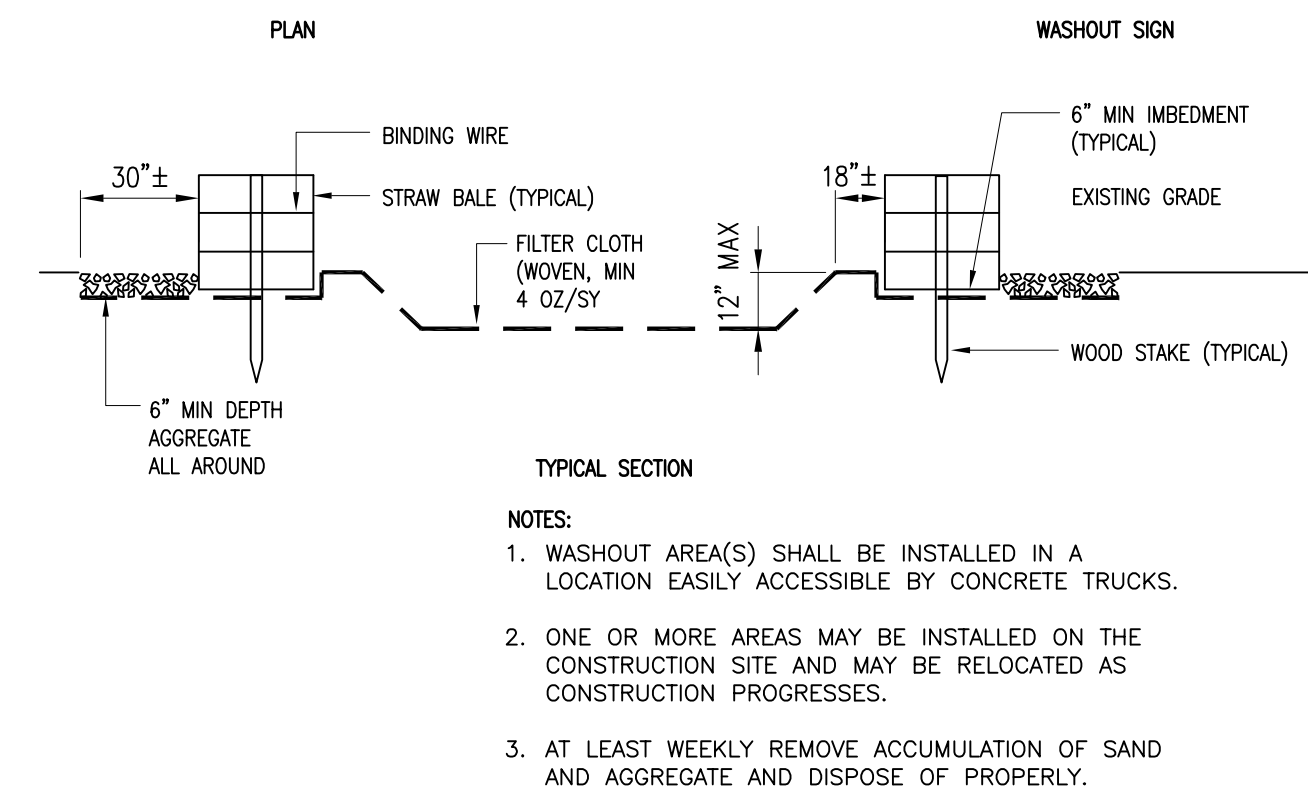
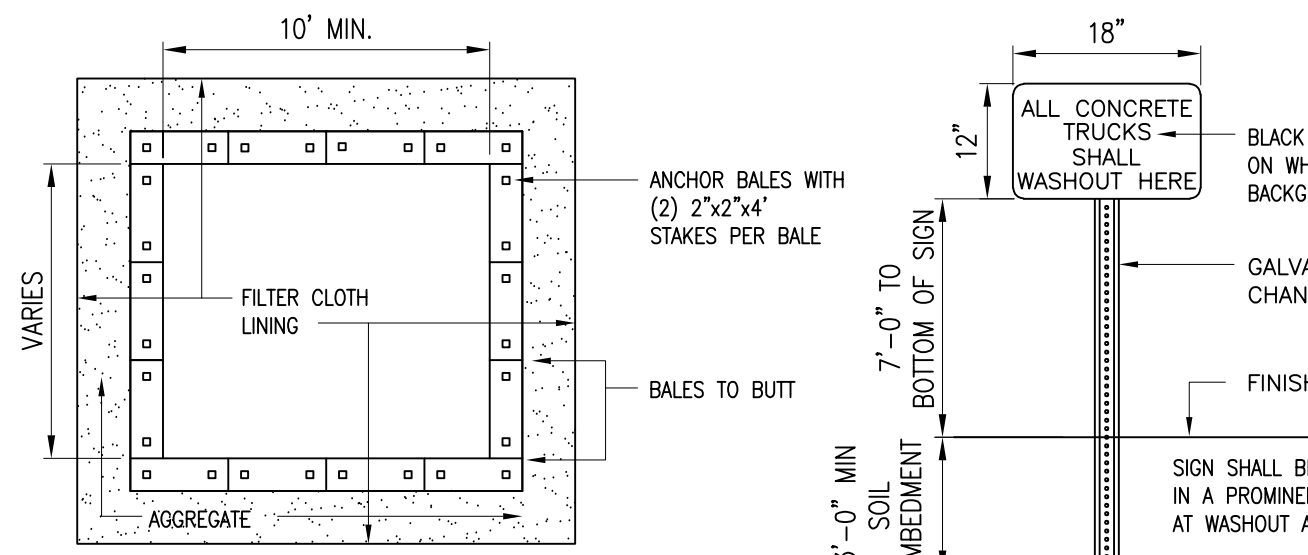
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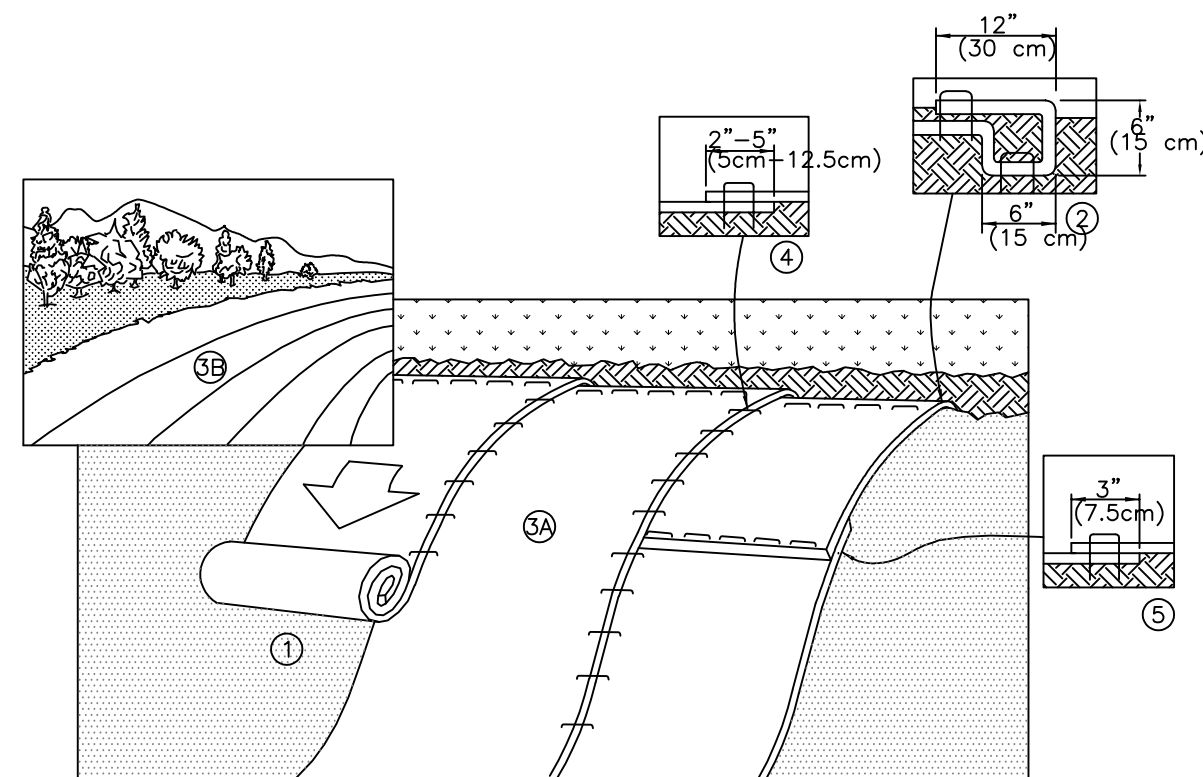
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N.T.S.

1



**CONCRETE WASHOUT AREA DETAIL**  
NTS

3

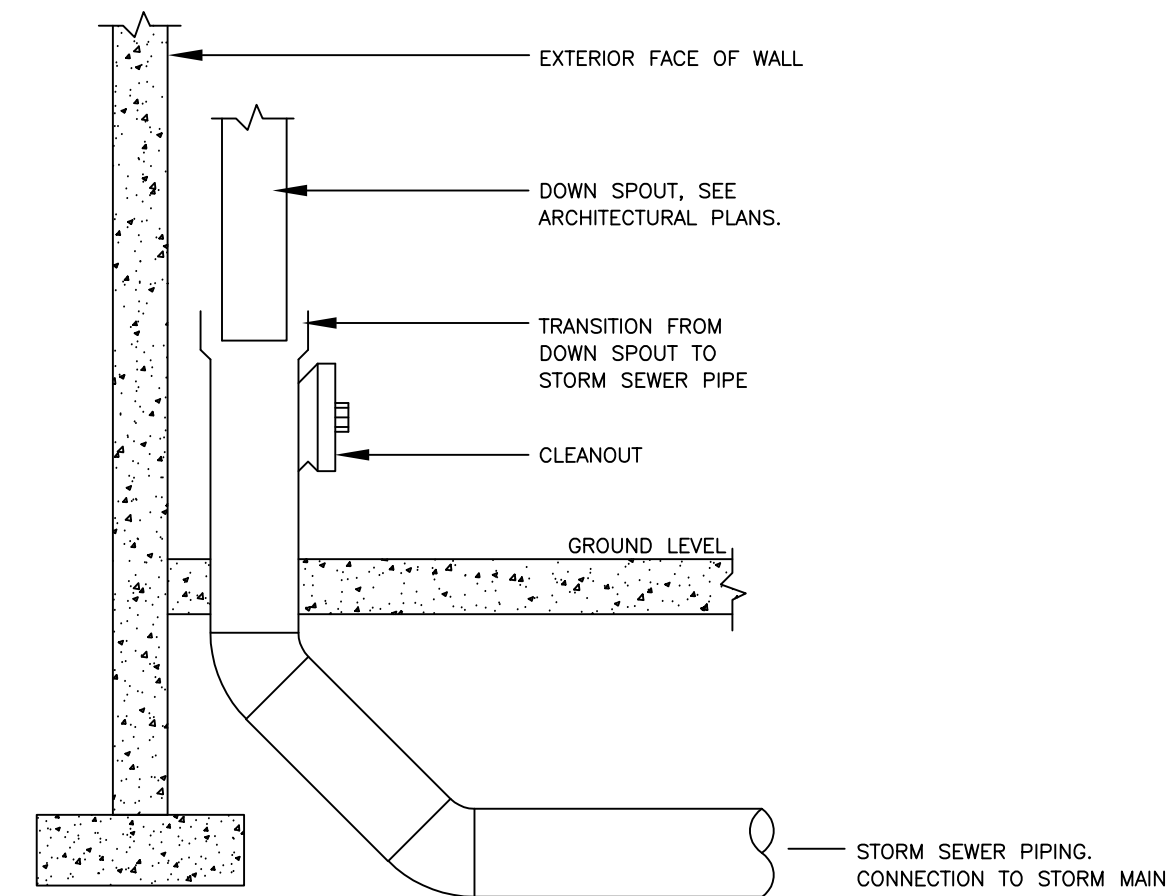


**EROSION CONTROL BLANKET DETAIL**  
FOR SLOPE INSTALLATION

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF THE BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH THE APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM SWITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

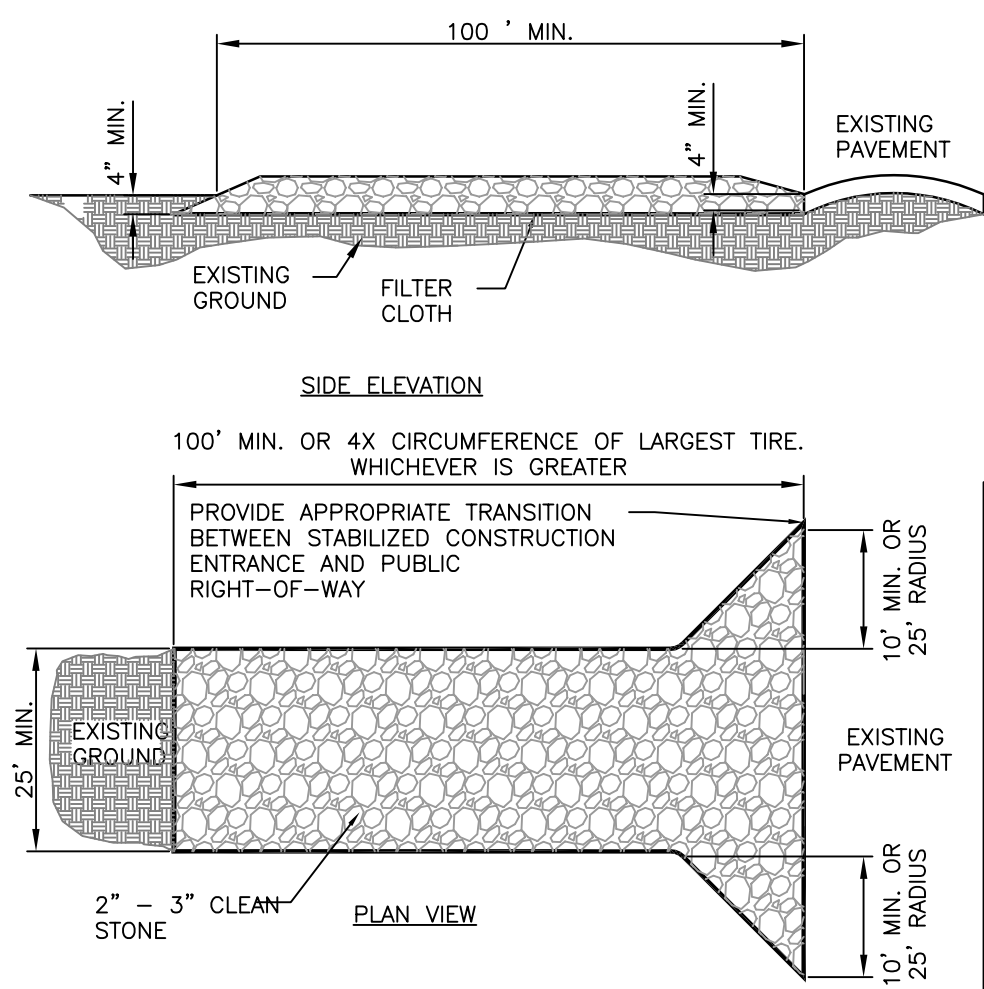
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

5



**BUILDING DOWNSPOUT CONNECTION DETAIL**  
N.T.S.

7

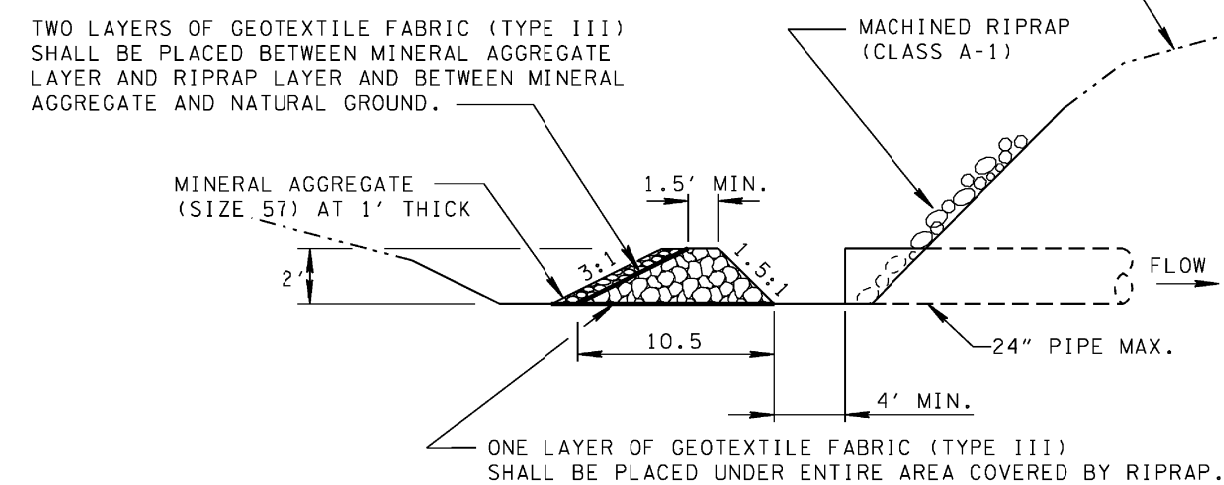
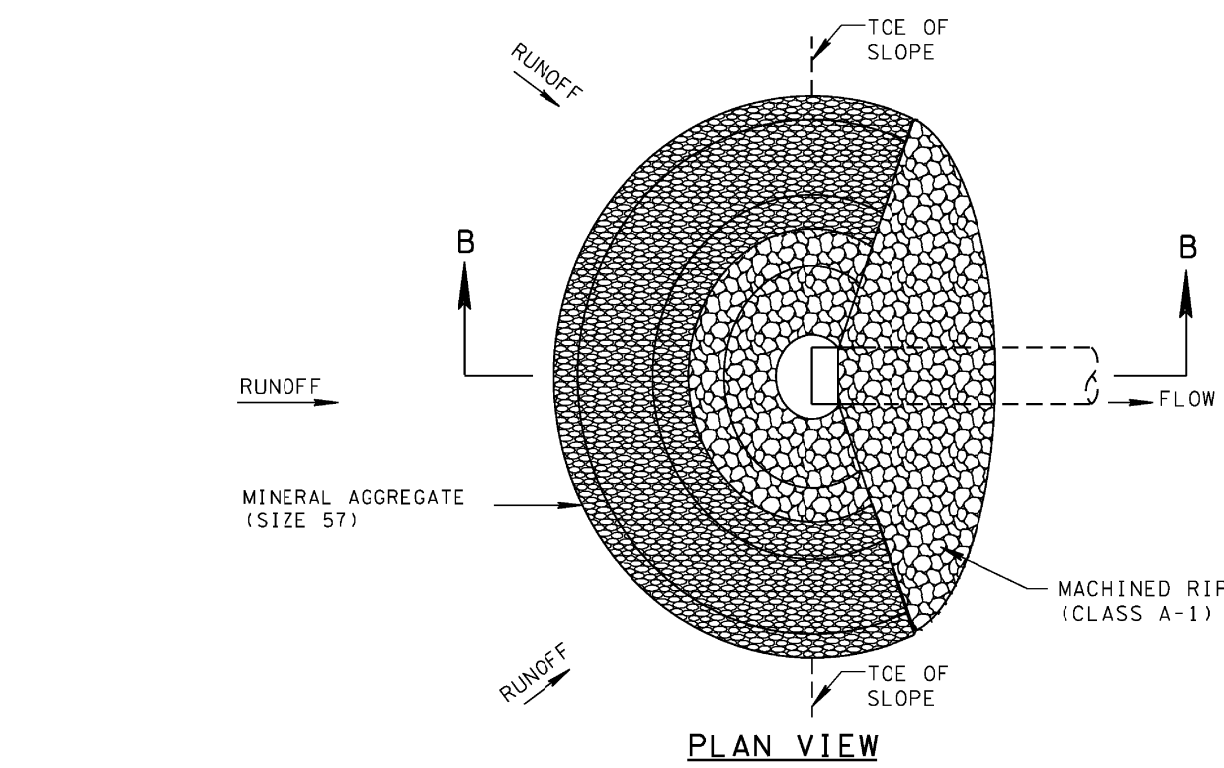


**CONSTRUCTION SPECIFICATIONS**

1. STONE - USE COARSE AGGREGATE (2 - 3 INCH STONE)
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 100 FEET.
3. THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
7. 12' X 24' METAL GRATE MAY BE USED. GRATE SHALL BE 25' AWAY FROM PAVEMENT AND APPROPRIATE SEDIMENT CONTROL TRAPPING DEVICE SHALL BE USED AT GRATE OUTLET POINT.

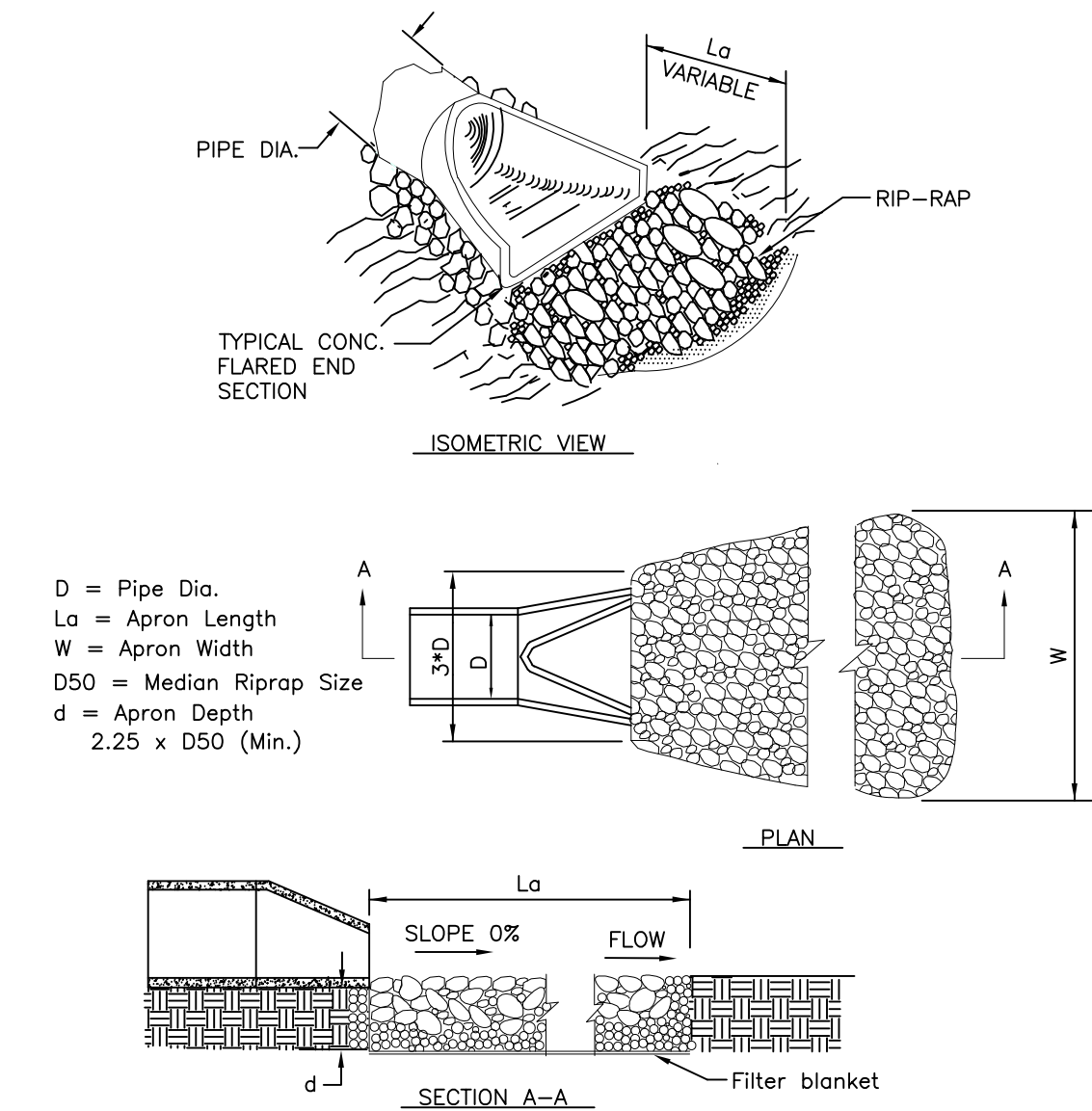
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**INLET PROTECTION FILTER RING DETAIL**  
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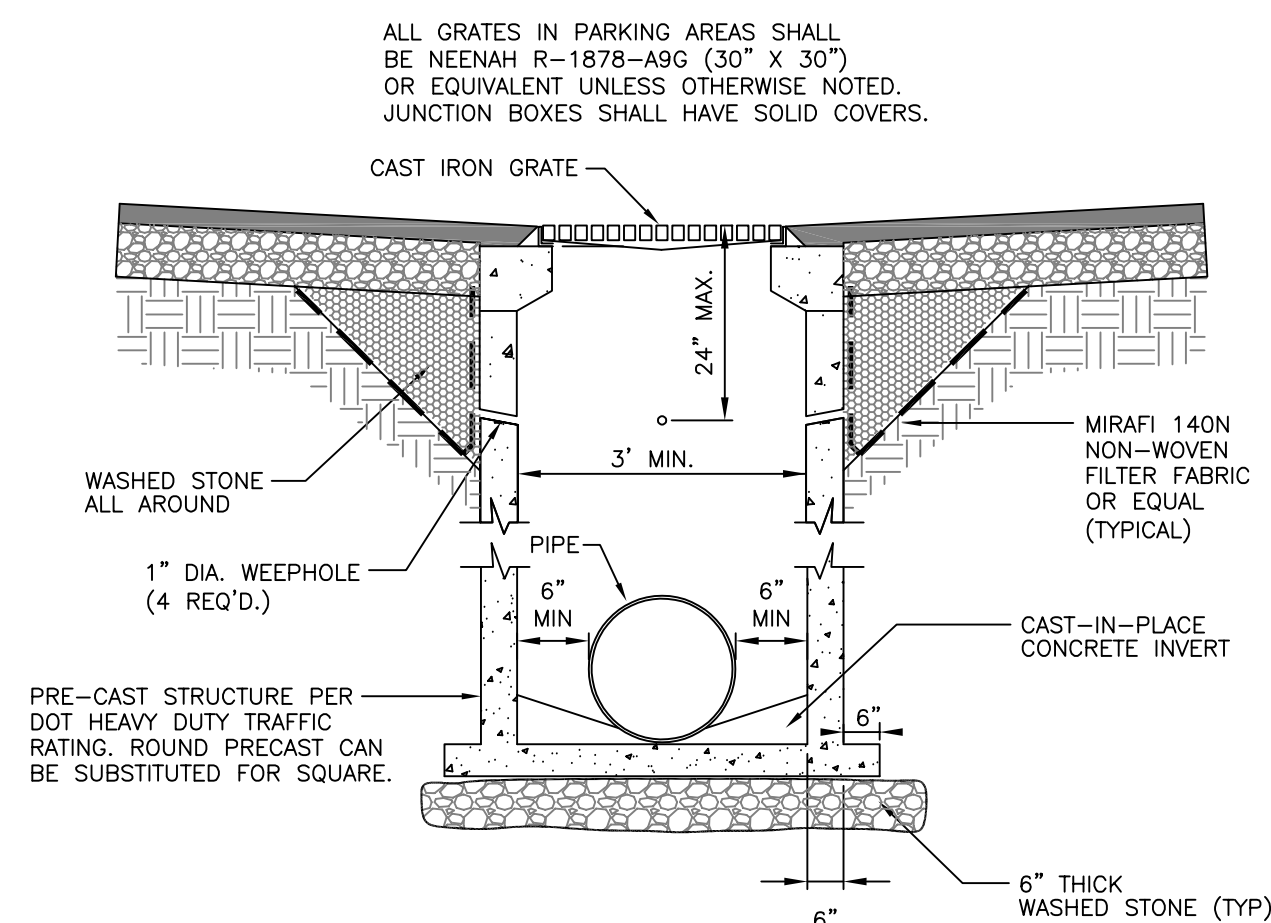
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- NOTES:
- SEE APPROPRIATE SCHEDULE FOR DIMENSIONS
1. La is the length of the riprap apron.
  2. d = 1.5 times the maximum stone diameter but not less than 6".
  3. A filter blanket or filter fabric should be installed between the rip-rap and soil foundation.

**RIP RAP APRON - OUTLET CHANNEL**  
N.T.S.

6



**CATCH BASIN/JUNCTION BOX**  
N.T.S.

SITE GRADING/STORM CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL CATCH BASINS DURING CONSTRUCTION.

8

REVISIONS	
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SHEET NAME:  
**SITE DETAILS**

DATE: 04/23/2021

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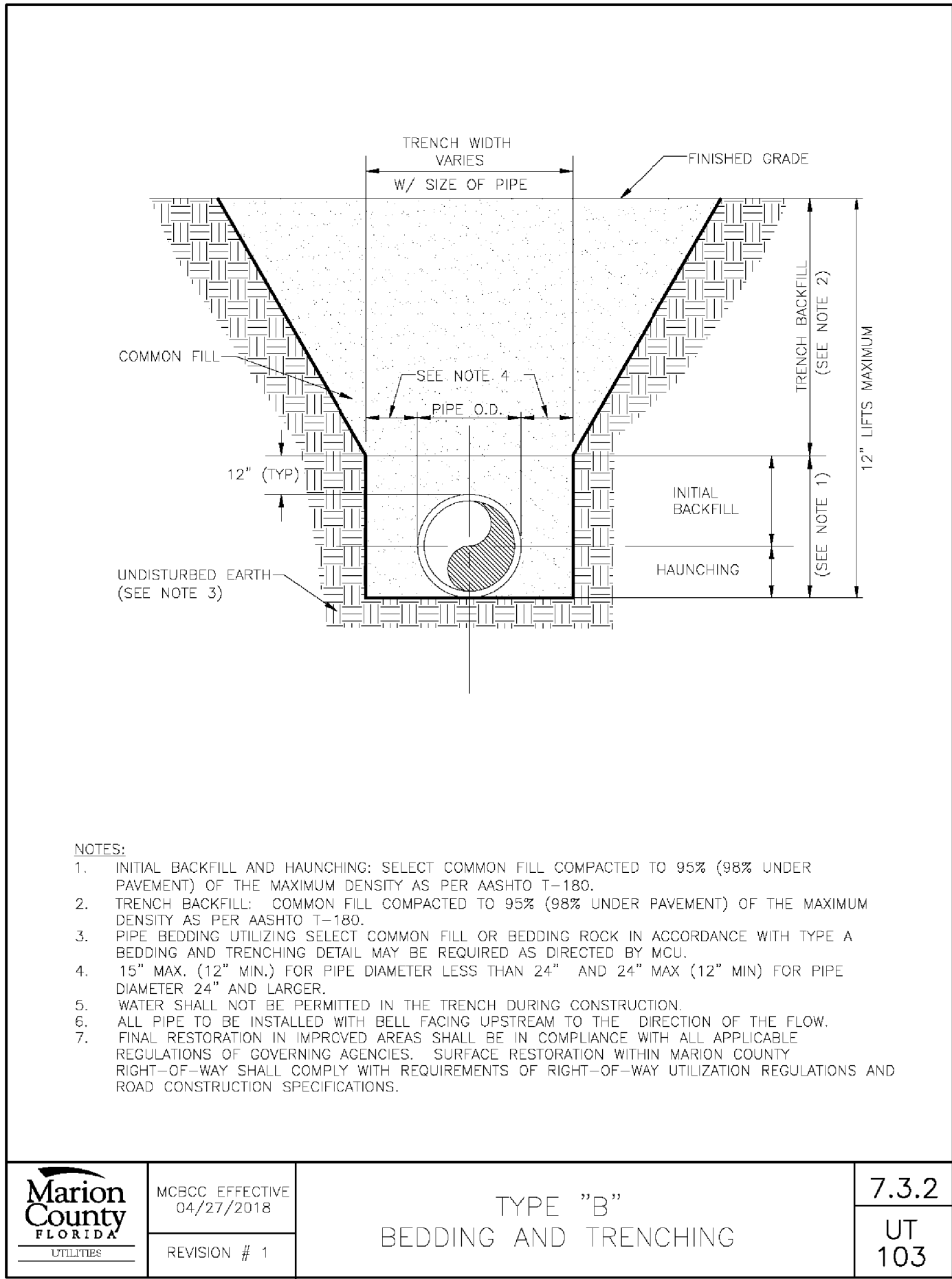
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PROJECT NO.: 21015

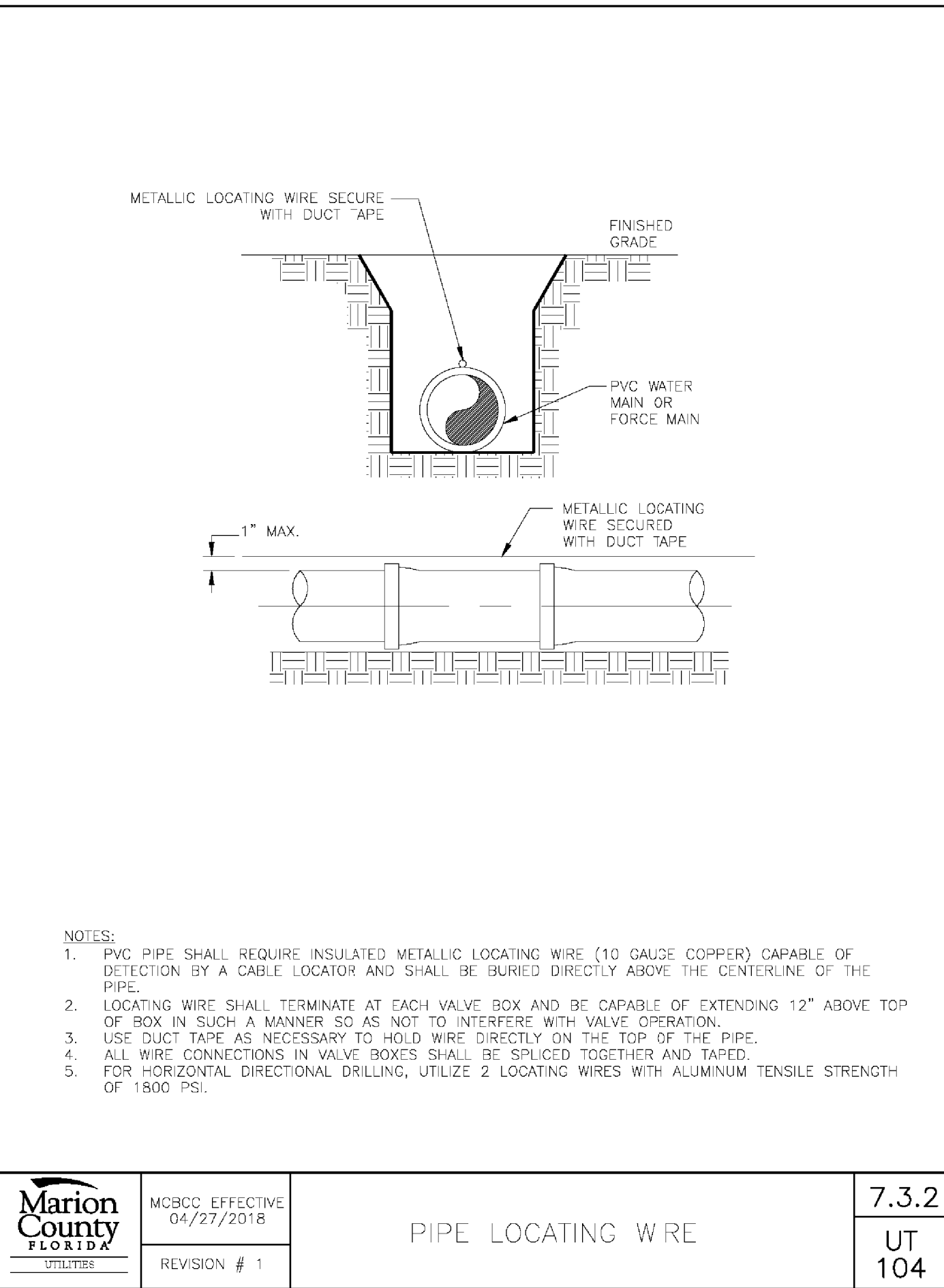
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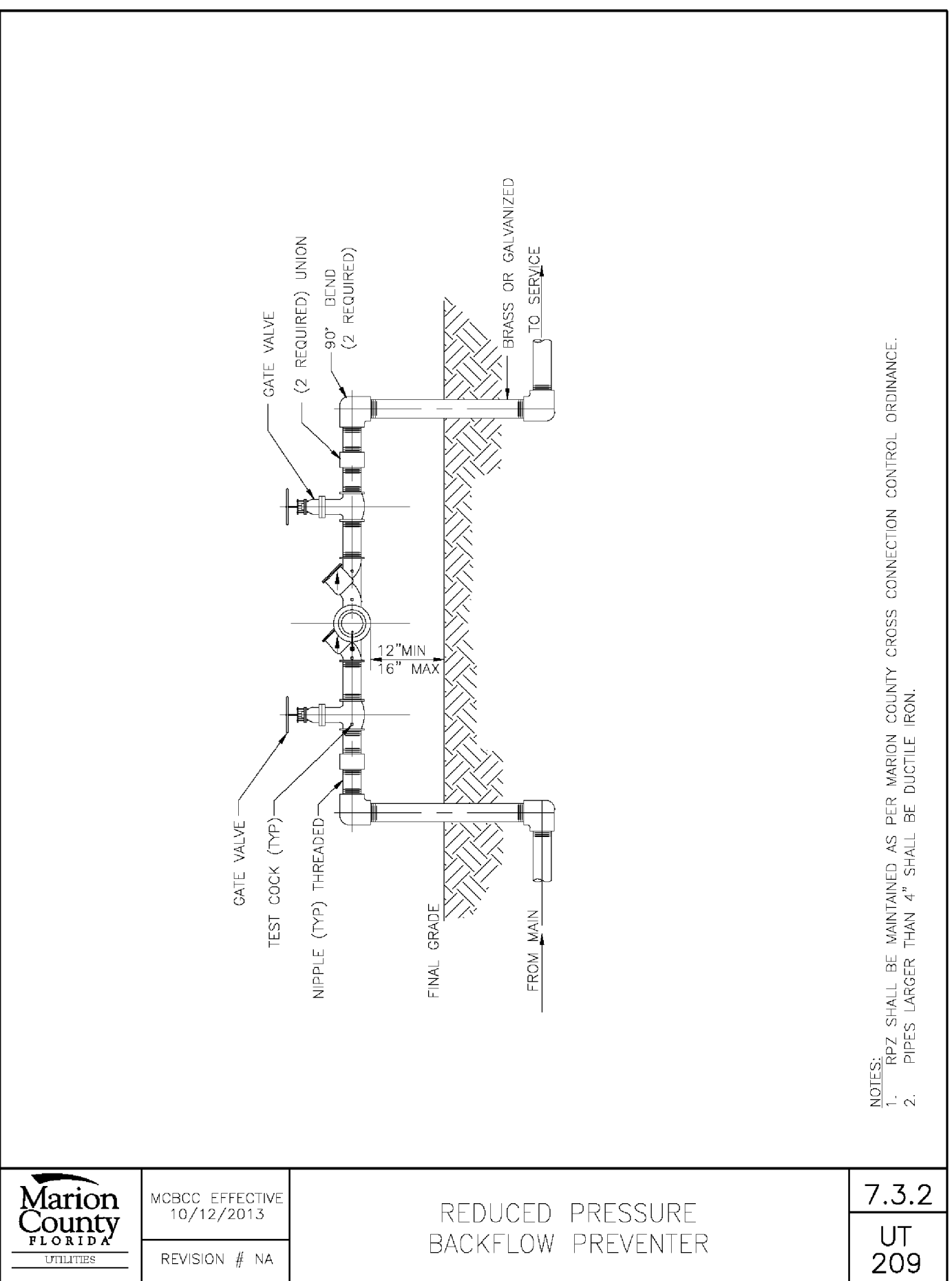




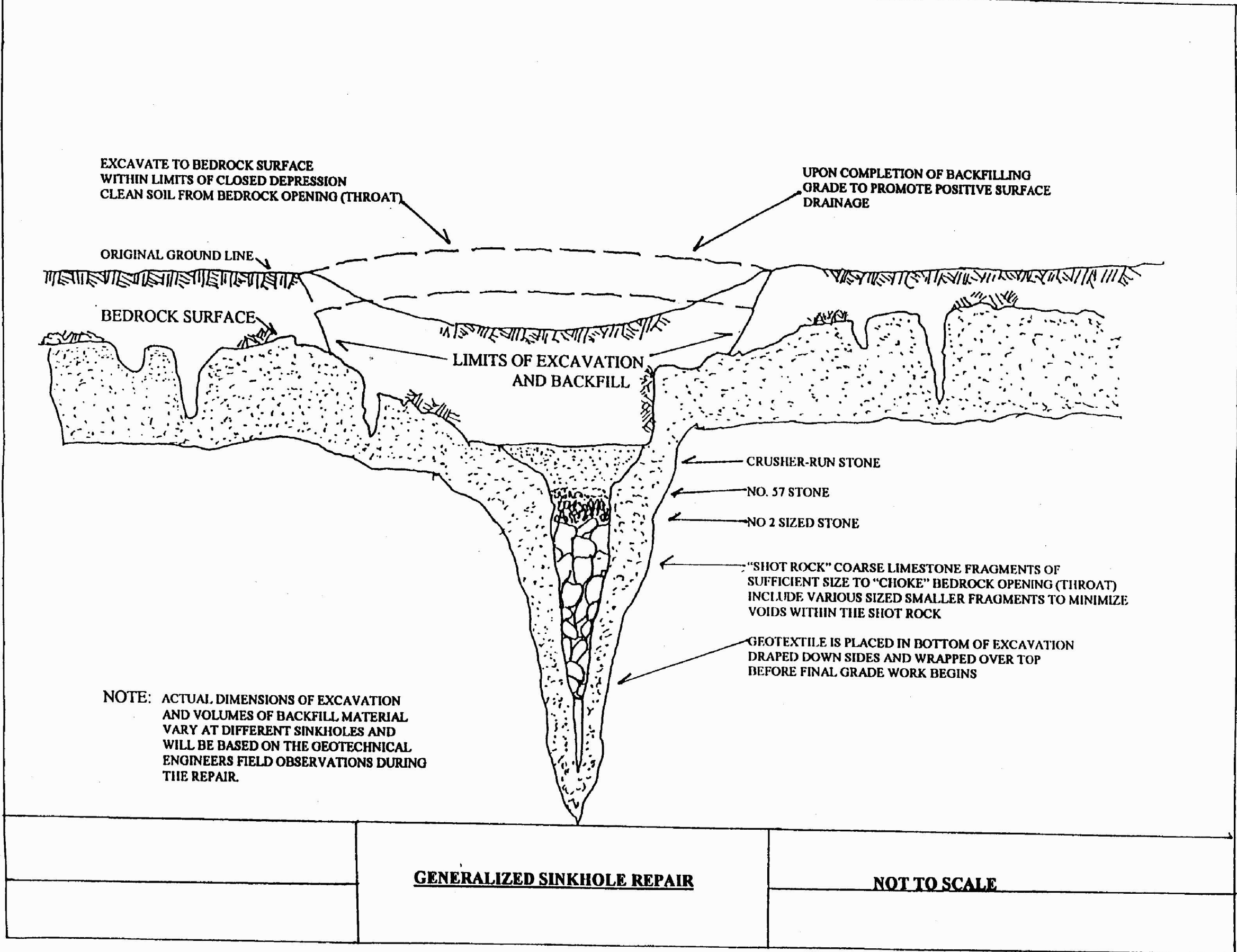
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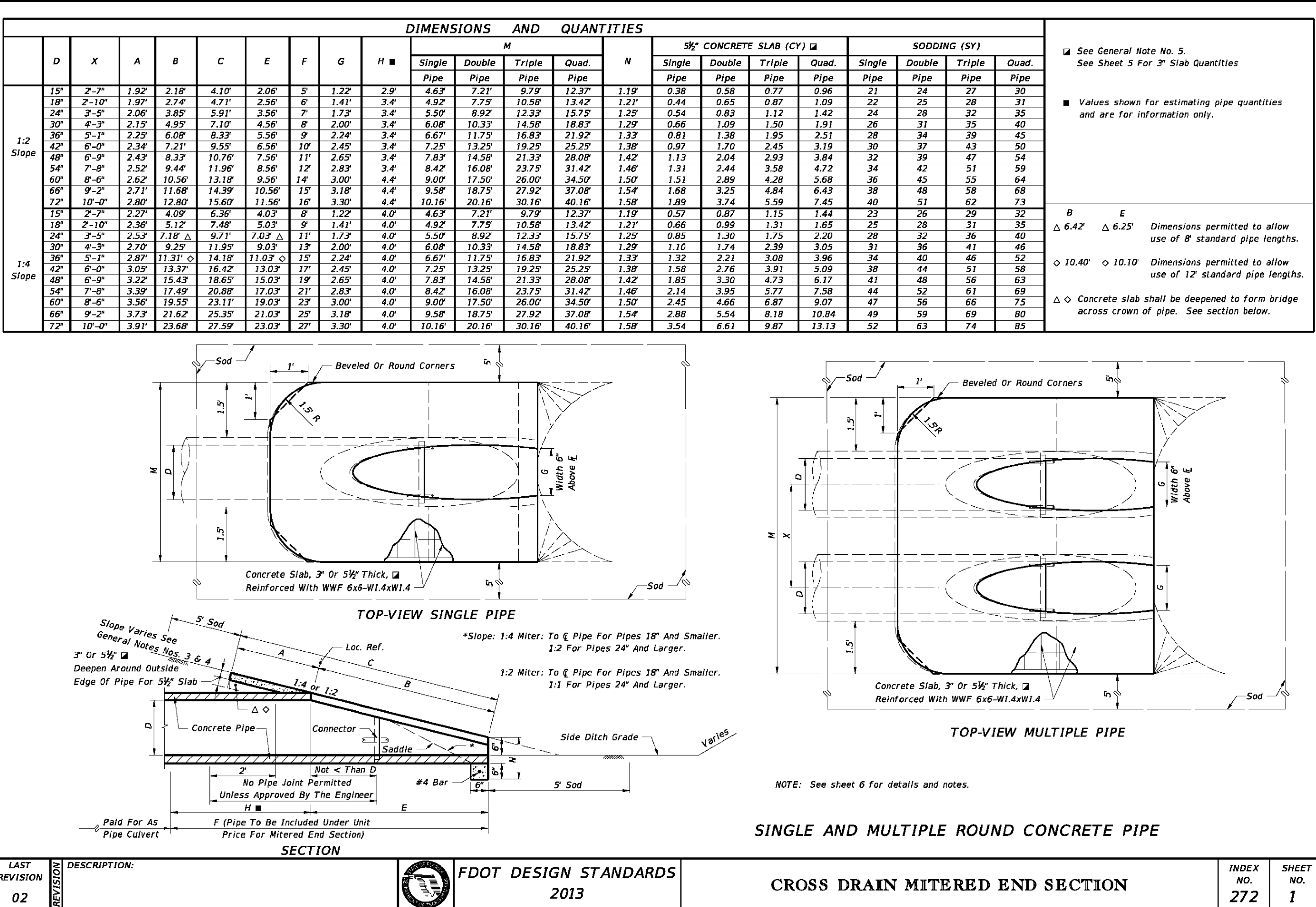
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CIVIL ENGINEER

**BERRY**

**ENGINEERS LLC**

3555 KEITH ST. NW, SUITE 109  
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TEL: (423) 790-5880

CERTIFICATE OF AUTHORIZATION #00385

DEVELOPER:

PROJECT:

**MAJOR SITE PLAN**

**FAMILY DOLLAR STORE**

NOON REAL ESTATE, LLC  
832 GEORGIA AVE, SUITE 355  
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423-206-2695

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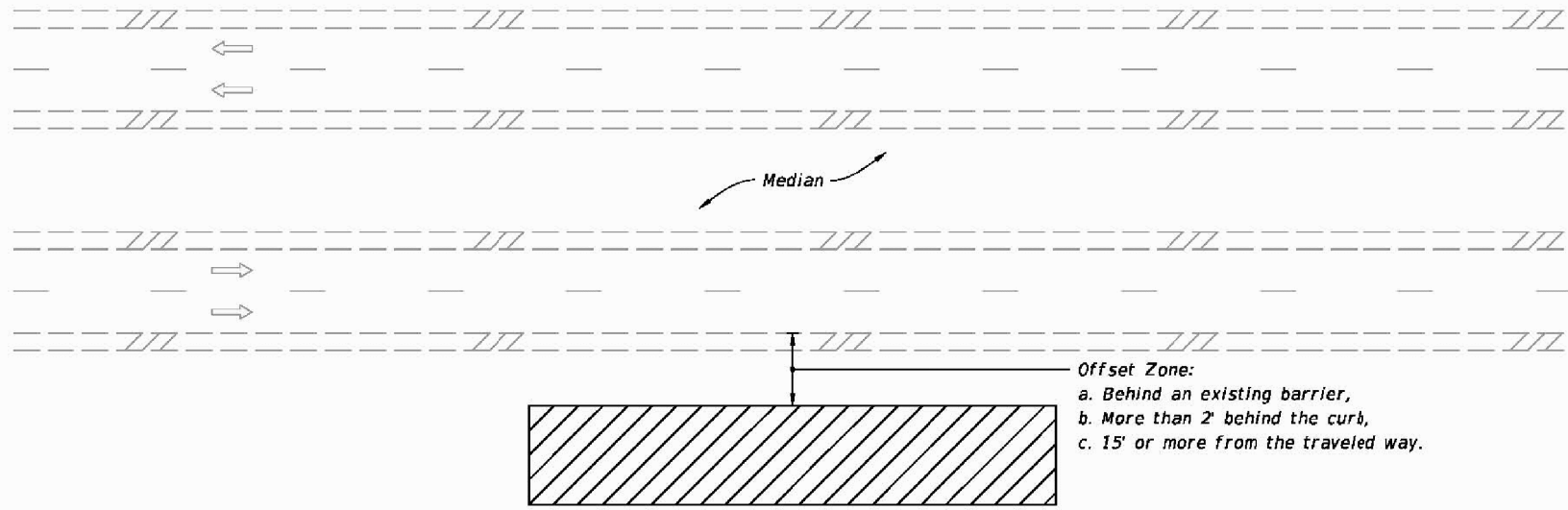
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SHEET NUMBER:  
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MULTILANE ROADWAY SHOWN, TWO-LANE ROADWAY SIMILAR

NOTES:

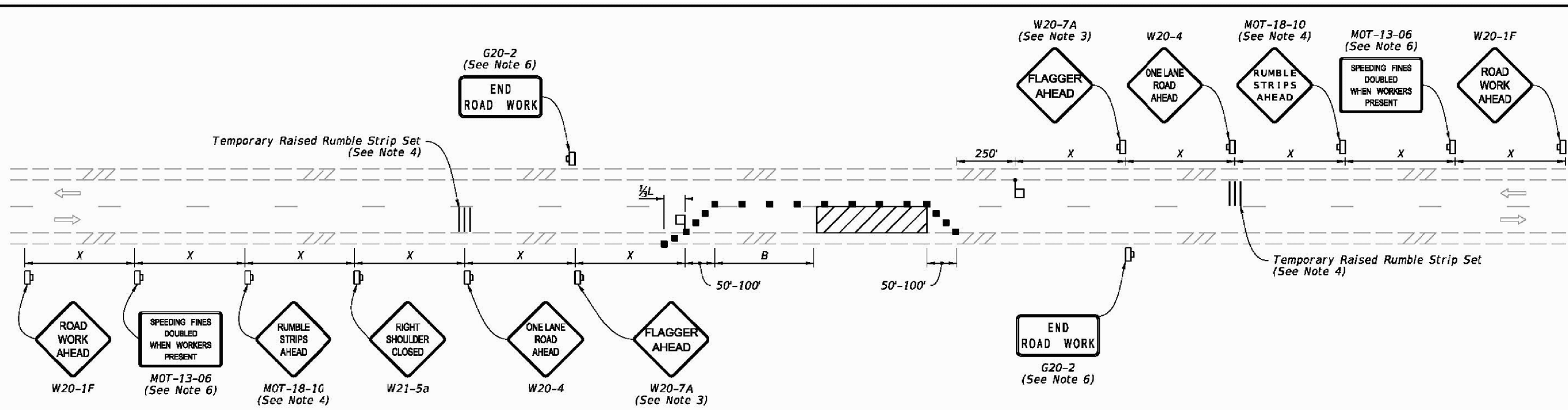
- This Index applies to Two-Lane, Two-Way and Multilane Roadways, including Medians of divided roadways, with work beyond the shoulder.
- Use Index 102-602 when the work operation (excluding establishing and terminating the work area) requires that two or more work vehicles cross the Offset Zone in any one hour period.
- Use Index 102-660 when Work Area encroaches a Sidewalk.

SYMBOLS

- Work Area
- Lane Identification + Direction of Traffic

LAST REVISION	DESCRIPTION:	FY 2021-22 STANDARD PLANS	TWO-LANE AND MULTILANE ROADWAY, WORK BEYOND THE SHOULDER	INDEX	SHEET
11/01/20				102-601	1 of 1

1



NOTES:

- This Index applies to Two-Lane, Two-Way Roadways with work within the traveled way.
- L = Taper Length  
B = Buffer Length  
X = Work Zone Sign Spacing  
See Index 102-600 for "L", "B", "X" and channelizing device spacing values.
- Optionally, use "Flagger Ahead" sign with symbol (W20-7) instead of "Flagger Ahead" sign with text (W20-7A).
- Use temporary raised rumble when the existing posted speed is 55 mph or greater and the work duration is greater than 60 minutes. If temporary raised rumble strips are not used, omit "Rumble Strips Ahead" signs (NOT-18-10) and associated work zone sign spacing.
- Additional one-way control may be provided by the following means:  
a. Flag-carrying vehicle  
b. Official vehicle  
c. Pilot vehicles  
d. Traffic signals
- The "Speeding Fines Doubled When Workers Present" signs (NOT-13-06) and "End Road Work" signs (G20-2), along with associated work zone sign spacing, may be omitted when the work zone will be in place for 24 hours or less.
- Automated Flagger Assistance Devices (AFADs) may be used in accordance with Specification Sections 102, 900 and the APL vendor drawings.
- Special Conditions may be required in accordance with these notes and the following sheets:  
A. Railroad Crossings:  
a. If an active railroad crossing is located closer to the Work Area than the queue length plus 300 feet, extend the Buffer Space as shown on Sheet 2.  
b. If the queuing of vehicles across an active railroad crossing cannot be avoided, provide a uniformed traffic control officer or flagger at the highway-rail grade crossing to prevent vehicles from stopping within the highway-rail grade crossing, even if automatic train warning devices are in place.  
B. If the Work Area encroaches on the Centerline, use the Layout for Temporary Lane Shift to Shoulder on Sheet 2 only if the Existing Paved Shoulder width is sufficient to provide for an 11' lane between the Work Area and the Edge of Existing Paved Shoulder and the Work Zone will be in place for 24 hours or less. Reduce the posted speed when appropriate.  
C. If the work encroaches on a marked bicycle lane or rideable shoulder, close the lane or shoulder in accordance with the Plans.

SYMBOLS:

- Work Area
- Channelizing Device (See Index 102-600)
- Work Zone Sign
- Lane Identification and Direction of Traffic
- Flagger

LAST REVISION	DESCRIPTION:	FY 2021-22 STANDARD PLANS	TWO-LANE, TWO-WAY WORK WITHIN THE TRAVEL WAY	INDEX	SHEET
11/01/20				102-603	1 of 2

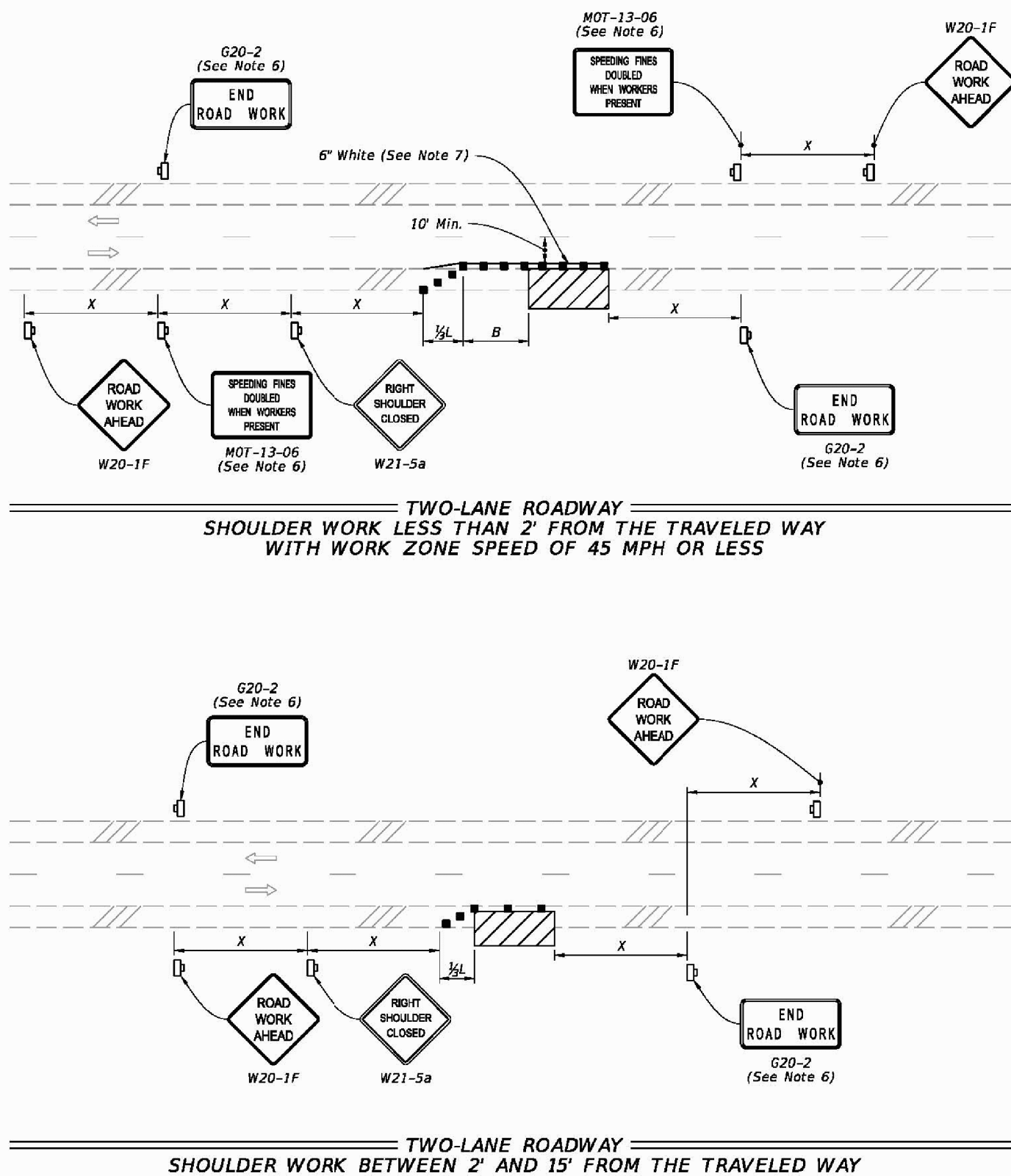
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NOTES:

- This Index applies to Two-Lane, Two-Way and Multilane Roadways, including Medians of divided roadways, with work on the shoulder.
- L = Taper Length  
X = Work Zone Sign Spacing  
B = Buffer Length  
See Index 102-600 for "L", "B", "X", "B", and channelizing device spacing values.
- For incidental work (e.g. mowing or litter removal), only the Road Work Ahead sign is required.
- When four or more work vehicles enter the through traffic lanes in a one hour period (excluding establishing and terminating the work area), use a flagger or lane closure to accommodate work vehicle ingress and egress.
- For work less than two feet from the traveled way and work zone speed is greater than 45 MPH, use a lane closure.
- The "Speeding Fines Doubled When Workers Present" signs (NOT-13-06) and "End Road Work" Signs (G20-2) along with the associated work zone sign spacing distances may be omitted when the temporary condition is in place for 24 hours or less.
- Temporary pavement markings may be omitted when the work zone is in place for 3 days or less.
- If the work encroaches on a marked bicycle lane or rideable shoulder, close the lane or shoulder in accordance with the Plans.
- Omit "Shoulder Closed" signs (W21-5a) along with associated work zone sign spacing distances for work on the median.

SYMBOLS:

- Work Area
- Channelizing Device (See Index 102-600)
- Work Zone Sign
- Lane Identification and Direction of Traffic



TWO-LANE ROADWAY SHOULDER WORK LESS THAN 2' FROM THE TRAVELED WAY WITH WORK ZONE SPEED OF 45 MPH OR LESS

TWO-LANE ROADWAY SHOULDER WORK BETWEEN 2' AND 15' FROM THE TRAVELED WAY

LAST REVISION	DESCRIPTION:	FY 2021-22 STANDARD PLANS	TWO-LANE AND MULTILANE, WORK ON SHOULDER	INDEX	SHEET
11/01/20				102-602	1 of 2

2

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SITE DETAILS

DATE: 04/23/2021  
DRAWN BY: CMB  
CHECKED BY: BMB  
PROJECT NO.: 21015  
SHEET NUMBER:  
**C-09**

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MARION COUNTY, FL NOTES

- ALL DISTURBED AREAS NOT PLANTED WITH TREES, SHRUBS, OR GROUNDCOVER TO RECEIVE SOD UNLESS OTHERWISE SPECIFIED ON PLAN.
- NO EXISTING TREE 10" DBH OR GREATER SHALL BE REMOVED WITHOUT A TREE REMOVAL PERMIT AND APPROVAL FROM COUNTY LANDSCAPE ARCHITECT. TREE REMOVAL PERMITS SHALL EXPIRE WITHIN ONE YEAR OR UPON EXPIRATION OF THE BUILDING PERMIT, WHICHEVER COMES FIRST.
- ALL REPLACEMENT TREES SHALL BE MAINTAINED IN A LIVING, HEALTHY CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING FINAL INSPECTION AND APPROVAL, OR ELSE BE REPLACED, BY THE OWNER, SUCCESSOR, OR ASSIGNEE. NO REPLACEMENT SHALL BE REQUIRED BEYOND SUCH TWO-YEAR PERIOD. AFTER THE TWO-YEAR PERIOD, THE OWNER OF RECORD SHALL BE RESPONSIBLE FOR MAINTAINING THE REPLACEMENT TREES IN A HEALTHY CONDITION.
- THE PERMITTEE OR THE PROPERTY OWNER SHALL RECORD IN THE PUBLIC RECORDS OF MARION COUNTY, APPROPRIATE NOTICE TO SUBSEQUENT OWNERS OF THE MAINTENANCE PERIOD OR REPLACEMENT REQUIREMENT FOR REPLACEMENT TREES WITH REFERENCE TO THE DEVELOPMENT PLANS ON FILE WITH THE COUNTY IDENTIFYING SUCH TREES. A COPY OF SUCH RECORDED NOTICE SHALL BE SUPPLIED TO THE PLANNING/ZONING MANAGER OR HIS DESIGNEE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A PRELIMINARY INSPECTION SHALL BE CONDUCTED BY THE COUNTY'S LANDSCAPE ARCHITECT OR HIS DESIGNEE TO CONFIRM THAT THE PERMITTEE HAS MARKED TREES PERMITTED TO BE REMOVED AND HAS INSTALLED TREE PROTECTION BARRICADES AROUND TREES, OR GROUPS OF TREES, TO BE PRESERVED PRIOR TO ANY CLEARING, GRUBBING, OR CONSTRUCTION. ANY DEFICIENCIES NOTED DURING THIS INSPECTION SHALL BE CAUSE TO WITHHOLD APPROVAL UNTIL THEY ARE CORRECTED BY THE PERMITTEE AND REINSPECTED. APPROVAL, AFTER PRELIMINARY INSPECTION, SHALL BE NOTED BY THE COUNTY'S LANDSCAPE ARCHITECT OR HIS DESIGNEE ON THE PERMIT AND SHALL CONSTITUTE NOTICE TO PROCEED WITH TREE REMOVAL.
- A FINAL INSPECTION SHALL BE CONDUCTED BY THE COUNTY'S LANDSCAPE ARCHITECT OR HIS DESIGNEE AFTER COMPLETION OF TREE REMOVAL AND REPLACEMENT IN ACCORDANCE WITH THE APPROVED PLANS. APPROVAL, AFTER FINAL INSPECTION, SHALL BE NOTED BY THE COUNTY'S LANDSCAPE ARCHITECT OR HIS DESIGNEE ON THE PERMIT AND SHALL CONSTITUTE NOTICE OF COMMENCEMENT OF THE REQUIRED MAINTENANCE PERIOD OF REPLACEMENT TREES IF REPLACEMENT IS REQUIRED.
- UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL, A LANDSCAPE ARCHITECT, AND IRRIGATION AS BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL, AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA. SEE SEC. 6.8.15 OR ARTICLE 6 OF "THE LAND DEVELOPMENT CODE OF MARION COUNTY, FLORIDA" FOR ALL RULES AND EXCEPTIONS.

SITE INFORMATION

PROPERTY ADDRESS: NE COUNTY ROAD 314,  
OCALA, FL 34473  
TOTAL ACREAGE (SITE): 1.50 ACRES  
TOTAL ACREAGE (DISTURBED): +/- 1.80 ACRES  
TAX MAP#: 282336716510111  
ZONE: PUD-B4

cdg CRAIG DESIGN GROUP  
LANDSCAPE ARCHITECTURE  
A: 413 SPEARS AVENUE  
CHATTANOOGA, TN 37405  
P: 423.521.7622

PLANT SCHEDULE

TREES

CODE	QTY	BOTANICAL / COMMON NAME	SIZE & NOTES	NATIVE
AB	1	Acer buergerianum / Trident Maple	3.5" Cal., Single, Straight Leader. Full Canopy, Evenly Branched	N
AO	4	Acer rubrum 'October Glory' / October Glory Red Maple	3.5" Cal., Single, Straight Leader. Full Canopy, Evenly Branched	Y
CP	6	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	3.5" Cal., Single, Straight Leader. Full Canopy, Evenly Branched	Y
LN	6	Lagerstroemia x 'Muskogee' / Muskogee Crape Myrtle	6" Ht. min., 42" Sp. min., Standard. Full Canopy, Evenly Branched	N
OK	1	Quercus robur x alba 'JFS-KW1 QX' TM / Street Spire Oak	3.5" Cal., Single, Straight Leader. Full Canopy, Evenly Branched	Y
QC	3	Quercus virginiana 'SDLN' TM / Cathedral Live Oak	3.5" Cal., Single, Straight Leader. Full Canopy, Evenly Branched	Y
TD	7	Taxodium distichum / Bald Cypress	3.5" Cal., Single, Straight Leader. Full Canopy, Evenly Branched	Y
UP	4	Ulmus americana 'Princeton' / Princeton American Elm	3.5" Cal., Single, Straight Leader. Full Canopy, Evenly Branched	Y

SHRUBS

CODE	QTY	BOTANICAL / COMMON NAME	SIZE & NOTES	NATIVE
IC	66	Ilex vomitoria 'Condeaux' TM / Bordeaux Yaupon Holly	18" Ht. Min., Full Plant, Evenly Branched	Y
ID	21	Illicium floridanum 'JCJC' / Miss Scarlett Florida Anise	18" Ht. Min., Full Plant, Evenly Branched	Y
PN	6	Panicum virgatum 'North Wind' / Northwind Switch Grass	18" Ht. Min., Full Plant, Evenly Branched	Y
SW	16	Spiraea japonica 'Anthony Waterer' / Japanese Spirea	18" Ht. Min., Full Plant, Evenly Branched	N
TF	5	Trachycarpus fortunei / Windmill Palm	3'-4' Ht., Full Plant, Evenly Branched	N
VC	18	Viburnum awabaki 'Chindo' / Chindo Viburnum	18" Ht. Min., Full Plant, Evenly Branched	N
VW	18	Viburnum obovatum 'Whorled Class' / Whorled Class Walter's Viburnum	18" Ht. Min., Full Plant, Evenly Branched	Y
ZF	6	Zamia floridana / Coontie Palm	18" Ht. Min., Full Plant, Evenly Branched	Y

GROUNDCOVER

CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	NATIVE
EK	27	Echinacea purpurea 'Crazy Pink' / Crazy Pink Purple Coneflower	1 Gal.	24" o.c.	Y
RE	11	Rudbeckia fulgida / Black Eyed Susan	1 Gal.	24" o.c.	Y
LG	94	Liriope muscari 'Evergreen Giant' / Evergreen Giant Border Grass	1 Gal.	24" o.c.	N

TURF

CODE	QTY	BOTANICAL / COMMON NAME	SIZE & NOTES
SOD	TBD	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	SOD

LANDSCAPE REQUIREMENTS

PER ARTICLE 6 OF "LAND DEVELOPMENT CODE OF MARION COUNTY, FLORIDA"

SHADE TREES [per 6.7.4.A]

- ONE SHADE TREE PER 3,000 SQFT. OF SITE AREA  
CALCULATION: 70,920 SQFT (DISTURBED AREA) / 3,000 SQFT. = 24 TREES  
SHADE TREES REQUIRED: 24 SHADE TREES  
SHADE TREES PROVIDED: 19 TREES\*  
SHADE TREES PRESERVED: 8

NON-RESIDENTIAL DEVELOPMENT [per 6.8.4]

- 20% OF THE LAND TO BE DEVELOPED SHALL BE LANDSCAPE  
CALCULATION: 70,920 SQFT (DISTURBED AREA) x 0.20 = 14,184 SQFT  
LANDSCAPE AREA REQUIRED: 14,184 SQFT (20%)  
LANDSCAPE AREA PROVIDED: +/- 29,893 SQFT (42%)

BUFFERS [per 6.8.6]

- TYPE B BUFFER SHALL BE REQUIRED ALONG ALL RESIDENTIAL USES ABUTTING PROPOSED COMMERCIAL USE AND SHALL CONSIST OF:
  - 20-FOOT WIDE LANDSCAPE STRIP WITH A BUFFER WALL
  - AT LEAST TWO SHADE TREES AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF  
SHADE TREE CALCULATION: (200 LF / 100 LF) x 2 = 4 SHADE TREES\*  
TREES PROVIDED: 2 TREES  
TREES EXISTING: 2 TREES  
ORNAMENTAL TREE CALCULATION: (200 LF / 100 LF) x 3 = 6 ORNAMENTAL TREES  
TREES REQUIRED: 6 TREES  
TREES PROVIDED: 6 TREES
- SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRISE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR
- TYPE C BUFFER SHALL BE REQUIRED ALONG ALL R.O.W ABUTTING PROPOSED COMMERCIAL USE AND SHALL CONSIST OF:
  - 15-FOOT WIDE LANDSCAPE STRIP WITHOUT A BUFFER WALL
  - AT LEAST TWO SHADE TREES AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF  
SHADE TREE CALCULATION: (200 LF / 100 LF) x 2 = 4 SHADE TREES\*  
TREES REQUIRED: 4 TREES  
TREES PROVIDED: 4 TREES  
ORNAMENTAL TREE CALCULATION: (200 LF / 100 LF) x 3 = 6 ORNAMENTAL TREES  
TREES REQUIRED: 6 TREES  
TREES PROVIDED: 6 TREES
- SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRISE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR

PARKING AREAS & VEHICULAR USE AREA [per 6.8.7.A]

- 5' WIDE MIN. LANDSCAPE STRIP AROUND PERIMETER OF PARKING AREAS  
CONTINUOUS SCREEN OF SHRUBS, 3'-0" MIN. HT.
- PARKING ISLANDS SHALL BE PLANTED WITH GROUNDCOVER, SHRUBS, AND ONE SHADE TREE\* PER ISLAND

BUILDING LANDSCAPE [per 6.8.8]

- LANDSCAPE SHALL BE PROVIDED ALONG ALL PUBLIC VIEW SIDES.
- LANDSCAPE AREAS SHALL BE MIN. 5' WIDE

GENERAL PLANTING REQUIREMENTS [per 6.8.10]

- A MINIMUM OF 50 PERCENT OF THE REQUIRED SHADE TREES SHALL BE FLORIDA NATIVE SPECIES SUITABLE FOR USE IN MARION COUNTY.  
CALCULATION: 19 PROPOSED TREES x 5= 95 NATIVE TREES  
NATIVE TREES REQUIRED: 10 TREES  
NATIVE TREES PROPOSED: 19 TREES (SEE PLANT SCHEDULE FOR NATIVE DESIGNATION)
- OUTSIDE OF THE UGB A MINIMUM OF 35 PERCENT OF ALL PROPOSED PLANT QUANTITIES, EXCLUDING TURFGRASS, SHALL BE FLORIDA NATIVE SPECIES SUITABLE FOR USE IN MARION COUNTY  
CALCULATION: 288 PROPOSED PLANTS x .35= 101 NATIVE PLANTS  
NATIVE PLANTS REQUIRED: 101  
NATIVE PLANTS PROPOSED: 155 (SEE PLANT SCHEDULE FOR NATIVE DESIGNATION)
- NO MORE THAN 50 PERCENT OF THE REQUIRED SHADE TREES FOR A DEVELOPMENT SHALL BE OF ONE SPECIES.  
CALCULATION: 19 PROPOSED TREES x .5 = <10 TREES per SPECIES  
SEE PLANT SCHEDULE FOR TREE SPECIES AND QTY FOR CONFIRMATION THAT NO TREE EXCEEDS

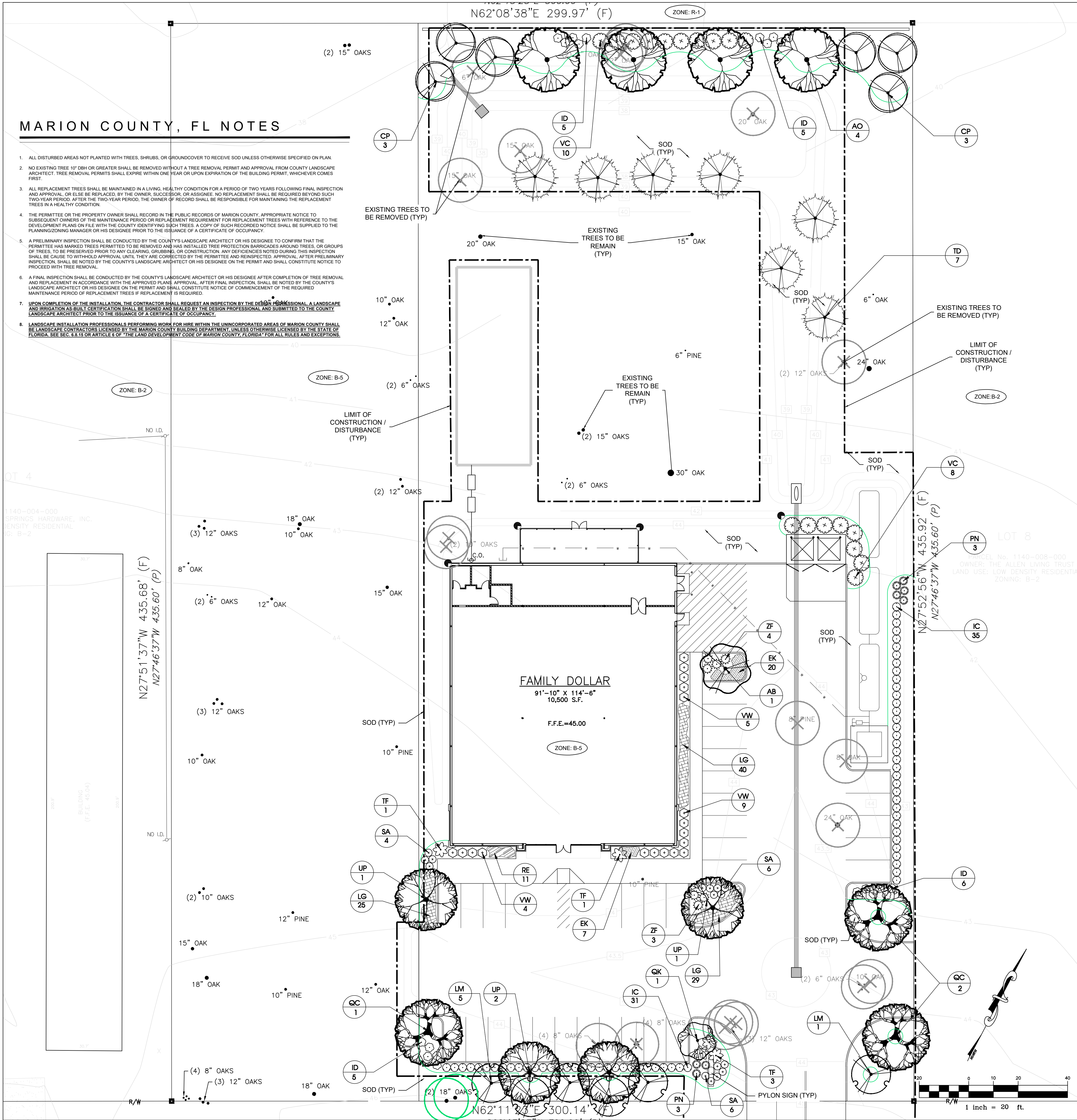
\* NOTE: UNDERSTORY TREES SUBSTITUTED FOR SHADE TREES DUE TO FOLLOWING EXCEPTIONS:  
1. "LARGE TREES SHALL NOT BE LOCATED WITHIN 20 FEET OF A BUILDING." [SEC.6.8.8.D]

TREE PROTECTION & REPLACEMENT REQUIREMENTS

PER ARTICLE 6 OF "LAND DEVELOPMENT CODE OF MARION COUNTY, FLORIDA"

TOTAL NUMBER OF EXISTING TREES ON SITE: 341"  
RATIO OF NATIVE INCHES PER ACRE PRE-DEVELOPMENT: 170" DBH/acre  
PROTECTED INCHES REMOVED (10" DBH-19" DBH): 142"  
PROTECTED INCHES REMOVED (20" DBH-29" DBH): 44"  
TOTAL INCHES REMOVED: 186"  
PROTECTED INCHES PRESERVED (10" DBH-19" DBH): 81"  
PROTECTED INCHES PRESERVED (20" DBH-29" DBH): 74"  
TOTAL INCHES PRESERVED: 155"  
RATIO OF NATIVE INCHES PER ACRE POST-DEVELOPMENT: 77.50" DBH/acre  
TOTAL INCHES REQUIRING REPLACEMENT: 22.50" (Sec. 6.7.8. A)

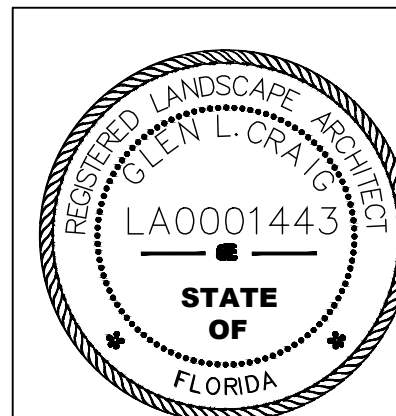
TOTAL INCHES PROPOSED TO BE PLANTED: 24.50"  
(7 SHADE TREES @ 3.5" CAL.)



CIVIL ENGINEER:  
**BERRY ENGINEERS LLC**  
3555 KEITH ST NW, SUITE 109  
CLEVELAND, TN 37312  
TEL: (423) 790-5880  
CERTIFICATE OF AUTHORIZATION #0385

NOON REAL ESTATE, LLC  
832 GEORGIA AVE, SUITE 355  
CHATTANOOGA, TN 37402  
423-206-2695

PROJECT:  
**MAJOR SITE PLAN**  
**FAMILY DOLLAR**  
**STORE**  
NE COUNTY RD 314  
MARION COUNTY, FL



BENJAMIN M. BERRY, STATE OF FLORIDA,  
PROFESSIONAL ENGINEER, LICENSE NO. 76300

THIS ITEM HAS BEEN ELECTRONICALLY  
SIGNED AND SEALED BY BENJAMIN M. BERRY,  
PE ON DATE AND/OR TIME STAMP SHOWN  
USING A DIGITAL SIGNATURE.

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ELECTRONIC COPIES.

REVISIONS		
1		
2		
3		
4		
5		

SHEET NAME:  
LANDSCAPE PLAN

DATE: 04/30/2021

DRAWN BY: KEP

CHECKED BY: GLC

PROJECT NO.: 21015

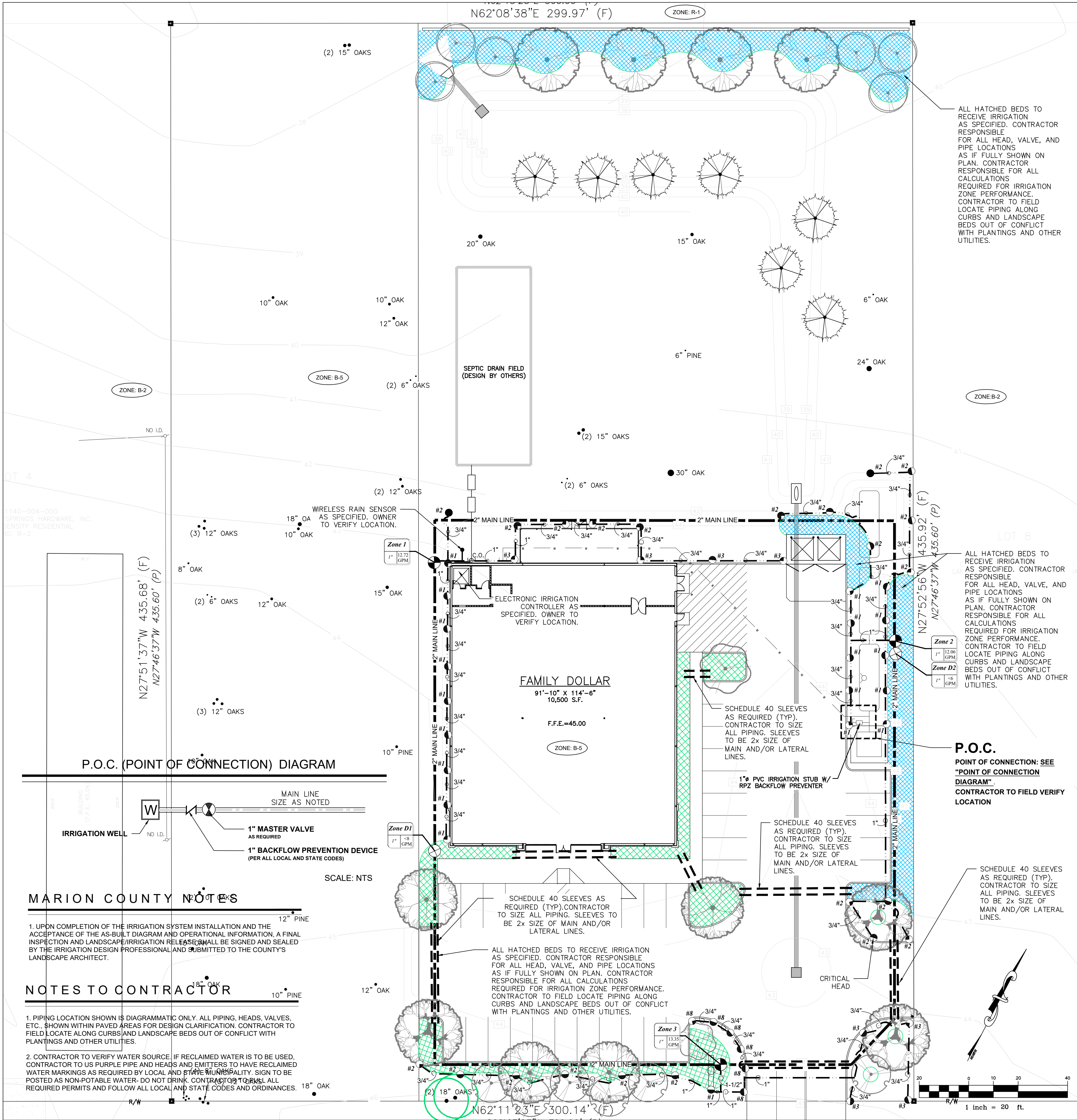
SHEET NUMBER:

L-01



DATE:	04/30/2021
DRAWN BY:	KEP
CHECKED BY:	GLC
PROJECT NO.:	21015
SHEET NUMBER: <b>L-02</b>	





SITE INFORMATION

PROPERTY ADDRESS: NE COUNTY ROAD 314, Ocala, FL 34473  
TOTAL ACREAGE (SITE): 1.50 ACRES  
TOTAL ACREAGE (DISTURBED): +/- 1.80 ACRES  
TAX MAP#: 282336716510111  
ZONE: PUD-B4



A: 413 SPEARS AVENUE, CHATTANOOGA, TN 37405  
P: 423.521.7622

IRRIGATION SYSTEM DESIGN DATA

PRESSURE :	CRITICAL HEAD:	*CONTRACTOR TO VERIFY AVAILABLE PRESSURE. NOTIFY LANDSCAPE ARCHITECT IF PRESSURE IS LESS THAN THE DESIGNED PRESSURE VALUE.
ASSUMED STATIC PRESSURE: 70 PSI	LOSS THROUGH MASTER VALVE= 3 PSI	
PRESSURE AVAILABLE @ P.O.C: <b>59.50 PSI</b>	LOSS THROUGH BACK FLOW= 6 PSI	
PRESSURE @ CRITICAL HEAD: -27.70 PSI	LOSS THROUGH VALVE= 3 PSI	
OPERATION PRESSURE: 25-45 PSI	LOSS THROUGH MAIN LINE=0 PSI	
	LOSS THROUGH LATERAL= 5.2 PSI	
	TOTAL LOSS= +/- 17.20 PSI	
	PRESSURE AVAILABLE AT C.H. = 42.30 PSI	

TOTAL AREA TO BE IRRIGATED: +/- 20,100

ZONE KEY & SCHEDULE

ZONE	VALVE IN INCHES	GALLONS PER MINUTE	LAWN ZONES:	DRIP ZONES:
Zone #	1" (0" GPM)		1 +/-12.72 GPM	<6 GPM
	2		2 +/-12.06 GPM	<6 GPM
	3		3 +/-13.35 GPM	

\*CONTRACTOR TO VERIFY WATER SOURCE. IF RECLAIMED WATER IS TO BE USED, CONTRACTOR TO USE PURPLE PIPE AND HEADS AND EMITTERS TO HAVE RECLAIMED WATER MARKINGS AS REQUIRED BY LOCAL AND STATE MUNICIPALITY. SIGN TO BE POSTED AS NON-POTABLE WATER- DO NOT DRINK. CONTRACTOR TO PULL ALL REQUIRED PERMITS AND FOLLOW ALL LOCAL AND STATE CODES AND ORDINANCES.

IRRIGATION KEY

GENERAL	SPRAY ZONES
<input checked="" type="checkbox"/> PRO C CONTROLLER BY HUNTER	# 8, 1, 2, 3, or 35 90° PATTERN: MP ROTATOR SERIES NOZZLE BY HUNTER OR APPROVED EQUAL (#= 800SR,1000, 2000, 3000, 3500 NOZZLE TYPE)
WIRELESS RAIN CLIK SENSOR BY HUNTER	# 8, 1, 2, 3, or 35 180° PATTERN: MP ROTATOR SERIES NOZZLE BY HUNTER OR APPROVED EQUAL (#= 800SR,1000, 2000, 3000, 3500 NOZZLE TYPE)
1" ICV-101 SERIES ELECTRIC VALVE BY HUNTER	# 8, 1, 2, 3, or 35 270° PATTERN: MP ROTATOR SERIES NOZZLE BY HUNTER OR APPROVED EQUAL (#= 800SR,1000, 2000, 3000, 3500 NOZZLE TYPE)
1" ICZ-151G SERIES ELECTRIC DRIP VALVE BY HUNTER	# 8, 1, 2, 3, or 35 360° PATTERN: MP ROTATOR SERIES NOZZLE BY HUNTER OR APPROVED EQUAL (#= 800SR,1000, 2000, 3000, 3500 NOZZLE TYPE)
MAINLINE PVC SCHEDULE 40 (SIZE AS NOTED)	
LATERAL LINE PVC SCHEDULE 40 (AS NOTED)	
SLEEVE AS REQUIRED CONTRACTOR TO SIZE. SLEEVES TO BE 2x SIZE OF MAIN AND/OR LATERAL LINES.	
	<b>DRIP ZONES</b>
	DRIP IRRIGATION *(SEE DRIP IRRIGATION MATERIAL)

NOTE TO CONTRACTOR: PIPING LOCATION SHOWN IS DIAGRAMMATIC ONLY. ALL PIPING, HEADS, VALVES, ETC., SHOWN WITHIN PAVED AREAS FOR DESIGN CLARIFICATION. CONTRACTOR TO FIELD LOCATE ALONG CURBS AND LANDSCAPE BEDS OUT OF CONFLICT WITH PLANTINGS AND OTHER UTILITIES.

IRRIGATION MATERIAL MINIMUM ACCEPTABLE STANDARDS

- PIPING:**
- 1) MAINLINE PIPE TO BE PVC SCHEDULE 40
  - 2) ALL SLEEVE PIPE TO BE PVC SCHEDULE 40
  - 3) ALL OTHER PIPE TO CONFORM TO THE FOLLOWING:
    - A) PVC PIPE OVER 1" DIAM. SHALL CONFORM TO ASTM D224, SDR 21, AND CLASS 200.
    - B) PVC PIPE 1" DIAM. & UNDER SHALL CONFORM TO ASTM D2241, SDR 13.5, AND CLASS 315.
    - C) FLEXIBLE POLYETHYLENE (PE) SHALL CONFORM TO ASTM D2239, SDR 11.5, PE23, RATED AT 00 PSI, NATIONAL SANITATION FOUNDATION (NSF) APPROVED.
- VALVES:**
- 1) HUNTER INDUSTRIES:
    - A) SPRAY ZONE VALVES TO BE ICV SERIES ELECTRIC VALVE (PRODUCT #S: ICV-101G, ICV-151G, OR ICV-201G)
    - B) DRIP ZONE VALVES TO BE ICZ VALVE WITH HY100 FILTER SYSTEM (PRODUCT #S: ICZ-151-25 or ICZ-151-40)

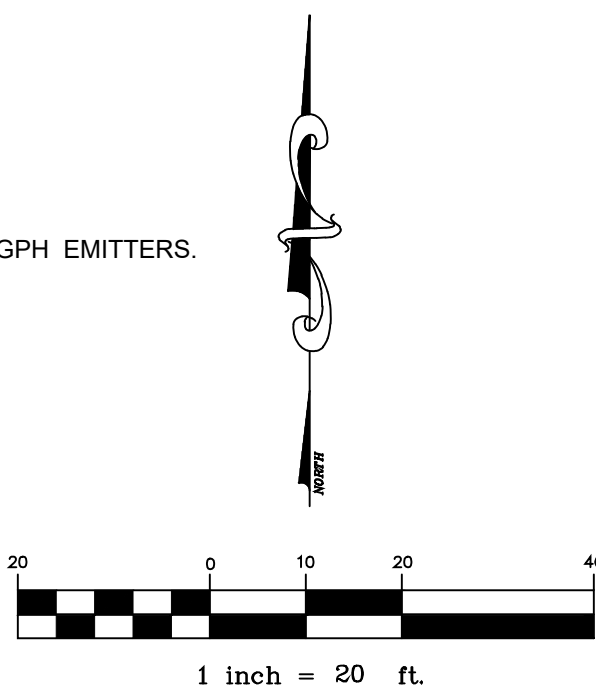
SPRAY IRRIGATION MATERIAL (LAWN/SOD): APPROVED COMPONENTS

- 1) HUNTER INDUSTRIES:  
A) PRO SPRAY SERIES BODIES (6" RISERS ON ALL BODIES)  
1) NOZZLES: MP ROTATOR, MP ROTATOR STRIP, MP ROTATOR SR SERIES

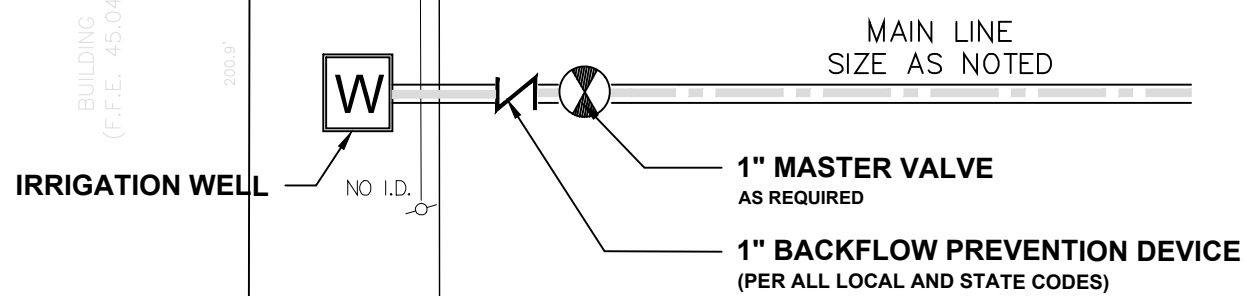
NOTES: CONTRACTOR TO LOCATE ALL HEADS FOR 100% HEAD- TO-HEAD COVERAGE.

DRIP IRRIGATION MATERIAL: APPROVED COMPONENTS

- 1) **TREES AND SHRUBS:**  
A) POINT SOURCE EMITTERS SYSTEM BY HUNTER INDUSTRIES  
1) EMITTER SIZES: 0.5 GPH, 1.0 GPH, 2.0 GPH  
2) ALL TREES TO HAVE (4) 1.0 GPH EMITTERS. ALL SHRUBS TO HAVE (2) 0.5 GPH EMITTERS.  
3) SUPPLY TUBING (1/2" POLYETHYLENE FLEXIBLE TUBING)  
4) DISTRIBUTION TUBING (1/4" POLYETHYLENE FLEXIBLE TUBING)  
(www.hunterindustries.com)
- 2) **PERENNIALS AND GROUND COVER ONLY**  
A) PLD SERIES DRIPLINE SYSTEM BY HUNTER INDUSTRIES  
1) DRIPLINE HOSE EMITTER SPACING: 12", 18", OR 24" O.C.  
2) SUPPLY TUBING (1/2" POLYETHYLENE FLEXIBLE TUBING)  
3) DISTRIBUTION TUBING (1/4" POLYETHYLENE FLEXIBLE TUBING)  
(www.hunterindustries.com)



P.O.C. (POINT OF CONNECTION) DIAGRAM



MARION COUNTY NOTES

1. UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND THE ACCEPTANCE OF THE AS-BUILT DIAGRAM AND OPERATIONAL INFORMATION, A FINAL INSPECTION AND LANDSCAPE IRRIGATION RELEASE SHALL BE SIGNED AND SEALED BY THE IRRIGATION DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY'S LANDSCAPE ARCHITECT.

NOTES TO CONTRACTOR

1. PIPING LOCATION SHOWN IS DIAGRAMMATIC ONLY. ALL PIPING, HEADS, VALVES, ETC., SHOWN WITHIN PAVED AREAS FOR DESIGN CLARIFICATION. CONTRACTOR TO FIELD LOCATE ALONG CURBS AND LANDSCAPE BEDS OUT OF CONFLICT WITH PLANTINGS AND OTHER UTILITIES.

2. CONTRACTOR TO VERIFY WATER SOURCE. IF RECLAIMED WATER IS TO BE USED, CONTRACTOR TO USE PURPLE PIPE AND HEADS AND EMITTERS TO HAVE RECLAIMED WATER MARKINGS AS REQUIRED BY LOCAL AND STATE MUNICIPALITY. SIGN TO BE POSTED AS NON-POTABLE WATER- DO NOT DRINK. CONTRACTOR TO PULL ALL REQUIRED PERMITS AND FOLLOW ALL LOCAL AND STATE CODES AND ORDINANCES.





18. ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER;  
A. TWO WRENCHES FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.  
B. TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLERS.  
C. TWO QUICK COUPLER KEYS WITH MATCHING HOSE SWIVELS.
19. ALL ABOVE GROUND WIRING, INSIDE AND OUTSIDE OF BUILDING, SHALL BE INSTALLED IN RIGID METALLIC CONDUIT FOR PROTECTION.
20. IRRIGATION PIPE THAT CROSSES UNDER THE CONCRETE OR ASPHALT IN EXCESS OF 4" SHALL BE PLACED IN RIGID SLEEVING 2 TIMES THE PIPE'S OUTSIDE DIAMETER.
21. FLOW PATTERN AND DISTANCE OF SPRAY SHALL BE REGULATED WITH THE USE OF ADJUSTMENT SCREW(S) TO MINIMIZE OVERTHROW ONTO PAVED AREAS, HOWEVER, RADIUS SHALL NOT BE REDUCED MORE THAN MANUFACTURER AVAILABLE RANGE OR ALLOWED TO CAUSE LACK OF COVERAGE.
22. CONTRACTOR SHALL INSTALL SPRINKLER EQUIPMENT 12" FROM FOUNDATIONS. ALSO INSTALL SPRINKLERS 4" FROM CURB OR WALKS.
23. CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED. I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
24. CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTINGS.
25. CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR. ALL SPRINKLERS TO BE MOUNTED ON SWING JOINTS - REFER TO DETAILS. CONTRACTOR SHALL UTILIZE VALVE I.D. TAGS ON ALL REMOTE CONTROL VALVES.
26. CONTRACTOR TO ADD EXTENSION RISER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE (HEAD-TO-HEAD).
27. IN-LINE DRIP TUBING TO BE INSTALLED 6" FROM ALL MASONRY WALLS, PLANTER SIDEWALLS, AND CURBING, ON 18" CENTER TO CENTER ROW SPACING.
28. FLUSH ALL LATERAL LINES BEFORE INSTALLING IN-LINE DRIP TUBING OR SPRINKLERS.
29. STAKE IN-LINE DRIP TUBING AT MINIMUM 5' FOOT INTERVALS TO PREVENT MOVEMENT.
30. IN-LINE DRIP TUBING TO BE INSTALLED 4" BELOW GRADE UNDER MULCH. NO DRIPPER LINE TUBING SHALL BE VISIBLE TO THE NAKED EYE. INSTALL AUTOMATIC FLUSH PORTS AT LOWEST POINT OF PVC EXHAUST HEADER, GENERALLY WHERE SHOWN ON THE DRAWINGS.
31. INSTALL AIR VACUUM/RELIEF VALVES AT HIGH POINT OF IN-LINE DRIP TUBING, GENERALLY WHERE SHOWN ON THE DRAWINGS.
32. SPRINKLERS FOR TURF SHALL HAVE 6" POP UP HEIGHT. ALL OTHER HEAD HEIGHTS AS REQUIRED FOR EVEN COVERAGE.
33. CONTRACTOR SHALL TEST THE PRESSURE BEFORE STARTING THE WORK, REPORT ANY DEVIATION FROM PRESSURE REQUIRED TO OWNER'S REPRESENTATIVE BEFORE CONTINUING.

34. INSTALL CONTROLLERS IN MECHANICAL ROOM, OR AS NOTED ON PLANS, AS DIRECTED BY OWNERS REPRESENTATIVE, HARD WIRE TO 120 VOLT DEDICATED 20 AMP CIRCUIT, BUILDING POWER SUPPLY BY USING LICENSED ELECTRICIAN. ROUTE ALL ZONE AND SPARE WIRES TO CONTROLLER VIA CONDUITS.
35. INSTALL RAIN SENSORS ON OUTSIDE OF BUILDING WALL WHERE DIRECTED BY OWNERS REPRESENTATIVE OR PER PLAN. USE WIRELESS SYSTEM OR AS SPECIFIED ON PLANS.
36. COORDINATE LOCATION OF ALL EXISTING AND FUTURE UTILITIES ON SITE. CONTACT PROPER AUTHORITIES AND UTILITY COMPANIES BEFORE START OF WORK.
37. NO ALLOWANCES MADE FOR OBSTRUCTIONS NOT SHOWN ON PLAN. ALL NECESSARY FIELD ADJUSTMENTS TO BE MADE BY THE CONTRACTOR.
38. CHANGES ARE NOT PERMITTED TO THE IRRIGATION PLAN OR MATERIALS WITHOUT CONSENT OF LANDSCAPE ARCHITECT.
39. BIDDING CONTRACTORS SHOULD BECOME THOROUGHLY FAMILIAR WITH ALL FACETS OF THE PROPOSED IRRIGATION SYSTEM.
40. PRIOR TO BID, IRRIGATION CONTRACTOR SHALL VERIFY RIGHT-OF-WAY AND BACKFLOW REQUIREMENTS NO LATER THAN 5 DAYS BEFORE THE BID SUBMITTALS CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CHANGES FROM PLANS OR SPECIFICATIONS.
41. CONTRACTOR MUST SUBMIT SHOP DRAWINGS AS PER THE WRITTEN SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIAL AND BEGINNING WORK. ALL EQUIPMENT NOT SPECIFIED IN THE LEGEND SHALL BE DETERMINED AND FURNISHED BY THE CONTRACTOR.
42. ALL MATERIAL SUBSTITUTIONS WHICH VARY FROM THE SPECIFIED PRODUCTS MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL AS PART OF THE SUBMITTAL PROCESS.
43. ONCE APPROVED SUBMITTALS HAVE BEEN RETURNED TO THE CONTRACTOR, WORK MAY BEGIN. THE LANDSCAPE ARCHITECT MUST BE NOTIFIED A MINIMUM OF 7-WORKING DAYS IN ADVANCE OF INSTALLATION TO COORDINATE ON-SITE SUPERVISION AND ADMINISTRATION.
44. IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER AND THE LANDSCAPE ARCHITECT WITH AS-BUILT DRAWING OF THE INSTALLED IRRIGATION SYSTEM BEFORE FINAL ACCEPTANCE.
45. A 1-YEAR WARRANTY PERIOD SHALL BE PROVIDED FOR SYSTEM AFTER SUBSTANTIAL COMPLETION IS ACCEPTED.
46. PRIOR TO BID, CONTRACTOR SHALL VERIFY THAT ALL MATERIALS, INSTALLATION PARAMETERS AND OPERATIONS CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/DESIGNER OF ANY CHANGES REQUIRED DUE TO CURRENT CODE OR ORDINANCE DISCREPANCIES. IF CONTRACTOR DOES NOT COMPLY TO THIS NOTIFICATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY INSTALLATION CHANGE AND REDESIGN COST FOR NON-COMPLIANCE.
47. IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION ALSO TO BE AS PER LOCAL CODE.
48. IRRIGATION CONTRACTOR TO BE RESPONSIBLE FOR FIRST TIME BACKFLOW TESTING AS REQUIRED BY LOCAL MUNICIPALITIES AND/OR LOCAL CODES.
49. ANY DISCREPANCY BETWEEN THIS SHEET AND OTHER IN THIS SET MUST BE REFERRED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE

REVISIONS		
1		
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## DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP68 rated and UL/cUL Listed for wet locations.

## SPECIFICATION FEATURES

**Construction**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum and caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity, 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP68 rated.

**Optics**  
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (± 27% CCT 70 CRI). Optional 3000K, 5000K and 6000K CCT.

**Electrical**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP68 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 800mA, 800mA and 1200mA drive currents (nominal).

**Mounting**  
STANDARD ARM MOUNT:  
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

Catalog #	Type
Project	
Comments	
Prepared by	Date

## McGraw-Edison



## GLEON GALLEON LED

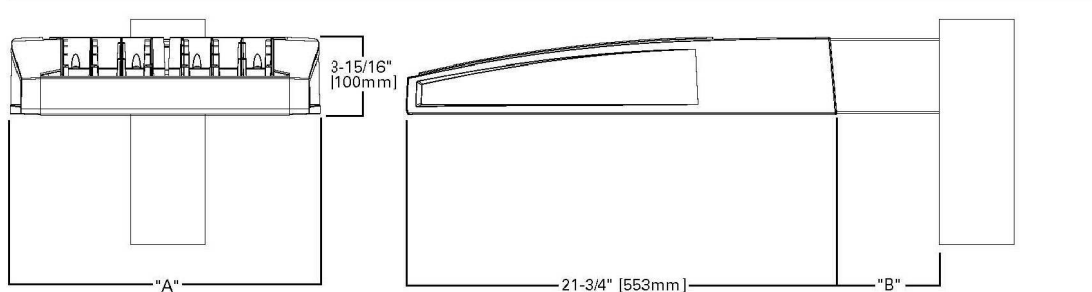
1-10 Light Squares  
Solid State LED

AREA/SITE LUMINAIRE



WaveLinx

## DIMENSIONS



## DIMENSION DATA

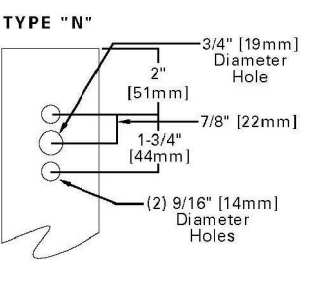
Number of Light Squares	"A" Width 15-1/2" (394mm)	"B" Standard Arm Length 7" (178mm)	"B" Optional Arm Length 10" (254mm)	Weight with Arm (lbs.) 23 (10.4 kg)	EPA with Arm (Sq. Ft.) 0.86
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	23 (10.4 kg)	0.86
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kg)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	64 (29.2 kg)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	83 (37.6 kg)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.



Powering Business Worldwide

## DRILLING PATTERN



CERTIFICATION DATA  
3G Vibration Rated  
DesignLights Consortium® Qualified  
IP68 Rated  
ISO 9001

LM79 (LM80 Compliant)  
UL/cUL Wet Location Listed

**ENERGY DATA**  
Electronic LED Driver  
±0.8% Power Factor  
≤20% Total Harmonic Distortion  
120V/277V/50/60Hz  
347V/480V/60Hz  
40°C Min. Temperature  
40°C Max. Temperature  
50°C Max. Temperature (HA Option)

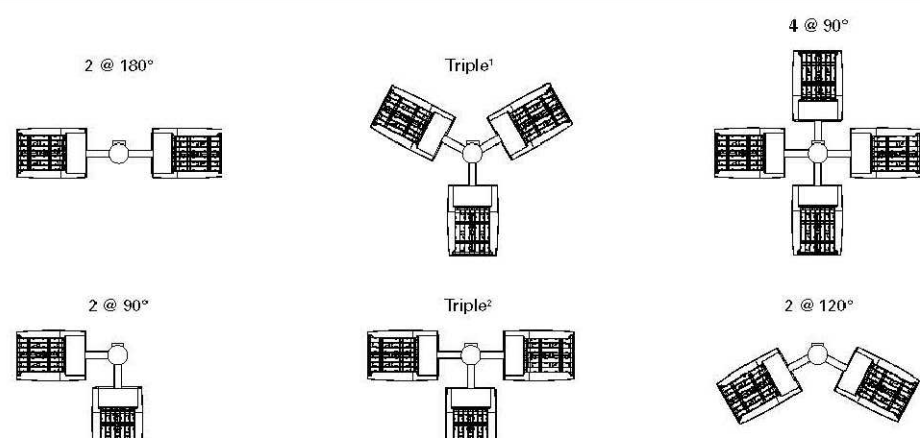
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July 23, 2019 2:40 PM

\*www.designlights.org

page 2

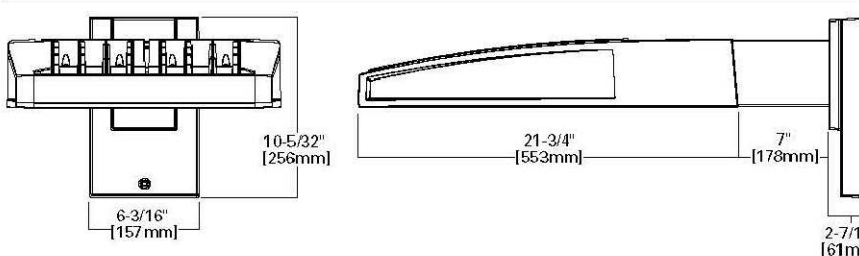
## ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-07	10" Extended Arm (Required)	10" Extended Arm (Required)
GLEON-AF-08	10" Extended Arm (Required)	10" Extended Arm (Required)
GLEON-AF-09	10" Extended Arm (Required)	10" Extended Arm (Required)
GLEON-AF-10	10" Extended Arm (Required)	10" Extended Arm (Required)

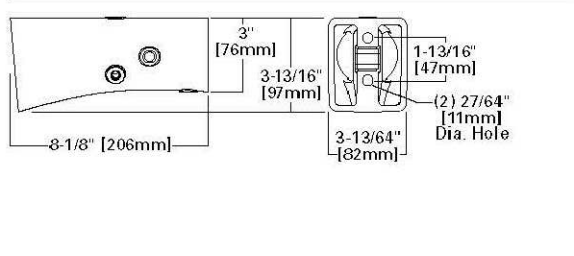


NOTES: 1. Round pole is 3 @ 120°. Square pole is 3 @ 90°. 2. Round pole is 4 @ 90°.

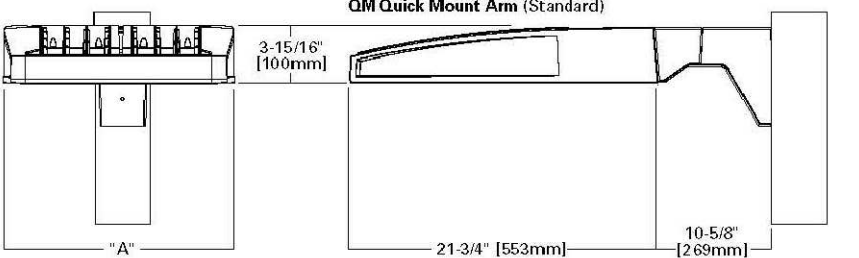
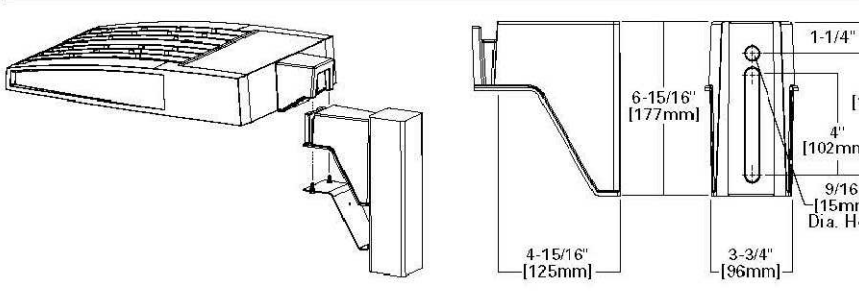
## STANDARD WALL MOUNT



## MAST ARM MOUNT



## QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



Number of Light Squares ±	"A" Width 15-1/2" (394mm)	Weight with QM Arm (lbs.) 35 (15.91 kg)	Weight with GME Arm (lbs.) 38 (17.27 kg)	EPA (Sq. Ft.) 1.11
1-4	15-1/2" (394mm)	35 (15.91 kg)	38 (17.27 kg)	1.11
5-6	21-5/8" (549mm)	46 (20.91 kg)	49 (22.27 kg)	1.11
7-8	27-5/8" (702mm)	66 (29.45 kg)	N/A	1.11

NOTES: 1. QM option available with 1.8 light square configurations. 2. GME arm option available with 1.8 light square configurations. 3. GME arm to be used when mounting two fixtures at 90° on a single pole.



Edison  
3121 Highway 78 South  
Dundalk, MD 21046  
P: 770-485-4800  
www.edison.com/gisting

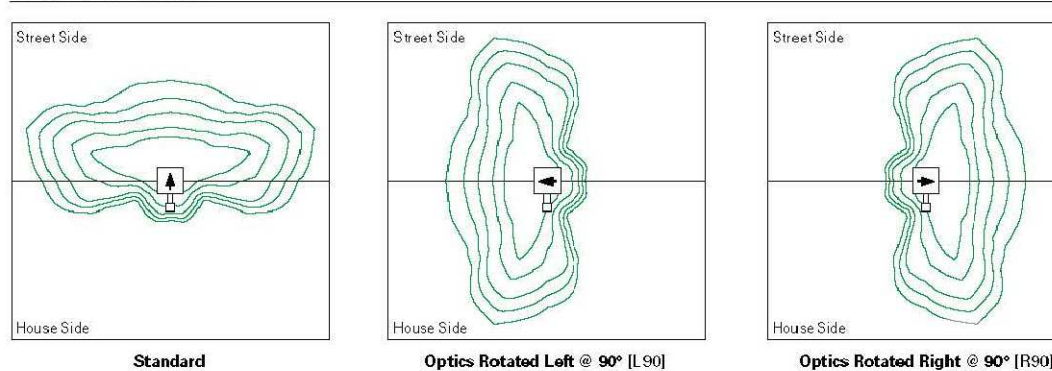
Specifications and dimensions subject to change without notice.

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July 23, 2019 2:40 PM

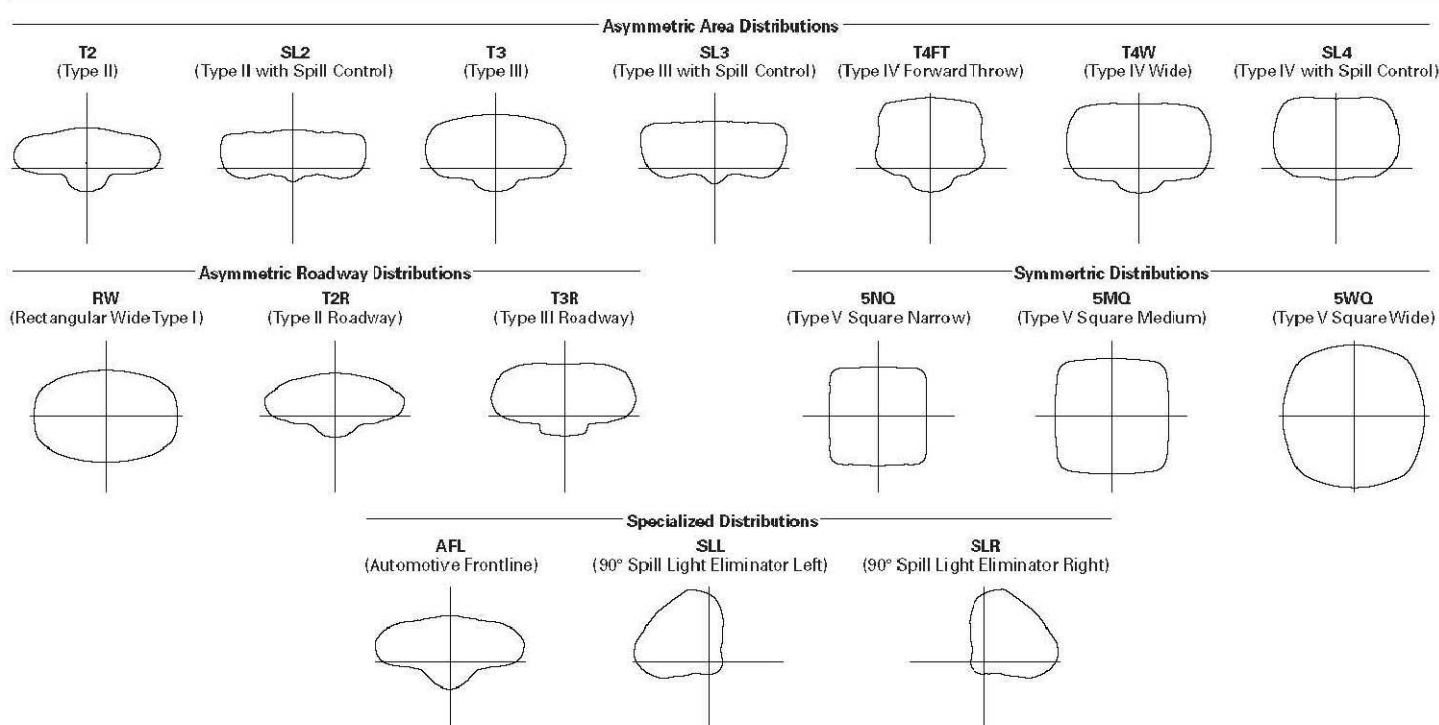
GLEON GALLEON LED

page 3

## OPTIC ORIENTATION

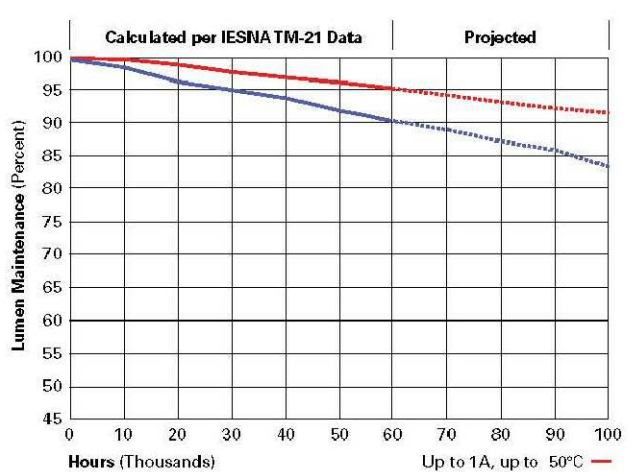


## OPTICAL DISTRIBUTIONS



## LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	206,000



## LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.00
25°C	1.00
40°C	0.99
50°C	0.97



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www.edison.com/gisting

Specifications and dimensions subject to change without notice.

GLEON GALLEON LED

Project	Catalog #	Type
Prepared by	Notes	Date



## McGraw-Edison

## GWC Galleon Wall

## Wall Mount Luminaire

## Typical Applications

Exterior Wall • Walkway

## Product Certifications



## Connected Systems

- WaveLinx
- Enlighted

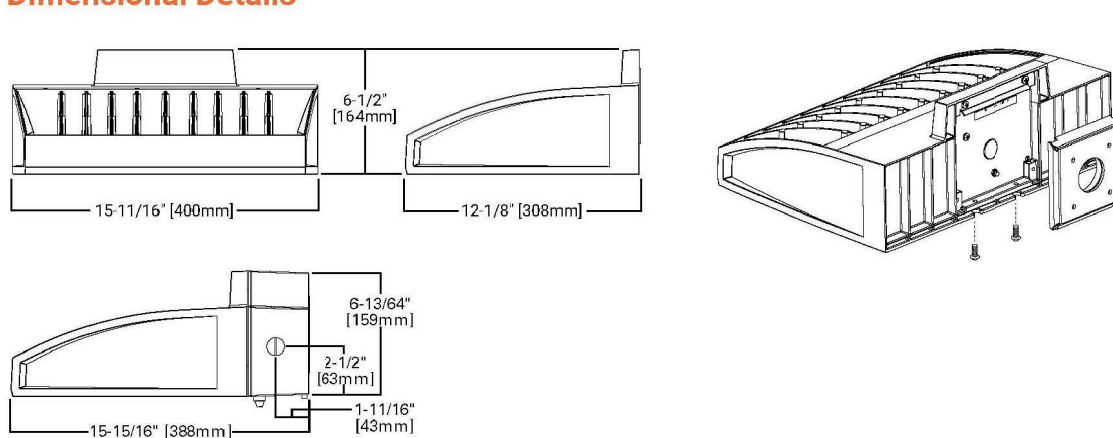
## Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 3
- Energy and Performance Data page 4
- Control Options page 6

## Quick Facts

- Choice of thirteen high-efficiency, patented AccuLED Optics™
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

## Dimensional Details



COOPER  
Lighting Solutions

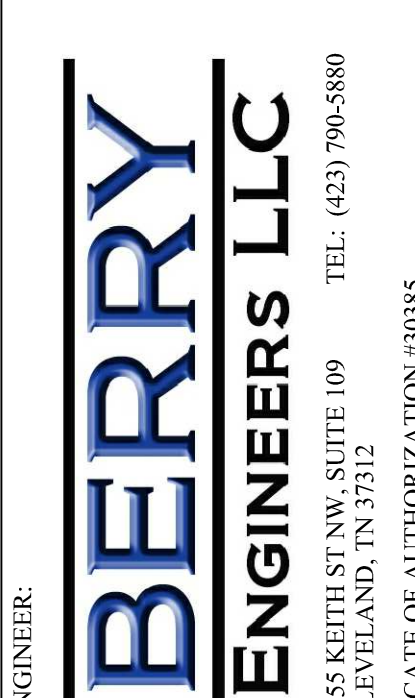
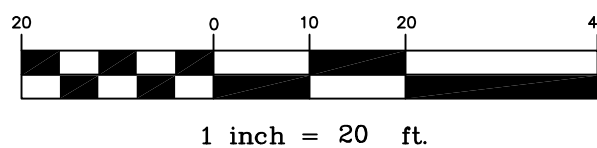
PS00046EN page 1  
January 7, 2021 9:09 AM



PS00046EN page 2  
January 7, 2021 9:09 AM

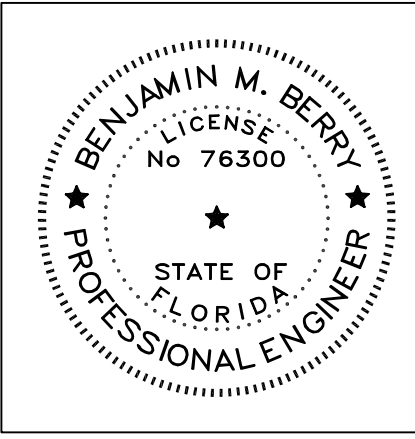


PS00046EN page 3  
January 7, 2021 9:09 AM



NOON REAL ESTATE, LLC  
832 GEORGIA AVE, SUITE 355  
CHATTANOOGA, TN 37402  
423-206-2695

MAJOR SITE PLAN  
FAMILY DOLLAR STORE  
NE COUNTY RD 314  
MARION COUNTY, FL



BENJAMIN M. BERRY, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 76300

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BENJAMIN M. BERRY, PE ON DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THE DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

## REVISIONS

1		
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SHEET NAME:  
SITE LIGHTING  
DETAILS

DATE: 04/23/2021

DRAWN BY: CMB

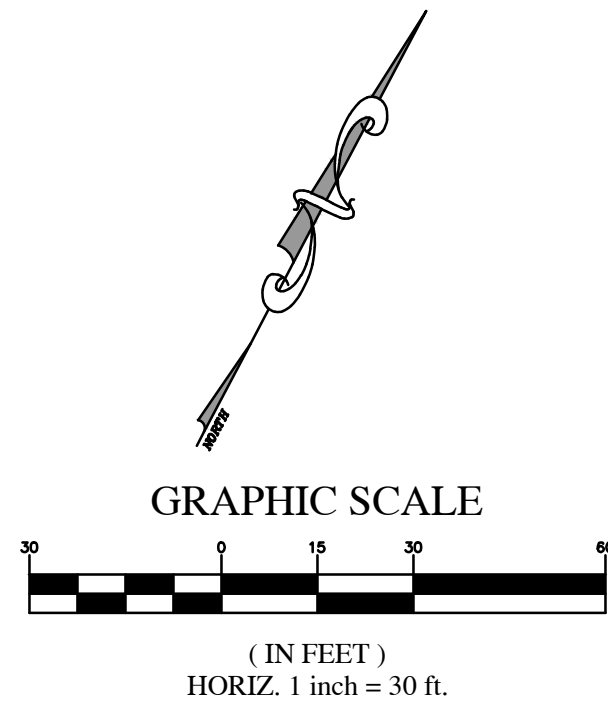
CHECKED BY: BMB

PROJECT NO.: 21015

SHEET NUMBER:

SP-2





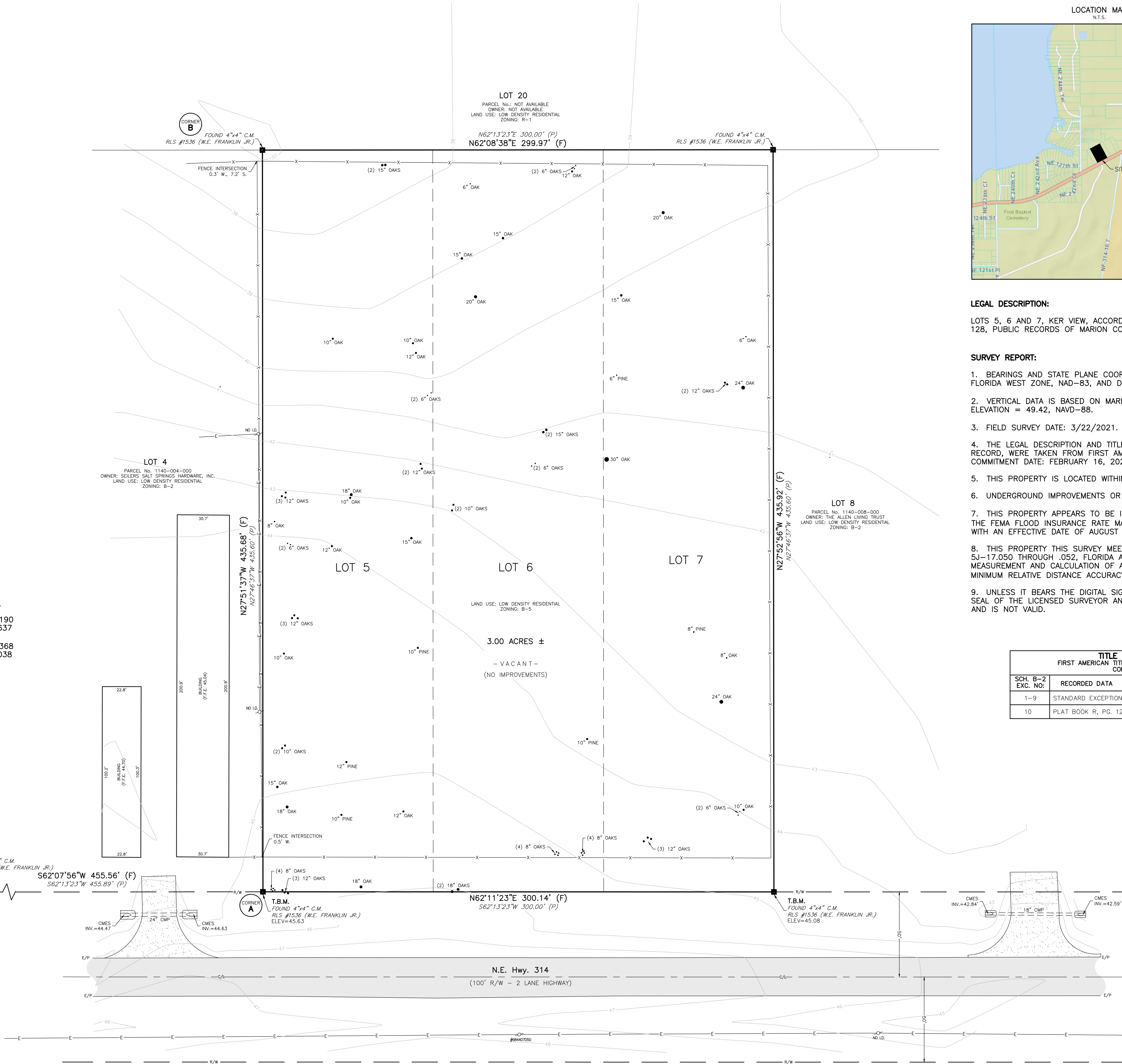
STATE PLANE COORDINATES

CORNER A  
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EASTING X = 736435.637

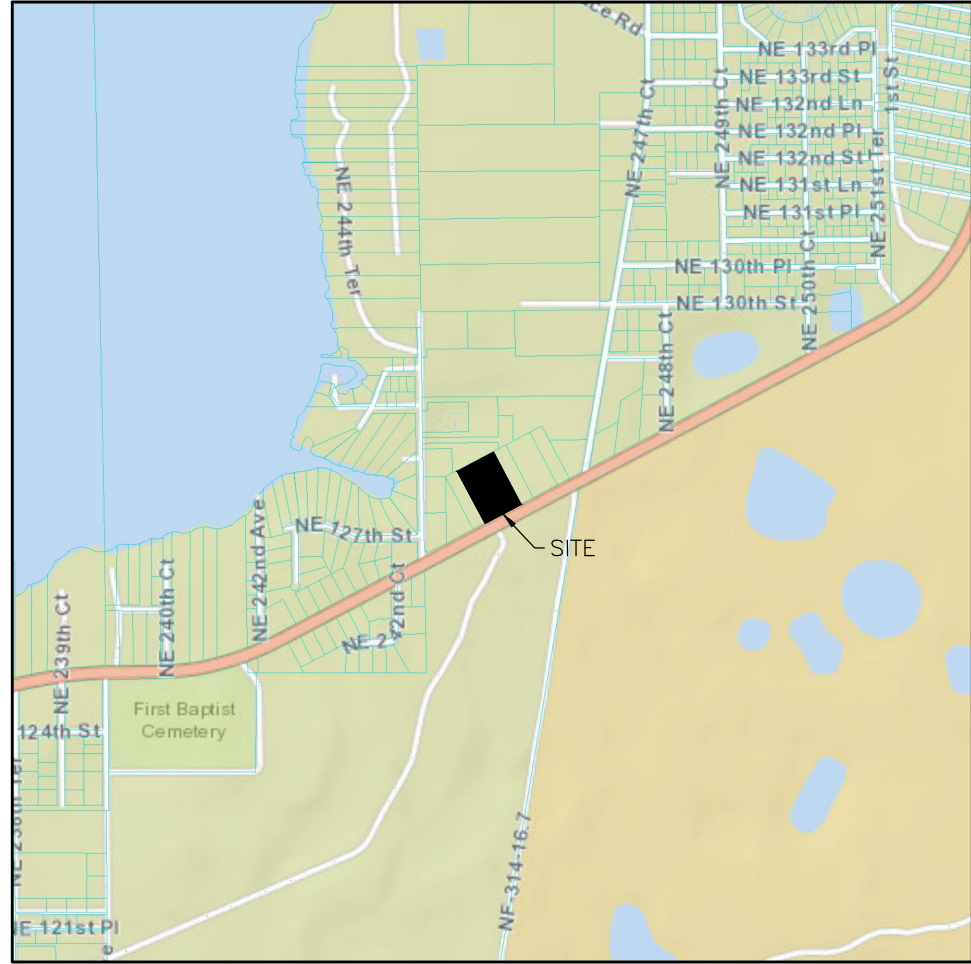
CORNER B  
NORTHING Y = 1819442.368  
EASTING X = 736232.038

LEGEND

C.M. CONCRETE MONUMENT  
R/W RIGHT OF WAY  
E/P EDGE OF PAVEMENT  
C/L CENTERLINE  
SEC. SECTION  
TWP. TOWNSHIP  
RGE. RANGE  
(P) PLAT MEASUREMENT  
(F) FIELD MEASUREMENT  
F.F.E. FINISH FLOOR ELEVATION  
T.B.M. TEMPORARY BENCHMARK  
ELEV. ELEVATION  
INV. INVERT  
O.R.B. OFFICIAL RECORDS BOOK  
PG. PAGE  
P.R.M. PERMANENT REFERENCE MONUMENT  
CMES CONCRETE MITERED END SECTION  
CMP CORRUGATED METAL PIPE  
TREE  
GROUND CONTOUR  
UTILITY POLE AND GUY ANCHOR  
OVERHEAD WIRES  
FENCE  
CONCRETE  
ASPHALT



LOCATION MAP  
N.T.S.



LEGAL DESCRIPTION:

LOTS 5, 6 AND 7, KER VIEW, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK R, PAGE 128, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

SURVEY REPORT:

- BEARINGS AND STATE PLANE COORDINATES ARE BASED ON THE STATE PLANE COORDINATES SYSTEM, FLORIDA WEST ZONE, NAD-83, AND DERIVED FROM THE L-NET NETWORK.
- VERTICAL DATA IS BASED ON MARION COUNTY VERTICAL CONTROL POINT "99 JAS", PUBLISHED ELEVATION = 49.42, NAVD-88.
- FIELD SURVEY DATE: 3/22/2021.
- THE LEGAL DESCRIPTION AND TITLE INFORMATION REFLECTING RIGHT-OF-WAYS, OR EASEMENTS OF RECORD, WERE TAKEN FROM FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: NCS-1052762-ATL, COMMITMENT DATE: FEBRUARY 16, 2021.
- THIS PROPERTY IS LOCATED WITHIN A MARION COUNTY ENVIRONMENTALLY SENSITIVE OVERLAY ZONE.
- UNDERGROUND IMPROVEMENTS OR UTILITIES WERE NOT LOCATED.
- THIS PROPERTY APPEARS TO BE IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0405, SUFFIX D, WITH AN EFFECTIVE DATE OF AUGUST 28, 2008.
- THIS PROPERTY THIS SURVEY MEETS THE STANDARDS OF PRACTICE CONTAINED IN CHAPTER SJ-17.050 THROUGH .052, FLORIDA ADMINISTRATIVE CODE AND THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THE MINIMUM RELATIVE DISTANCE ACCURACY FOR COMMERCIAL/HIGH RISK LAND USE.
- UNLESS IT BEARS THE DIGITAL SIGNATURE AND CERTIFICATION OR THE PHYSICAL SIGNATURE AND SEAL OF THE LICENSED SURVEYOR AND MAPPER, THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

TITLE COMMITMENT INFORMATION TABLE  
FIRST AMERICAN TITLE INSURANCE COMPANY FILE NO: NCS-1052762-ATL  
COMMITMENT DATE: FEBRUARY 16, 2021

SCH. B-2 EXC. NO:	RECORDED DATA	APPLICABLE	PLOTTABLE	REASON IF NOT PLOTTABLE
1-9	STANDARD EXCEPTIONS			STANDARD EXCEPTIONS
10	PLAT BOOK R, PG. 128	YES	YES	

SURVEYOR'S CERTIFICATE:

TO: NOON REAL ESTATE, LLC, NOON SALT SPRINGS, LLC,  
FIRST HORIZON BANK AND FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 6b, 7a, 8, 9, 11, 13, 16, 17, 18, 19 & 20 OF TABLE THEREOF, AND THAT IT IS IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE MARION COUNTY L.D.C. AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS. THE FIELDWORK WAS COMPLETED ON 3/22/2021.

RODNEY K. ROGERS DATE  
PROFESSIONAL SURVEYOR & MAPPER  
REGISTRATION NO. 5274  
STATE OF FLORIDA

ROGERS ENGINEERING, LLC  
Civil Engineering & Land Surveying  
1105 S.E. 3rd Avenue • Ocala, Florida 34471 • Ph. (352) 622-9214 • Lic. Bus. #4074

AN ALTA/NSPS LAND TITLE SURVEY  
FOR  
NOON REAL ESTATE, LLC  
NOON SALT SPRINGS, LLC

JOB No.  
21-1140-005-000

DATE  
3/25/2021

SCALE  
1" = 30'

SHEET  
1 OF 1

REVISION  
DATE

Robert L. Rogers, PE  
Fl. Reg. No. 10027  
rlrogers@rogerseng.com  
Rodney K. Rogers, PSM  
Fl. Reg. No. 5274  
rkrogers@rogerseng.com