



Marion County

Development Review Committee

Meeting Agenda

Monday, August 5, 2024

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A PUBLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

- 1. ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ADOPT THE FOLLOWING MINUTES:**
 - 3.1. July 29, 2024**
- 4. PUBLIC COMMENT**
- 5. CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL**

- 5.1. **Jordan Jeffrey Lee - Waiver Request for Family Division**
12400 NE Hwy 314 Silver Springs
Project #2024030005 #31804 Parcel #16220-000-00
Jordan Jeffrey Lee

LDC 2.16.1.B(10) - Family Division

CODE states Family Division. A parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside of the Farmland Preservation area each new tract and the remaining parent tract must be at least one acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are low density residential property exceeding two acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be allowed to be divided more than three times as a family division. Minimum access onto a road or street shall be 40 feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision to the same family member more than once every five years shall be permitted. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process.

APPLICANT requests family division to give 4.5 acres to son Matthew Jordan.

- 5.2. Sanders Romaine Marcum - Waiver Request for Family Division**
2850 NE 41st PL Ocala
Project #2024070072 #31811 Parcel #15842-001-01
Sanders Romaine Marcum

LDC 2.16.1.B(10) - Family Division

CODE states Family Division. A parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside of the Farmland Preservation area each new tract and the remaining parent tract must be at least one acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are low density residential property exceeding two acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be allowed to be divided more than three times as a family division. Minimum access onto a road or street shall be 40 feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision to the same family member more than once every five years shall be permitted. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process.

APPLICANT requests family division to give one acre to son for his residence.

- 5.3. WME Waiver for MO10 8010-0968-10 - Waiver Request to Water Main Extension**
6965 SW 132nd PL Ocala
Project #2024070070 #31805 Parcel #8010-0968-10
Holiday Builders

LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner

CODE states When property is within connection distance to water, the water main shall be extended to the farthest property line by Developer. Refer to Sec. 6.15.3.B for fire hydrant installation requirements.

APPLICANT states Water main exists at parcel's corner but not across as is required by Code 6.14.2.A(3). Conditional Waiver approved provided applicant (1) opens a water utility account with MCU; (2) pays all Connection charges; and (3) pays \$5K capital connection fee as this is part of a pending ARPA grant to design and extend water main for all gaps in Marion Oaks Units 7/10.

6. SCHEDULED ITEMS:

- 6.1. Marion Oaks Unit 2 Improvement - Waiver Request to Improvement Plan in Review**
Project #1999001650 #29457 Parcel #8002-0088-11
Radcliffe Engineering

LDC 6.12.12.A, B, & C - Sidewalks

CODE states A. Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards. B. Sidewalks outside the right-of-way and independent of the street system are encouraged as an alternative to sidewalks parallel to a roadway, provided equivalent pedestrian needs are met. C. The sidewalk system shall provide connectivity between existing and proposed developments.

APPLICANT requests sidewalk requirement waiver with a condition that the sidewalks will be constructed at the time of home construction and at the end of two years or 60 percent development, the remainder of the sidewalks will be constructed.

LDC 6.12.9.K - Subdivision roads and related infrastructure

CODE states Centerline radii shall be designed to accommodate the minimum design speed of 30 mph for subdivision local and minor local roads, 40 mph for major local and collector roads, and 45 mph for arterial roads in accordance with FDOT and AASHTO Standards.

APPLICANT requests waiver to provide appropriate warning signage for decreased speed on curves not meeting 30 mph design speed requirement.

- 6.2. Farm Credit Building Addition - Waiver Request to Major Site Plan in Review**
5075 NW Blitchton RD Ocala
Project #2023080063 #31389 Parcel #21585-001-00
Davis Dinkins Engineering

LDC 2.12.8. - Current boundary and topographic survey

CODE states current boundary and topographic survey (one-foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.

APPLICANT requests waiver as no significant changes have been made since field work was completed for survey in late 2022.

LDC 6.8.6.D - Buffers

CODE states buffers may consist of landscaping, buffer walls, fencing, berms, or combinations thereof which work cohesively to achieve the intent of buffering.

APPLICANT requests waiver to utilize existing vegetation on northern boundary as existing new is requested.

This item is at the discretion of the County Engineer, or their designee. A deviation request is under review.

LDC 6.11.4.B(2) - Cross Access

CODE states cross access shall be provided and constructed for all commercial, industrial, and multi-family residential development on arterial and collector roads unless it is determined by the County Engineer to not be practical or reasonable due to adjacent features, specific type of development, or the potential development of the adjacent property.

APPLICANT states the site to the east is developed and does not provide cross access and the site to the west is proposed self-storage with drainage proposed on the SE portion preventing connection.

LDC 6.12.12.A, B, & C - Sidewalks

CODE states A. Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards. B. Sidewalks outside the right-of-way and independent of the street system are encouraged as an

alternative to sidewalks parallel to a roadway, provided equivalent pedestrian needs are met. C. The sidewalk system shall provide connectivity between existing and proposed developments.

APPLICANT states US 27 is an FDOT section without sidewalks in this location and this was discussed with staff during conceptual review.

- 6.3. Nextran Ocala - Standalone Waiver Request to Access Management for Previously Approve Major Site Plan**
7398 NW 44th Ave Ocala
Project #2021070099 #31795
Parcel #13160-001-00, 13160-002-00, 13166-003-00 & 13166-001-00
Kimley-Horn & Associates

The Major Site Plan was previously approved on 5/22/23 subject to a condition a final hold be placed relative to the easement.

LDC 6.11.4.C(2) - Access management

CODE states Access to adjacent lands. Access to adjacent platted lands shall be provided at selected points, as approved by the County, by extending an existing or proposed street to the subdivision boundary. APPLICANT requests to reconsider the requirement to provide public ingress/egress access easement for NW 73rd Place and remove all inspection/certificate of occupancy holds. See attached project information letter.

- 6.4. Union Corrugating - Waiver Request to a Major Site Plan**
490 Oak Rd Ocala
Project #2016120025 #31768 Parcel #9014-0044-01
Moorhead Engineering Company

LDC 2.21.1.A(1) Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests a waiver as the existing site was developed in 1971 as a manufacturing facility. The building has been connected to both Marion County water and sanitary utilities, the building has a fire sprinkler system that is connected to Marion County water system as well. All stormwater runoff has been accounted for and drains to two different county WRA's. The proposed 3375 square feet warehouse will have on site water retention area for it.

- 6.5. Trident Pool Taub - Waiver Request to Major Site Plan**
16296 SE 83rd Ave Summerfield
Project #2024070075 #31816
Parcel #4703-040-044 Permit #2024064664
Jennifer's Permitting Service

LDC 2.21.1.A(1) - Major Site Plan

CODE states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests waiver as the homeowner proposes an inground pool with deck; existing impervious is 4,475 square feet on a 0.29-acre lot and the pool deck is additional 213 square feet for a total of 4,688 square feet of impervious where 4,421 square feet is allowed; Desire to work with stormwater to address the overage of 267 square feet.

- 6.6. Peterson & Smith Guard House - Waiver Request to a Major Site Plan**
4747 SW 60th Ave All Units Ocala
Project #2024070066 #31801
Parcel #23834-001-02 Permit #2024051252
McLauchlin & Company

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests waiver because Peterson & Smith Equine Hospital has an approved major site plan dated 4/21/06 which shows the proposed improvements for the site (Parcel #23834-001-02). The improvements included the main equine hospital building, several horse barns, paddocks, miscellaneous asphalt driveways, parking areas and stormwater retention ponds and structures to accommodate the planned impervious area. The attached site plan differentiates between existing and future improvements and shows the extent of the proposed scope. The overall site is 11.52 acres.

To date, not all the approved buildings on the major site plan have been built. However, all the retention ponds and stormwater structures have been built to accommodate the full approved impervious area of the site. The major site plan that was previously approved a credit of 20,737 square feet of impervious area on file with Marion County Stormwater.

The property owner is requesting approval to build a tiny receiving office that is 12-foot wide by 12-foot long (144 square feet) and add approximately 1,360 square feet of pavement to the property. These two improvements will add 1,504 square feet of impervious area to the property but will not come close to the originally approved impervious area.

We are asking for a waiver to the requirement for a revised major site plan, since these two minor improvements will not come near the already approved impervious area for which the current stormwater system is designed to accommodate. After these minor improvements are completed, there will still be 19,233 square feet of impervious that could be built for the current stormwater system that is in operation. These minor improvements are internal to the site and not visible from SW 60th Avenue. The existing facility is nicely landscaped and is sufficient for this minor request.

- 6.7. Channel Innovations Relocation - Waiver Request to Major Site Plan
Project #2024070016 #31758
Parcel #9023-0475-26 Permit #2024053360
Fincher Services**

Tabled on 7/29/24, applicant was not in attendance.

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests a waiver to the major site plan for concrete slabs. The site will be over the allowed 35 percent (7,013 square feet) per Marion County LDC. Total proposed new impervious area - 780 square feet.

- 6.8. Barbara D Swoap - Waiver Request for Family Division
11375 SE 108th Terrace Rd Belleview
Project #2024030054 #31812 Parcel #39396-001-01
Jason Swoap**

LDC 2.16.1.B(10) - Family Division

CODE states Family Division. A parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside of the Farmland Preservation area each new tract and the remaining parent tract must be at least one acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are low density residential property exceeding two acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be allowed to be divided more than three times as a family division. Minimum access onto a road or street shall be 40 feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision to the same family member more than once every five years shall be permitted. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process.

APPLICANT requests family division to amend a previously approved family division for 1 acre (AR# 31315) to give 3 acres to son Jason for his primary residence.

**6.9. Portion of east 30' of Centre Street aka SE 136th Court in South Lake Weir - Road Closing / Abrogation
16180 SE 137th Ct Weirsdale
Project #2024020055 #31164 Parcel #4984-007-000
Weirsdale Presbyterian Church**

On 7/15/24 this item was approved subject to an easement being granted for the southern parcel with the driveway and providing a certified survey showing that all parcels are not one lot in block six.

Applicant now requests amending the original application to seek abrogation of the original segment of SE 136th Court (formerly Centre Street), less and except the South 293 feet thereof which will maintain (along its west side) the public right of way between Blocks 6 and 7 of South Lake Weir along the entire east line of Marion County Parcel 4984-006-001 (a distance of 253 feet) and provide the minimum frontage of 40 feet to the remainder of Lot 4, Block 6, and all of Lot 6 and the south 91 feet of Lot 3, Block 7 (on its east side). My understanding from the discussions with DRC is that this would be an acceptable option to alleviate any concerns over landlocking said Lots 4 and 3 as a result of the presumed adoption of a formal resolution by the Board of County Commissioners.

Previously Applicant had requested to close road/ally/W 1/2 of road previously closed in 1956 (DB 340, page 514); complete road closure will allow petitioner to clear portions of trail road (infrequently used) encroaching onto Petitioner's property and will help prevent illegal dumping by others for which Petitioner recently received a code enforcement violation and will allow Petitioner to better secure and protect property used to conduct Boy Scout and other related activities.

7. CONCEPTUAL REVIEW ITEMS:

8. DISCUSSION ITEMS:

9. OTHER ITEMS:

10. ADJOURN:



Marion County

Development Review Committee

Agenda Item

File No.: 2024-16099

Agenda Date: 8/5/2024

Agenda No.: 3.1.

SUBJECT:
July 29, 2024



Marion County

Development Review Committee

Meeting Minutes

412 SE 25th Ave
Ocala, FL 34471
Phone: 352-671-8686

Monday, July 29, 2024

9:00 AM

Office of the County Engineer

MEMBERS OF THE PUBLIC ARE ADVISED THAT THIS MEETING / HEARING IS A PUBLIC PROCEEDING, AND THE CLERK TO THE BOARD IS MAKING AN AUDIO RECORDING OF THE PROCEEDINGS, AND ALL STATEMENTS MADE DURING THE PROCEEDINGS, WHICH RECORDING WILL BE A PUBLIC RECORD, SUBJECT TO DISCLOSURE UNDER THE PUBLIC RECORDS LAW OF FLORIDA. BE AWARE, HOWEVER, THAT THE AUDIO RECORDING MAY NOT SATISFY THE REQUIREMENT FOR A VERBATIM TRANSCRIPT OF THE PROCEEDINGS, DESCRIBED IN THE NOTICE OF THIS MEETING, IN THE EVENT YOU DESIRE TO APPEAL ANY DECISION ADOPTED IN THIS PROCEEDING.

1. ROLL CALL

MEMBERS PRESENT:

Michael Savage Chairman (Building Safety Director)
Ken McCann, Vice Chairman (Fire Marshal)
Steven Cohoon (County Engineer)
Cheryl Martin (Growth Services Director)
Jody Kirkman (Utilities Director)

OTHERS PRESENT:

Ken Weyrauch (Planning/Zoning)
Alice Webber (Planning/Zoning)
Ken Odom (Planning/Zoning)
Susan Heyen (Landscape/Parks)
Michelle Hirst (911 Management)
Dana Olesky (Legal)
Kevin Vickers (Office of the County Engineer)
Heather Ringo (Office of the County Engineer)
Don Watson (Office of the County Engineer)
Kristen Savage (Office of the County Engineer)
Brittney Murphy (Office of the County Engineer)

2. PLEDGE OF ALLEGIANCE

3. ADOPT THE FOLLOWING MINUTES:**3.1. July 22, 2024****Motion by Jody Kirkman to approve the minutes, seconded by Steven Cohoon**

Motion carried 5-0

4. PUBLIC COMMENT: None**5. CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL: None****6. SCHEDULED ITEMS:****6.1. Marion Oaks Unit 9 Townhomes - Waiver Request to Minor Site Plan in Review
Project #2024070047 #31785 Parcel #8009-1279-21
Menadier Engineering**

This plan is still pending review by Land Use. Comments are due 7/31/24.

LDC 6.12.12.D - Sidewalks

CODE states at the discretion of the Development Review Committee, in lieu of construction along external streets, the developer may pay a sidewalk fee to the County in an amount necessary to complete construction. This amount shall be determined by the project engineer and approved by the County with payment required prior to final plan approval. The County may use these funds toward the construction of sidewalks throughout the County based on priorities established by the Board.

APPLICANT requests waiver to make payment in lieu of constructing 339 linear feet of sidewalks along SW 63rd Avenue and SW 137th Place.

Motion by Steven Cohoon to approve the waiver request subject to paying the fee in lieu of construction, seconded by Ken McCann

Motion carried 5-0

**6.2. Debonair Estates (fka: Golden Ocala North Golf Residential) - Waiver Request to Improvement Plan in Review
7716 N US HWY 27 Ocala
Project #2020090102 #29490 Parcel #12672-000-00, 12674-001-01, 12673-000010, 13668-000-02, 12674-001-03, 12673-000008, 12673-000009
Tillman & Associates Engineering****LDC 6.13.3.D(1) - Types of stormwater management facilities**

CODE states Residential subdivisions. Retention/detention areas shall have side slopes no steeper than 4:1 (horizontal: vertical) with a minimum berm width of 12 feet stabilized at six percent grade maximum around the entire perimeter of the

facility. Side slopes steeper than 4:1 may be allowed with additional accommodations related to public safety, maintenance, and access upon approval by the County Engineer or his designee.
 APPLICANT requests a waiver from berm width criteria for private DRAs. Requested minimum berm width of 5 feet.

Motion by Steven Cohoon to approve the waiver request, seconded by Jody Kirkman

Motion carried 5-0

**6.3. Racetrac Summerfield - Waiver Request to Major Site Plan in Review
 Project #2008020043 #31043 Parcel #45976-000-00 & 46008-001-00
 Mastroserio Engineering**

LDC 6.8.8.B - Building landscaping

CODE states Landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas required for access to the building.

APPLICANT requests waiver to provide building screening using the Type C buffer. The proposed landscaping in the densely planted Type C buffer will meet the intent of this code section.

Motion by Michael Savage to approve the waiver request subject to working with staff to accomplish the building landscaping, seconded by Ken McCann

Motion carried 5-0

LDC 6.12.12.A, B, C - Sidewalks

CODE states A. Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards. B. Sidewalks outside the right-of-way and independent of the street system are encouraged as an alternative to sidewalks parallel to a roadway, provided equivalent pedestrian needs are met. C. The sidewalk system shall provide connectivity between existing and proposed developments.

APPLICANT requests waiver to construct the sidewalk route as shown on the submitted site plan. Sidewalk is shown along SE Sunset Harbor Road and S US HWY 441 with direct access to the front of the building from S US HWY 441. A waiver is also requested to defer construction of the sidewalk along Hwy 441 south to the limits of the proposed right turn lane as shown on the submittal plan.

Motion by Steven Cohoon to approve the waiver request for the southern sidewalk extension with sidewalk being constructed into the site off of Sunset Harbor Road or pay the fee in lieu of construction as well as working with staff to reduce the buffer, seconded by Jody Kirkman

Motion carried 4-0

LDC 2.12.18. - Trees

CODE states All trees 10 inches DBH and larger and groups of trees. Location of smaller diameter trees may be required depending on habitat and species.

APPLICANT requests waiver to survey a limited area, agreed upon due to the existing tree density on-site. The existing tree size and density will be use to provide tree removal and replacement calculations in the landscape plans.

Motion by Jody Kirkman to approve the waiver request, seconded by Ken McCann

Motion carried 5-0

- 6.4. Ocala Spec Building #2 (HFL2) - Waiver Request to Major Site Plan in Review
4031 NW 35th St Ocala
Project #2021010099 #31672 Parcel #13708-000-05
Langan Engineering and Environmental Services**

LDC 6.8.7.A, B, C, D, E, F, G, & H - Parking areas and vehicular use areas

CODE states A. A minimum five-foot wide landscape area consisting of shrubs and groundcovers, excluding turfgrass, shall be provided around the perimeter of parking areas to form a landscape screen with a minimum height of three feet achieved within one year of planting. A land use buffer that abuts a parking area may satisfy this requirement.

B. Landscaping adjacent to parking areas and vehicular use areas shall be protected from being damaged. Landscaping at the end of parking stalls shall be offset away from the parking stall to allow for vehicle overhang. The area between the landscape screening and the end of the parking stall shall be mulched and contain no vertical irrigation components.

C. A landscaped parking lot island shall be located every ten parking spaces and shall be a minimum of 200 square feet in size with properly drained soils. For paved parking areas within a Primary SPZ, including those with permeable or porous surfaces, parking lot islands shall be completely planted with shrubs or groundcovers; the use of turfgrass is prohibited.

D. Trees within parking areas. (1) All trees required for parking areas and vehicular use areas shall be shade trees, unless required otherwise by provisions in this section. (2) All parking lot islands, including terminal parking lot islands, shall contain one shade tree unless site lighting fixtures are proposed in said island. Double parking lot islands (where double-loaded parking bays are proposed) shall contain two shade trees. (3) In parking lot islands with site lighting fixtures, an arrangement of one or two accent/ornamental trees shall be installed depending on the size and configuration of the island. (4) Parking lot islands with control signage may contain other tree (or palm) species, in lieu of shade trees, which will not conflict with the visibility of such signage.

E. Each row of parking spaces shall be terminated by a landscaped island.

F. Divider medians may be used to meet parking area landscape requirements. (1) The minimum width of a divider median shall be eight feet. (2) One shade tree shall be provided per 50 lineal feet of divider median.

G. To offset heat gain from paved surfaces, shade trees as required in Section 6.7.4 should be located to provide as much shade as possible on such surfaces.

H. Parking lot screening must be achieved regardless of other landscaping requirements in this article. Shade trees as required in Section 6.7.4 may be

integrated into the parking area landscaping.

APPLICANT states the code sections specify that landscape buffers and plantings are required for parking lots. The applicant intends to stripe the areas for car parking that were originally intended for truck loading at the southwest corner of the existing building. In the future, these areas could be converted back to loading. We will provide an equivalent number of plants required on the perimeter of the area but not within the parking lot.

Motion by Ken McCann to approve the waiver request with the modification as discussed with staff, seconded by Michael Savage

Motion carried 5-0

6.5. Corta Commons - Waiver Request to Major Site Plan in Review

Project #2024020064 #31416

Parcel #3501-200-023, 3501-200-022, 3501-200-021, 3501-200-020, 3501-200-019, 3501-200-018, 3501-200-040, 3501-200-039, 3501-200-038, 3501-200-037, 3501-200-036, 3501-200-035, 3501-200-034, 3501-400-003 & 3501-400-004

MJ Stokes Consulting

LDC 2.21.4.E - Construction, completion and close out

CODE states All improvements shall be constructed in accordance with approved plans.

APPLICANT requests a waiver to start Clearing and Grading early at risk to CORTA/Developer in order to begin site preparation prior to final Major Site Plan approval anticipated to be completed shortly after the August 20th BOCC follow up meeting/review regarding Landscape Buffering on perimeter of property. We are uploading and have uploaded full landscape plans addressing BOCC resolution/comments for buffering especially along 84th Ave Rd.

Motion by Michael Savage to approve the waiver request at the owners own risk, seconded by Jody Kirkman

Motion carried 5-0

LDC 6.8.8.B - Building Landscape

CODES states landscape areas shall be provided adjacent to or within 25 feet from the building walls and shall extend along 60 percent of the total length of the wall, excluding those areas required for access to the building.

APPLICANT requests a waiver as they would like to propose to relocate the required foundation plantings to the perimeter buffer along SR 200 to allow pedestrian spaces and areas for produce/merchandise displays. The proposed north facing building elevations also have several overhangs that will cause several areas to be heavily shaded which will significantly restrict the planting options. (This is specifically for the Sprouts and Retail Buildings).

Motion by Ken McCann to approve the waiver request subject to the relocation of the building landscape as noted by staff, seconded by Michael Savage

Motion carried 5-0

6.6. River Creek RV Resort - Waiver Request to Major Site Plan in Review
10485 NE Hwy 314 Silver Springs
Project #2022070093 #28880 Parcel #31790-000-00
Pigeon-Ardurra

LDC 6.8.6.J - Buffers - South

CODE states Required buffer types between land uses. (1) Specialized Commerce Districts include a mix of both commercial and industrial land uses; therefore, buffer requirements shall apply only to lots on the perimeter of the district. (2) Buffer installation and maintenance shall be provided concurrently with the development of the more intense land use, with the following deviations: (a) When a new but less intense land use is developed adjoining a pre-existing developed site with a higher intensity use, the new use is subject to providing the required land use buffer. (b) When a new but less intense land use is responsible for providing the required land use buffer, the developer may reduce the required buffer by one buffer type with acknowledgement of the buffer reduction clearly noted on the development plan. (c) The development of an individual single-family residence or duplex is exempt from providing the required buffer (3) In interpreting and applying the provisions of buffers, development is classified into categories shown in Table 6.8-1. (4) Table 6.8-2 provides the type of buffer required between a proposed use and an existing use, or in the absence of an existing use.

APPLICANT states a Type C buffer is required between commercial and ROW. Applicant requests waiver to be allowed to use existing vegetation for all tree and shrub plantings. There is enough existing trees and vegetation within the proposed 30-foot buffer that will be preserved to exceed the required planting in a Type C buffer. If buffer area does not provide plantings as defined by Type C definition, additional plantings to be provided as needed.

Motion by Cheryl Martin to approve the waiver request, seconded by Ken McCann

Motion carried 5-0

LDC 6.8.6.J - Buffers - West

CODE states Required buffer types between land uses. (1) Specialized Commerce Districts include a mix of both commercial and industrial land uses; therefore, buffer requirements shall apply only to lots on the perimeter of the district. (2) Buffer installation and maintenance shall be provided concurrently with the development of the more intense land use, with the following deviations: (a) When a new but less intense land use is developed adjoining a pre-existing developed site with a higher intensity use, the new use is subject to providing the required land use buffer. (b) When a new but less intense land use is responsible for providing the required land use buffer, the developer may reduce the required buffer by one buffer type with acknowledgement of the buffer reduction clearly noted on the development plan. (c) The development of an individual single-family residence or duplex is exempt from providing the required buffer (3) In interpreting and applying the provisions of buffers, development is classified into categories shown in Table 6.8-1. (4) Table 6.8-2 provides the type of buffer required between a proposed use and an existing use, or in the absence of an existing use.

APPLICANT states a Type C buffer is required between commercial and public use. Applicant requests waiver to be allowed to use existing vegetation for all tree and

shrub plantings. This project is adjacent to the Florida Greenway, which will not be developed. The majority of this buffer will be covered by Conservation Easements (which will be left undisturbed) and will provide greater depths than the buffer standards. Those areas not within the Conservation Easement will be left undisturbed for the entire buffer width.

Motion by Steven Cohoon to approve the waiver request, seconded by Ken McCann

Motion carried 5-0

LDC 6.8.6.J - Buffers - East

CODE states Required buffer types between land uses. (1) Specialized Commerce Districts include a mix of both commercial and industrial land uses; therefore, buffer requirements shall apply only to lots on the perimeter of the district. (2) Buffer installation and maintenance shall be provided concurrently with the development of the more intense land use, with the following deviations: (a) When a new but less intense land use is developed adjoining a pre-existing developed site with a higher intensity use, the new use is subject to providing the required land use buffer. (b) When a new but less intense land use is responsible for providing the required land use buffer, the developer may reduce the required buffer by one buffer type with acknowledgement of the buffer reduction clearly noted on the development plan. (c) The development of an individual single-family residence or duplex is exempt from providing the required buffer (3) In interpreting and applying the provisions of buffers, development is classified into categories shown in Table 6.8-1. (4) Table 6.8-2 provides the type of buffer required between a proposed use and an existing use, or in the absence of an existing use.

APPLICANT states a Type C buffer is required between commercial and public use. Applicant requests waiver to be allowed to use existing vegetation for all tree and shrub plantings. This project is adjacent to the Ocala National Forest, which will not be developed. Portions of this buffer will be covered by Conservation Easements (which will be left undisturbed) and will provide greater depths than the buffer standards. Those areas not within the Conservation Easements will be left undisturbed for the entire buffer width.

Motion by Cheryl Martin to approve the waiver request, seconded by Ken McCann

Motion carried 5-0

LDC 6.8.6.J - Buffers - North (portions adjacent to residential uses)

CODE states Required buffer types between land uses. (1) Specialized Commerce Districts include a mix of both commercial and industrial land uses; therefore, buffer requirements shall apply only to lots on the perimeter of the district. (2) Buffer installation and maintenance shall be provided concurrently with the development of the more intense land use, with the following deviations: (a) When a new but less intense land use is developed adjoining a pre-existing developed site with a higher intensity use, the new use is subject to providing the required land use buffer. (b) When a new but less intense land use is responsible for providing the required land use buffer, the developer may reduce the required buffer by one buffer type with acknowledgement of the buffer reduction clearly noted on the development plan. (c) The development of an individual single-family residence or duplex is exempt from providing the required buffer (3) In interpreting and applying the provisions of

buffers, development is classified into categories shown in Table 6.8-1. (4) Table 6.8-2 provides the type of buffer required between a proposed use and an existing use, or in the absence of an existing use.

APPLICANT states a Type B buffer is required between commercial and single family uses. Applicant requests waiver to be allowed to use existing vegetation for all tree and shrub plantings. There is enough existing trees and vegetation within the proposed buffer, that will be preserved, to exceed the required buffer plantings in a Type 'B' buffer. If buffer area does not provide plantings as defined by Type 'B' definition, additional plantings to be provided as needed.

Motion by Jody Kirkman to table the waiver for further research by staff, seconded by Ken McCann

Motion carried 5-0

LDC 6.13.8.B(7) - Stormwater Conveyance Criteria

CODE states Sizes. Stormwater conveyance pipes and cross culverts shall be a minimum of 18 inches diameter or equivalent. Driveway culverts shall be a minimum of 15 inches diameter or equivalent for residential use and a minimum of 18 inches diameter or equivalent for commercial use. Roof drains, prior to connection to the overall stormwater system, are exempt from minimum diameter requirements. APPLICANT states code requires 18 inches diameter pipes for commercial use. Requesting use of 15-inch diameter pipes as hydraulically shown to work and are within the property.

Motion by Steven Cohoon to approve the waiver request, seconded by Michael Savage

Motion carried 5-0

LDC 6.13.7.B(2) - Geotechnical criteria

CODE states Number of tests. At least two tests shall be performed within the boundary of each proposed retention/detention area. For each half acre of pond bottom area and for each lineal retention/detention area of 250 feet, an additional test shall be conducted. The County Engineer or his designee, may require additional tests if the initial tests indicate the need for them.

APPLICANT states code requires two tests for each drainage area. The soil borings taken at the site show a consistent highly impermeable clay soil horizon beneath the initial 6" to 12" of sand that acts to perch the water table. Because of the conformity of the borings, obtaining more soil borings would not result in any additional information of use in the design of the stormwater facilities. Requesting to not provide additional soil borings for project.

Motion by Steven Cohoon to approve the waiver request, seconded by Jody Kirkman

Motion carried 5-0

LDC 6.11.5.C (1) - Driveway Access

CODE states the minimum allowed distance between a commercial driveway and the nearest intersecting roadway or driveway shall be as shown in Table 6.11-2.

APPLICANT states code requires driveway spacing of 440 for speed limit 36-45 mph. Request waiver to reduce spacing to proposed design. A new full access connection is designed with left turn lane widening from CR 314. Due to the limited

amount of frontage and the power poles, the location of the connection is limited. The design locates the proposed driveway as far north of the existing dirt drive access (NE 14th Street) which is proposed to be shifted south & reconstructed as a paved connection.

This item is under the discretion of the County Engineer. No motion was made for this item.

LDC 2.12.8. - Current boundary and topographic survey

CODE states Current boundary and topographic survey (one-foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor. APPLICANT states code requires topographic survey within 12-months. Request waiver to utilize topographic survey greater than 12-months old. Project was previously approved under AR #3836. No improvements have taken place on site since original survey. An updated boundary survey will be provided.

Motion by Steven Cohoon to approve the waiver request, seconded by Michael Savage

Motion carried 5-0

**6.7. Awning Over Existing Impervious - Waiver Request to Major Site Plan
5029 SE 112th Street Rd Bellevue
Project #2020070029 #31786 Parcel #38498-000-00
Abshier Engineering**

LDC 2.21.1.A(1) - Major Site Plan

CODE states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet. APPLICANT states the site is 2.06 acres. There is currently over 9,000 square feet of impervious. The owner is requesting to install a 33-foot by 35-foot open carport on existing concrete. No new impervious area is being installed.

Motion by Jody Kirkman to approve the waiver request conditionally subject to 1. The applicant providing controls for the additional run-off in excess of the 100-year 24hr storm 2. A permit inspection hold will be in effect until a sketch of the improvements is provided and approved by stormwater department 3. A final hold will be in effect until staff conducts a final inspection verifying construction has occurred and disturbed areas have vegetative cover established at time of final inspection and (b) the applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls, seconded by Cheryl Martin

Motion failed 4-1, with Cheryl Martin, Steven Cohoon, Michael Savage, and Ken McCann voting in opposition

Motion by Michael Savage to approve the waiver request providing any future increase in impervious usage will have to be brought into compliance with the Code, seconded by Ken McCann

Motion carried 4-1 with Jody Kirkman voting in opposition

- 6.8. Channel Innovations Relocation - Waiver Request to Major Site Plan**
Project #2024070016 #31758
Parcel #9023-0475-26 Permit #2024053360
Fincher Services

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests a waiver to the major site plan for concrete slabs. The site will be over the allowed 35 percent (7,013 square feet) per Marion County LDC. Total proposed new impervious area - 780 square feet.

Motion by Jody Kirkman to table the waiver request for a week to give the applicant time to be in attendance, seconded but Michael Savage

Motion carried 5-0

- 6.9. DEG Group Inc - Rezoning to PUD With Concept Plan**
Project #2024070004 #31739 Parcel #35699-008-03
Lowndes, Drosdick, Doster, Et Al

Applicant is requesting a zone change from A-1 to PUD with concept plan to allow 74 SFR lots with stormwater pond and amenities to include playground, sidewalk, walking trails and open space.

Motion by Jody Kirkman to table the waiver request until further information is provided by staff, seconded by Michael Savage

Motion carried 5-0

- 6.10. Sunset Hills PUD Subdivision - Rezoning to PUD with Concept Plan**
10520 SE Sunset Harbor Rd Summerfield
Project #2019120020 #31775 Parcel #48206-000-00
Tillman and Associates Engineering

Applicant is requesting a PUD rezoning from A-1 to amend the master plan for Sunset Hills Development to include 5 additional lots not to exceed 350 units total.

Motion by Jody Kirkman to transmit to the Planning and Zoning Commission, seconded by Ken McCann

Motion carried 5-0

6.11. Water Connection Waiver for SFR 9024-0542-11 - Waiver Request to Water Connection**17 Laurel Pass Ln Ocala****Project #2024070009 #31751****Parcel #9024-0542-11 Permit # 2024052816****Antar Unique Multi Service**

This item was tabled from 7/22/24 due to incorrect parcel ID which has now been corrected.

LDC 6.14.2.B(1)(a) - Water connection

CODE states new development in the Urban or Rural area shall connect to a centralized water system with available capacity if a water line is within a connection distance of 400 feet times the total number of Equivalent Residential Connections (ERCs).

APPLICANT requests a waiver as they feel water main extension (City of Belleview Utilities) is cost prohibitive to the project.

Motion by Jody Kirkman to rehear, seconded by Ken McCann

Motion carried 5-0

Motion by Jody Kirkman to deny the waiver request, seconded by Michael Savage

Motion carried 5-0

6.12. Carty Timothy A & Carty Maureen P - Waiver Request for Family Division**8150 SE 21st Ave Ocala****Project #2024070033 #31765 Parcel #36659-002-02****Carty Timothy A****LDC 2.16.1.B(10) - Family Division**

CODE states Family Division. A parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside of the Farmland Preservation area each new tract and the remaining parent tract must be at least one acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are low density residential property exceeding two acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be allowed to be divided more than three times as a family division. Minimum access onto a road or street shall be 40 feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision to the same family member more than once every five years shall be permitted. Any subdividing of a parcel of record for the purpose of family division shall follow the

waiver request process.

APPLICANT requests a waiver to LDC 2.16.1.B(10) - Family Division to give 2.2 acres to son, not sharing a driveway.

Motion by Jody Kirkman to table until Legal is able to do research, seconded by Cheryl Martin

Motion carried 5-0

7. CONCEPTUAL REVIEW ITEMS: None

8. DISCUSSION ITEMS:

**8.1. Planning & Zoning Commission Items for July 29, 2024
Marion County Growth Services Department**

<https://marionfl.legistar.com/Calendar.aspx>

9. OTHER ITEMS:

Cheryl Martin discussed having Community Services attend a future DRC meeting to talk about the Live Local Act.

Ken McCann mentioned, this is not related to DRC but he sits on the Local Mitigation Strategy Steering Committee which is currently looking for projects eligible for State funding.

Dana Olesky with Legal stated she will be attending DRC meetings, either in person or via WebEx. She asked that if there is anything that needs to be brought to her attention, to please do so prior to the items being placed on an agenda so she may have time to research.

Motion by Steven Cohoon to adjourn, seconded by Michael Savage

Motion carried 5-0

10. ADJOURN: 11:40 am

Michael Savage, Chairman

Attest:

Brittney Murphy
OCE Customer Service Specialist



Marion County

Development Review Committee

Agenda Item

File No.: 2024-16101

Agenda Date: 8/5/2024

Agenda No.: 5.1.

SUBJECT:

Jordan Jeffrey Lee - Waiver Request for Family Division
12400 NE Hwy 314 Silver Springs
Project #2024030005 #31804 Parcel #16220-000-00
Jordan Jeffrey Lee

LDC 2.16.1.B(10) - Family Division

CODE states Family Division. A parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside of the Farmland Preservation area each new tract and the remaining parent tract must be at least one acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are low density residential property exceeding two acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be allowed to be divided more than three times as a family division. Minimum access onto a road or street shall be 40 feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision to the same family member more than once every five years shall be permitted. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process.

APPLICANT requests family division to give 4.5 acres to son Matthew Jordan.

August 2, 2024

PROJECT NAME: JORDAN JEFFREY LEE

PROJECT NUMBER: 2024030005

APPLICATION: FAMILY DIVISION WAIVER REQUEST #31804

- 1 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED
- 2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: N/A
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Approved. The applicant is requesting to divide the 11.3-acre subject parcel (PID 16220-000-00) into two to create a 4.5-acre parcel and a 6.8-acre parcel. Adjacent parcels range in size from 0.5 acres to 266.28 acres.
There appears to be approximately 4,676 sf existing impervious coverage on subject parcel. Most of the existing property is within a FEMA flood zone (Zone A) and a flood prone area in which any fill brought into either area would require compensating storage equal to what was brought into the flood zone/flood prone area. The applicant should note that a Major Site Plan or waiver is required when either parcel is proposed to exceed 9,000 sf impervious site coverage
- 4 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: N/A
- 5 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: 7/23/24 - APPROVED
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED - MCU service area but outside connection distance for a single family home; defer to DOH for well & septic allowance. Shall connect to public utilities within 365 days' notice of availability.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

APPLICATION COMPLETE

COMPLETED INITIALS 7/23/24

TENTATIVE MEETING DATES

DRC P&Z PH 8/05/24

BCC/P&Z-PH

RECEIVED

JUL 22 2024

Marion County
Growth Service

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7-22-24 Parcel Number(s): 162 20, 000, 00 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: JORDAN FAMILY DIVISION Commercial ☐ or Residential ☒

Subdivision Name (if applicable): _____

Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Jeffrey Lee Jordan

Signature: [Signature]

Mailing Address: 13400 DE Hwy 314 City: Silver Springs

State: FL Zip Code: 34488 Phone # 352-804-9100

Email address: ForestlineDis@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): _____ Contact Name: Jeffrey Jordan

Mailing Address: 13400 DE Hwy 314 City: Silver Springs

State: FL Zip Code: 34488 Phone # 352-804-9100

Email address: ForestlineDis@gmail.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.16.1.B(10) - Family Division

Reason/Justification for Request (be specific): H.50 TO SON MATTHEW JORDAN

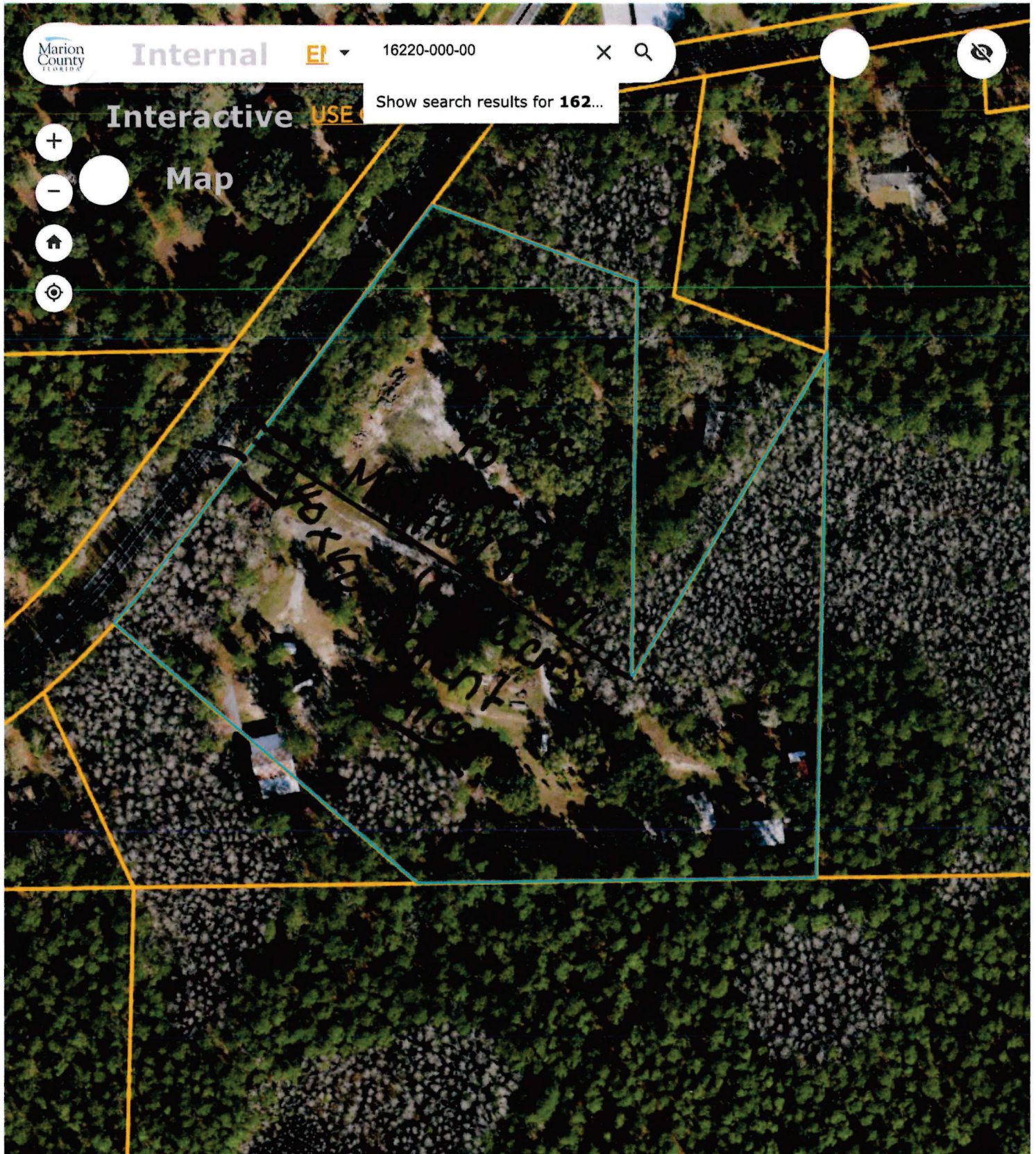
DEVELOPMENT REVIEW USE:

Received By: Grano Date Processed: 7/22/24 Project # 2024030005 AR # 31804

ZONING USE: Parcel of record: Yes ☒ No ☐ Eligible to apply for Family Division: Yes ☒ No ☐

Zoned: A-1 ESOZ: — P.O.M. 287 Land Use: RL Plat Vacation Required: Yes ☐ No ☒

Date Reviewed: 7/22/24 Verified by (print & initial): Christina Franco [Signature]



4.5 acres to son Matthew Jordan.
6.8 parent parcel
acres.

loading...

0 100 200ft

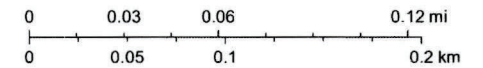
MCBCC Interactive Map - Internal



7/23/2024, 9:41:57 AM

- Parcels Labels
- Parcels
- Address Points
- Structure - Addressed
- No Address
- Marion County
- County Road Maintenance
- OCE Maintained Paved
- Streets

1:2,866



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MCBCC IT/GIS
FOR INTERNAL COUNTY USE ONLY: MAY CONTAIN CONFIDENTIAL INFORMATION. IMPROPER DISCLOSURE MAY RESULT IN CRIMINAL PENALTIES (F.S.119.10).



Marion County

Development Review Committee

Agenda Item

File No.: 2024-16102

Agenda Date: 8/5/2024

Agenda No.: 5.2.

SUBJECT:

Sanders Romaine Marcum - Waiver Request for Family Division

2850 NE 41st PL Ocala

Project #2024070072 #31811 Parcel #15842-001-01

Sanders Romaine Marcum

LDC 2.16.1.B(10) - Family Division

CODE states Family Division. A parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside of the Farmland Preservation area each new tract and the remaining parent tract must be at least one acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are low density residential property exceeding two acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be allowed to be divided more than three times as a family division. Minimum access onto a road or street shall be 40 feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision to the same family member more than once every five years shall be permitted. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process.

APPLICANT requests family division to give one acre to son for his residence.

August 2, 2024

PROJECT NAME: SANDERS ROMAINE MARCUM

PROJECT NUMBER: 2024070072

APPLICATION: FAMILY DIVISION WAIVER REQUEST #31811

- 1 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED
- 2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: N/A
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: 8/1/24-Defer to Zoning
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Approved. The applicant is requesting to divide the 3-acre subject parcel (PID 15842-001-01) into two to create a 1-acre parcel and a 2-acre parcel. Adjacent parcels range in size from 0.1 acres to 14.55 acres.
There appears to be approximately 5,073 sf existing impervious coverage on subject parcel. There are no FEMA Flood Zones or Flood Prone Areas on the property. The applicant should note that a Major Site Plan or waiver is required when either parcel is proposed to exceed 9,000 sf impervious site coverage.
- 5 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: N/A
- 6 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: 7/24/24 - APPROVED
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED - Parcel lies within Central States Water Resources service area. Development on this parcel will require a letter of availability and capacity from the utility provider per 6.14.2. If no public utilities are available at this time, parcel shall connect to publicly available utilities within 365 days of notification. Not in any primary springs protection zone.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

APPLICATION COMPLETE

DATE COMPLETED: 7/24/24
INITIALS: QOW

TENTATIVE MEETING DATES

DRC: 8/05/24
P&Z PH: 8/05/24

BCC/P&Z PH: _____

RECEIVED

JUL 23 2024

Marion County
Growth Service

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7/23/24 Parcel Number(s): 15842-001-01 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Romaine Sanders Commercial ☐ or Residential ☒
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot V Tract _____
3 acres

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Romaine M. Sanders
Signature: Romaine Sanders
Mailing Address: 2850 NE 41ST PL. City: Ocala
State: FL Zip Code: 34479 Phone # 352-732-7906
Email address: conkpeas@centurylink.net

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): _____ Contact Name: Romaine Sanders
Mailing Address: 2850 NE 41ST PL. City: Ocala
State: FL Zip Code: 34479 Phone # 352-732-7906
Email address: conkpeas@centurylink.net

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____ 2.16.1.B(10) - Family Division
Reason/Justification for Request (be specific): to give one acre to my son for his residence

DEVELOPMENT REVIEW USE:

Received By: QOW Date Processed: 7/24/24 Project # 2024070072 AR # 31811

ZONING USE: Parcel of record: Yes ☒ No ☐

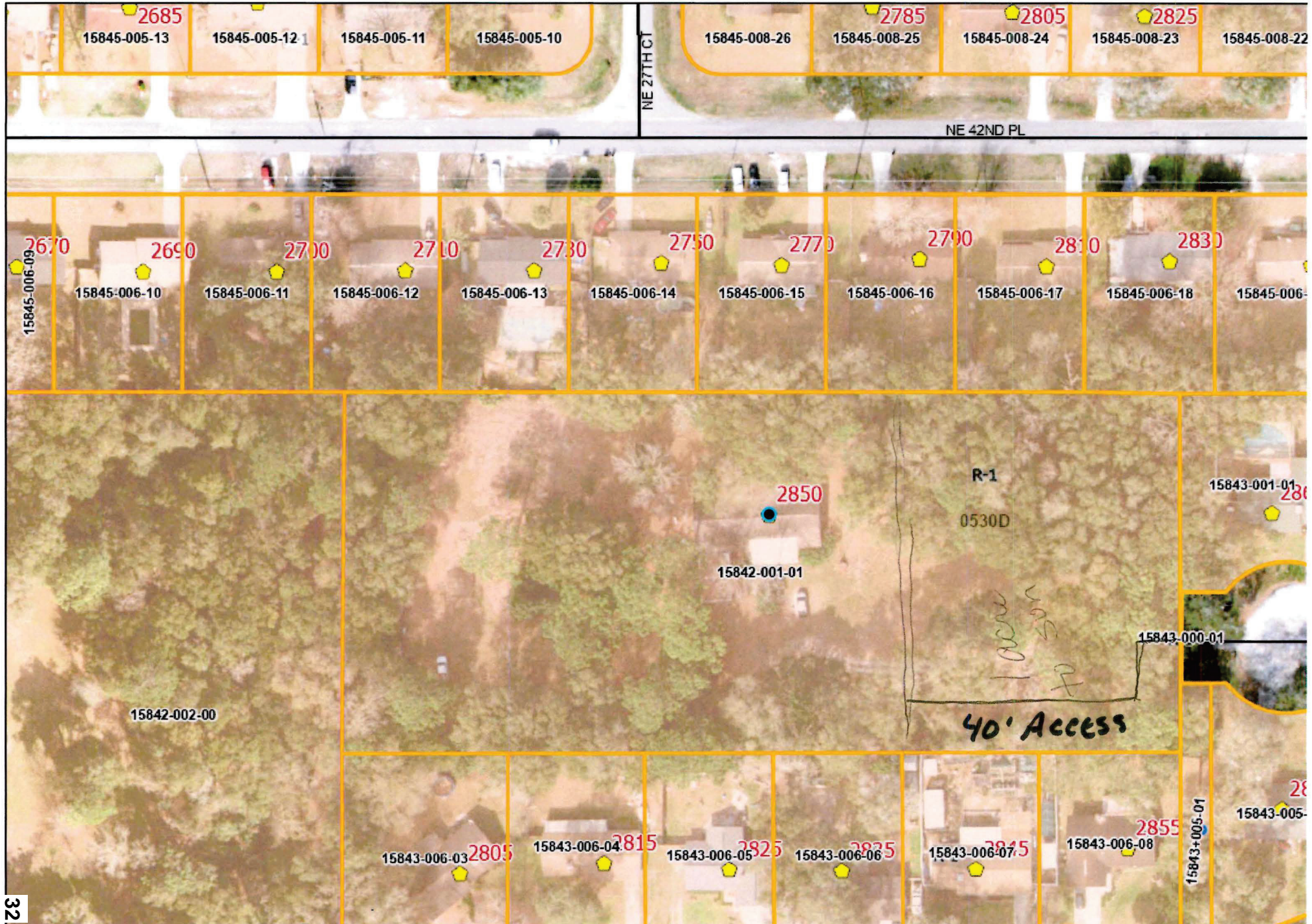
Eligible to apply for Family Division: Yes ☒ No ☐

Zoned: R-1 ESOZ: N/A P.O.M. 194

Land Use: LR Plat Vacation Required: Yes ☐ No ☒

Date Reviewed: 7/23/24 Verified by (print & initial): Clint Backley (CB)

MCBCC Interactive Map - Internal



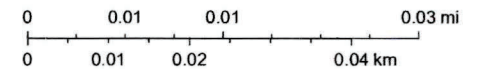
MCBCC Interactive Map - Internal



7/24/2024, 9:35:55 AM

1:717

- Parcels Labels
- Parcels
- Address Points
- Structure - Addressed
- WRA/DRA
- Marion County
- County Road Maintenance
- OCE Maintained Paved
- Streets
- Aerial2023
- Red: Band_1
- Green: Band_2
- Blue: Band_3



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Marion County

Development Review Committee

Agenda Item

File No.: 2024-16103

Agenda Date: 8/5/2024

Agenda No.: 5.3.

SUBJECT:

WME Waiver for MO10 8010-0968-10 - Waiver Request to Water Main Extension

6965 SW 132nd PL Ocala

Project #2024070070 #31805 Parcel #8010-0968-10

Holiday Builders

LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner

CODE states When property is within connection distance to water, the water main shall be extended to the farthest property line by Developer. Refer to Sec. 6.15.3.B for fire hydrant installation requirements.

APPLICANT states Water main exists at parcel's corner but not across as is required by Code 6.14.2.A(3). Conditional Waiver approved provided applicant (1) opens a water utility account with MCU; (2) pays all Connection charges; and (3) pays \$5K capital connection fee as this is part of a pending ARPA grant to design and extend water main for all gaps in Marion Oaks Units 7/10.

August 1, 2024

PROJECT NAME: WME WAIVER FOR MO10 8010-0968-10

PROJECT NUMBER: 2024070070

APPLICATION: DRC WAIVER REQUEST #31805

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner

STATUS OF REVIEW: INFO

REMARKS: N/A

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner

STATUS OF REVIEW: INFO

REMARKS: Defer to Marion County Utilities.

NOTES: Site is Marion Oaks Unit 10, Block 968, Lot 10. Marion Oaks is a historic urban-level mixed-use area development essentially identified as the "Marion Oaks Urban Area" where urban development levels were previously approved and the expansion/extension of urban level services , including central water and sewers, are anticipated and expected for the County - Land use is Medium Residential (MR) and Zoning is Single-Family Dwelling (R-1).

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner

STATUS OF REVIEW: INFO

REMARKS: Defer to Marion County Utilities.

NOTES: Site is Marion Oaks Unit 10, Block 968, Lot 10. Marion Oaks is a historic urban-level mixed-use area development essentially identified as the "Marion Oaks Urban Area" where urban development levels were previously approved and the expansion/extension of urban level services , including central water and sewers, are anticipated and expected for the County - Land use is Medium Residential (MR) and Zoning is Single-Family Dwelling (R-1).

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner

STATUS OF REVIEW: INFO

REMARKS: MCU & APPLICANT CONSENT TO CONDITIONAL APPROVAL - Existing water main encroaches the subject parcel, and will support a meter installation at the property corner. In anticipation of a future water main extension across parcel's frontage, this SFR water main extension requirement may be waived by DRC with payment of capital connection fee and Agreement to connect to MCU water by payment of all connection fees with an MCU Billing Specialist. Applicant will be notified by MCU with follow-up instructions post-DRC approval.

5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner

STATUS OF REVIEW: INFO

REMARKS: 7/26/24-Defer to Utilities

6 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner

STATUS OF REVIEW: INFO

REMARKS: n/a

- 7 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: N/A
- 8 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: N/A
- 9 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: LDC 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
STATUS OF REVIEW: INFO
REMARKS: Defer to Marion County Utilities.
Note: If the connection to water is required via WM, please ensure Contractor restores the ROW back to existing grade.



**Marion County
Board of County Commissioners**

AR 31805

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

Complete this form and email IT and YOUR UTILITY
MAP to DevelopmentReview@MarionFL.org then
after sending, call 352-671-8686 to make payment for your
\$300 application fee (service fee applies by phone).

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7/1/24 Parcel Number(s): 8010-0968-10 Permit Number: 2024062244

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: WME waiver for MO10 8010-0968-10 Commercial ☐ Residential ☒
Subdivision Name (if applicable): Marion Oaks
Unit 10 Block 968 Lot 10 Tract --

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): HOLIDAY BUILDERS INC
Signature: Amy Riddle
Mailing Address: 2293 W EAU GALLIE BLVD City: MELBOURNE
State: FL Zip Code: 32935-3184 Phone #
Email address:

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Holiday Builders Contact Name: Amy Riddle
Mailing Address: 2293 W Ea Gallie Blvd City: Melbourne
State: FL Zip Code: 32935 Phone # 321-610-5217
Email address: ariddle@holidaybuilders.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.14.2.A(3) - Water Main Extension to Farthest Property Corner
Reason/Justification for Request (be specific): Water main exists at parcel's corner but not across as is required by Code 6.14.2A(3). CONDITIONAL WAIVER approved provided applicant (1) opens a water utility account with MCU; (2) pays all Connection charges; and (3) pays \$5K capital connection fee as this is part of a pending ARPA grant to design and extend water main for all gaps in Marion Oaks Units 7/10.

DEVELOPMENT REVIEW USE:

Received By: email 7/22/24 Date Processed: 7/23/24 CH Project # 2024070070 AR # 31805

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: ESOZ: P.O.M. Land Use: Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: Verified by (print & initial):

CLEAR FORM

Revised 6/2021

Empowering Marion for Success

marionfl.org





Marion County

Development Review Committee

Agenda Item

File No.: 2024-16104

Agenda Date: 8/5/2024

Agenda No.: 6.1.

SUBJECT:

Marion Oaks Unit 2 Improvement - Waiver Request to Improvement Plan in Review
Project #1999001650 #29457 Parcel #8002-0088-11
Radcliffe Engineering

LDC 6.12.12.A, B, & C - Sidewalks

CODE states A. Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards. B. Sidewalks outside the right-of-way and independent of the street system are encouraged as an alternative to sidewalks parallel to a roadway, provided equivalent pedestrian needs are met. C. The sidewalk system shall provide connectivity between existing and proposed developments.

APPLICANT requests sidewalk requirement waiver with a condition that the sidewalks will be constructed at the time of home construction and at the end of two years or 60 percent development, the remainder of the sidewalks will be constructed.

LDC 6.12.9.K - Subdivision roads and related infrastructure

CODE states Centerline radii shall be designed to accommodate the minimum design speed of 30 mph for subdivision local and minor local roads, 40 mph for major local and collector roads, and 45 mph for arterial roads in accordance with FDOT and AASHTO Standards.

APPLICANT requests waiver to provide appropriate warning signage for decreased speed on curves not meeting 30 mph design speed requirement.

July 30, 2024

PROJECT NAME: MARION OAKS UNIT 2 IMPROVEMENT

PROJECT NUMBER: 1999001650

APPLICATION: IMPROVEMENT PLAN #29457

- 1 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: INFO
REMARKS: Subdivision was platted in early 70's - pre DRI. Public ROWs are existing, this submittal will make the improvements to the roads and infrastructure
- 2 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.27 - Show location of outside storage areas
STATUS OF REVIEW: INFO
REMARKS:
- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 4.4.4 - Provision for subdivision signs
STATUS OF REVIEW: INFO
REMARKS:
- 4 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: 2.12.6 - Location of water and sewer supply systems with size and capacity (is a SUP needed?)
STATUS OF REVIEW: INFO
REMARKS: Defer to MCU
- 5 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Additional Health comments
STATUS OF REVIEW: INFO
REMARKS: N/A
- 6 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities
STATUS OF REVIEW: INFO
REMARKS: \$1925 - payable to MCU for Utilities review of this project; will not change regardless of resubmittals. Can be paid by calling Development Review at 352-671-8686 & referencing Utility Review fee for AR 29457.
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity
STATUS OF REVIEW: INFO
REMARKS: defer to MCFR; will be served by MCU public water
- 8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.9.B - Bill of Sale
STATUS OF REVIEW: INFO
REMARKS: DEP Clearance applications will not be signed out by MCU until Bills of Sale for respective assets are conveyed. Partial Clearances will be allowed.

- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.9.B - Transfer of Facilities to Marion County Utilities - PLAN NOTE:
STATUS OF REVIEW: INFO
REMARKS: all mains will be dedicated by Bill of Sale to Marion County Utilities - MCU recommends this process start ASAP; contact Carrie.Hyde@MarionFL.org to receive paperwork.
- 10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.8.A - Completion and Closeout - PLAN NOTE: As-builts
STATUS OF REVIEW: INFO
REMARKS: As-builts will be part of the closeout process. As-builts will be required to be submitted in CAD and Adobe formats for review prior to completing Bills of Sale. Refer to LDC (rev 4/13/23) for latest as-built requirements, including state plane coordinates to expedite and approve review.
- 11 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.C - DEP permit for sewer mains to be constructed/owned by MCU
STATUS OF REVIEW: INFO
REMARKS: DEP WW permit apps will not be signed out by MCU until this Improvement Plan is approved by Development Review.
- 12 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.C - DEP permit for water mains to be constructed/owned by MCU
STATUS OF REVIEW: INFO
REMARKS: DEP PWS permit apps will not be signed out by MCU until this Improvement Plan is approved by Development Review.
- 13 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.5.C - All issued permits related to this project shall be submitted to MCU (DOT, ROW, misc)
STATUS OF REVIEW: INFO
REMARKS:
- 14 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.18.2.B - Improvement Plan fee of \$340.00 + (\$5.00 x per lot) made payable to Marion County BCC
STATUS OF REVIEW: INFO
REMARKS: 7/2/24-911 and road construction fee due with resubmittal
6/13/23 - 911 and road construction fee due with resubmittal
1/10/23 - fee due with resubmittal
- 15 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide copy of District Permit before construction.
- 16 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide copy of NPDES Permit or NOI before construction.

- 17 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: Establishment of an MSBU is required prior to final plat approval. Contact the MSTU Department at (352)438-2650 to create an MSBU or obtain a waiver from BCC via DRC.
- 18 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 6.3.1.F(1) - A copy of the documents demonstrating the establishment of a corresponding MSBU, CDD, or other State recognized special district responsible for the maintenance and operation of the dedicated improvements
STATUS OF REVIEW: INFO
REMARKS:
- 19 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.19.4.C - No Final Plat shall be accepted for filing by the Clerk of the Circuit Court until...an MSBU, CDD, or other special district for the purposes of maintaining the improvements for this plat has been established
STATUS OF REVIEW: INFO
REMARKS:
- 20 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.18.2.G - Easement requirements of each utility shall be indicated by the utility on a copy of the Preliminary Plat or by letter. (Letters/emails of easement acceptance due with improvement plan.)
STATUS OF REVIEW: INFO
REMARKS:
- 21 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, conditions, date of approval
STATUS OF REVIEW: INFO
REMARKS: 1/10/23 - add waivers if requested in the future
- 22 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.15.5 - Water Service and Connection
STATUS OF REVIEW: NO
REMARKS: 1. Confirm water meter on Lot 11 on SW 41st Terr Rd will not be in conflict with driveway (see changemark for reference Sheet C014) 2. Water meter & RPZ need to be just inside the lift station at the front (see changemark on Sheet C013)
- 23 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.16.4 - Wastewater Collection Systems (Gravity/Pressurized) Design
STATUS OF REVIEW: NO
REMARKS: Confirm flow direction change doesn't exceed 90*
- 24 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.16.5.C - Public Wastewater Pump Stations (MCU Standards)
STATUS OF REVIEW: NO
REMARKS: King (receiving) manhole needs to be put in line with wet well
- 25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Additional Utilities comments
STATUS OF REVIEW: NO
REMARKS:



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 29457

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

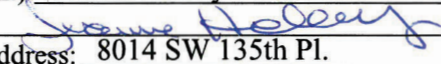
Approximately 257 lots and tracts

Date: 6-27-24 Parcel Number(s): (too many to list), see Improvement Plans. Permit Number: AR# 29457

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Improvement Plans for a Portion of Marion Oaks Unit 2 Commercial ☐ Residential ☒
Subdivision Name (if applicable): Marion Oaks Unit 2
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Jeanne Holley - The Deltona Corporation
Signature: 
Mailing Address: 8014 SW 135th Pl. City: Ocala
State: Florida Zip Code: 34473 Phone #: (352) 347-2322
Email address: jeanne.holley@deltona.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Radcliffe Engineering Inc. Contact Name: Michael Kimbley
Mailing Address: 2611 SE Lake Weir Ave. City: Ocala
State: Florida Zip Code: 34471 Phone #: (352) 629-5500
Email address: MKimbley@radcliffeengineering.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 6.12.12 - Sidewalks
Reason/Justification for Request (be specific): Request sidewalk requirement waiver with a condition that the sidewalks will be constructed at the time of home construction and at the end of 2 years or 60 percent development, the remainder of the sidewalks will be constructed.

DEVELOPMENT REVIEW USE:

Received By Email 7/30/24 Date Processed: 7/30/24 BM Project # 1999001650 AR # 29457

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M.: _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 6.12.9 Subdivision roads and related infrastructure

Reason/Justification for Request (be specific): Request waiver to provide appropriate warning signage for decreased speed on curves not meeting 30 MPH design speed requirement.

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

General Notes:

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE.
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE MARION COUNTY LAND DEVELOPMENT CODE.
- SEE SANITARY SEWER AND WATER SYSTEM DETAIL SHEETS FOR GENERAL UTILITY CONSTRUCTION.
- THE ROAD CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE ROADWAY AND TRAFFIC DESIGN STANDARDS AS LISTED ABOVE.
- UTILITIES SHOWN HEREIN HAVE BEEN LOCATED BASED ON ABOVE GROUND EXISTENCE OF STRUCTURES. ACTUAL LOCATION OF UNDERGROUND UTILITIES IS UNKNOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN THROUGH DIRECT CONTACT WITH THE APPROPRIATE UTILITY COMPANY. SUCH CONTACT SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. ANY UTILITIES OBSTRUCTIVE TO THE ROAD CONTRACTORS OPERATION ARE TO BE RELOCATED BY THE APPROPRIATE UTILITY COMPANY IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE PRIOR TO OR IN CONJUNCTION WITH THE ROADWAY PROJECT.
- DELTONA CORP. SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.
- ALL SECTION, BLOCK, AND PROPERTY CORNERS DISTURBED OR DESTROYED BY CONSTRUCTION OPERATIONS SHALL BE REPLACED BY A FLORIDA REGISTERED SURVEYOR AT THE ROAD CONTRACTOR'S EXPENSE.
- COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE PROFESSIONAL ENGINEER AND HE WILL NOT BE RESPONSIBLE FOR ANY SUBSEQUENT CHANGES TO THE REPRODUCIBLE ORIGINAL DOCUMENTS.
- ELEVATIONS ARE BASED ON THE FFRN NETWORK, NAVD 1988 AND N.G.S. BENCHMARK 175 730 AND ELEVATION = 81.57. HORIZONTAL CONTROL, BASED ON NAD 1983 DATUM, 1990 ADJUSTMENT, UTILIZING FDOT FFRN NETWORK.
- DESIGN SPEED IS 30 M.P.H.
- THIS DEVELOPMENT CONTAINS A TOTAL OF 3.86 MILES OF ROADS AND 251 LOTS. 132 LOTS ARE LOCATED IN PHASE 1C AND 119 LOTS ARE LOCATED IN PHASE 1D.

Environmental:

ECOLOGICAL ASSESSMENT PREPARED BY OTHERS.
SEE REPORT BY MODICA & ASSOCIATES, DATED MARCH 2022.

AREA DATA BLOCK		
	SF	AC
TOTAL AREA	3,821,951	87.74
EXISTING IMPERVIOUS AREA	0	0
PROPOSED IMPERVIOUS AREA	1,594,329	36.6
PERCENT IMPERVIOUS	41.7%	

PORTION OF
MARION OAKS
UNIT 2
Zoning: R - 1
Land Use: MR

REQUESTED WAIVERS FOR MARION OAKS UNIT 2:

- REQUEST WAIVER TO PROVIDE APPROPRIATE WARNING SIGNAGE FOR DECREASED SPEED ON CURVES NOT MEETING 30 MPH DESIGN SPEED REQUIREMENT.
- REQUEST SIDEWALK REQUIREMENT WAIVER WITH A CONDITION THAT THE SIDEWALKS WILL BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION AND AT THE END OF 2 YEARS OR 60 PERCENT DEVELOPMENT, THE REMAINDER OF THE SIDEWALKS WILL BE CONSTRUCTED.

APPROVED WAIVERS FOR MARION OAKS UNIT 2	
CODE SECTION 2.18.21	WAIVED THE REQUIREMENT TO EXTEND SW 34TH COURT ROAD WITH THE CONDITION THAT THE DEVELOPERS AGREEMENT STATE SW 37TH TERRACE ROAD TO BE SUBMITTED FOR APPROVAL WITHIN TWO YEARS OF THE PLAN APPROVAL FOR THIS PROJECT.
APPROVAL DATE 8/16/2021	
CODE SECTION 2.17.2.H	WAIVED THE REQUIREMENTS FOR PROVIDING LETTERS FROM THE UTILITY COMPANIES ACCEPTING THE EXISTING UTILITY EASEMENTS THAT WERE PLATTED IN JANUARY 1973.
APPROVAL DATE 11/1/2021	

UTILITY COMPANIES		
UTILITY COMPANY	CONTACT PERSON	PHONE NUMBER
SECO ENERGY	MEAGAN ELLIOT	(352) 569-9835
CENTURY LINK	KURT JUDD	(352) 401-6555
COX CABLE	DAVID TERRELL	(352) 873-5641
MARION COUNTY UTILITIES (WATER/SEWER)	CUSTOMER SERVICE	(352) 307-6000
NATURAL GAS	NO SERVICE PROVIDED	

LENGTH OF PROJECT		
	LINEAR FEET	MILES
ROADWAY	16,195	3.07
BRIDGES	NONE	NONE
NET LENGTH OF PROJECT	16,195	3.07
EXCEPTIONS	NONE	NONE
GROSS LENGTH OF PROJECT	16,195	3.07

IMPROVEMENT PLANS

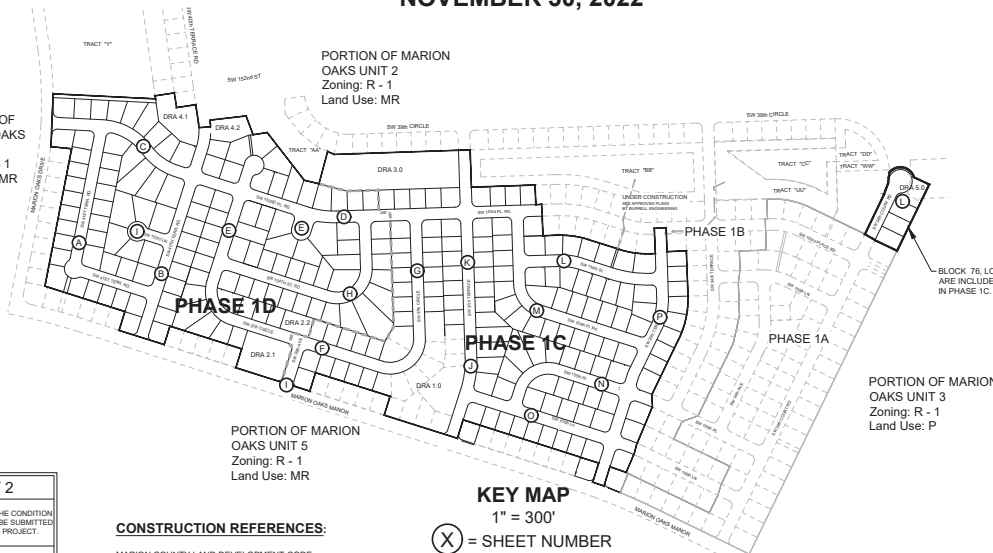
For A

PORTION OF MARION OAKS UNIT 2

BLOCK: 72	LOTS: 1-9	BLOCK: 83	LOTS: 12-20	BLOCK: 89	LOTS: 1-5,13-25,38
BLOCK: 73	LOTS: 1-19	BLOCK: 84	LOTS: 1,9-15	BLOCK: 90	LOTS: 1-29,32-35
BLOCK: 74	LOTS: 1-4	BLOCK: 85	LOTS: 1-16	BLOCK: 91	LOTS: 1-18
BLOCK: 76	LOTS: 2-4	BLOCK: 86	LOTS: 1-34	BLOCK: 92	LOTS: 1-4,23-32
BLOCK: 78	LOTS: 1,16	BLOCK: 87	LOTS: 1-10	BLOCK: 94	LOTS: 1-21
BLOCK: 79	LOTS: 1,16	BLOCK: 88	LOTS: 1-10,18	BLOCK: 95	LOTS: 1-16,32

ACCORDING TO PLAT BOOK "O", AT PAGES 19-35, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

NOVEMBER 30, 2022



CONSTRUCTION REFERENCES:

MARION COUNTY LAND DEVELOPMENT CODE
F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS (LATEST EDITION)

Legend To Plan Sheets:

- CENTERLINE
- REINFORCED CONCRETE PIPE
- CORRUGATED METAL PIPE
- BURIED FIBER OPTIC CABLE
- AERIAL ELECTRIC
- SOIL BORING
- FOUND 5/8" IRON ROD & CAP
- SET 5/8" IRON ROD & CAP - LS 5427
- FOUND 4"x4" CONCRETE MONUMENT - NO I.D.
- SET 4"x4" CONCRETE MONUMENT - LS 5427
- TEMPORARY BENCHMARK MARKER
- WATER METER
- TELEPHONE RISER BOX
- FIBER OPTIC CABLE MARKER
- CABLE TV RISER BOX
- ELECTRIC BOX
- IRRIGATION CONTROL BOX
- SPRINKLER
- WOOD POWER POLE
- GUY ANCHOR
- FIRE HYDRANT
- WATER VALVE
- SANITARY MANHOLE
- STORM DRAINAGE MANHOLE
- WELL
- LIGHT POLE
- EXISTING SIGN
- EXISTING QUADRANT SIGN
- SANITARY CLEAN-OUT
- MAIL BOX
- MAIL BOX WITH PAPER BOX
- BROKEN LINE; NOT DRAIN TO SCALE
- VC AD
- PAI
- PVC
- DUT
- IRC
- CMF
- TRB
- FOCM
- EL
- CMF
- R/W
- MPH
- EL
- CONC
- NTS
- STA
- WPP
- CLF
- PRF
- PRF
- BOARD AND WIRE FENCE
- WF
- HWF
- # OF BOARDS / BOARD FENCE
- BARB WIRE FENCE
- X-
- PROPOSED DITCH BLOCK
- TBM G-1
- 75-
- OVERLAND FLOW DIRECTION
- SPECIAL SWALE
- SPECIAL SWALE WITH FLOW DIRECTION
- VERTICAL CURVE
- ALGEBRAIC DISTANCE
- POINT OF VERTICAL INTERSECTION
- POINT OF VERTICAL CURVATURE
- POINT OF VERTICAL TANGENCY
- IRON ROD & CAP
- CONCRETE MONUMENT FOUND
- TELEPHONE RISER BOX
- BURIED TELEPHONE
- FIBER OPTIC CABLE MARKER
- ELEVATION
- RIGHT-OF-WAY
- MILES PER HOUR
- ELEVATION
- CONCRETE
- NOT TO SCALE
- STATION
- WOOD POWER POLE
- CHAIN LINK FENCE
- PICKET FENCE
- PRIVACY FENCE
- BOARD AND WIRE FENCE
- 4" FIELD WIRE FENCE
- 4" HOG WIRE FENCE
- # OF BOARDS / BOARD FENCE
- BARB WIRE FENCE
- PROPOSED DITCH BLOCK
- TEMPORARY BENCHMARK WITH I.D.
- EXISTING CONTOUR ELEVATION
- OVERLAND FLOW DIRECTION
- SPECIAL SWALE
- SPECIAL SWALE WITH FLOW DIRECTION

Owner's Certification:

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL MAINTAIN IMPROVEMENTS AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN FOR 2 YEARS, AFTER WHICH, MAINTENANCE SHALL BE RELEASED UPON ACCEPTANCE OF SUCH IMPROVEMENTS BY MARION COUNTY.

JEANNE HOLLEY
THE DELTONA CORPORATION

SIGNATURE DATE

Engineer's Certification:

I HEREBY CERTIFY THAT THE DRAINAGE FACILITIES ARE DESIGNED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF MARION COUNTY "LAND DEVELOPMENT CODE", THAT THE ADJACENT PROPERTIES WILL BE PROTECTED FROM STORM WATER DAMAGE AS A RESULT OF THE PROPOSED DEVELOPMENT, AND THAT THE DRAINAGE FACILITIES INCORPORATED HEREON ARE ADEQUATE AND I HAVE SUBMITTED A PLAN TO THE APPROPRIATE WATER MANAGEMENT DISTRICT, SIGHT DISTANCES COMPLY WITH AASHTO POLICIES AND REQUIREMENTS.

MICHAEL W. RADCLIFFE, P.E.
FLORIDA REG. ENGINEER, NO. 31170

SIGNATURE DATE

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
MICHAEL W. RADCLIFFE, P.E. ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED, AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

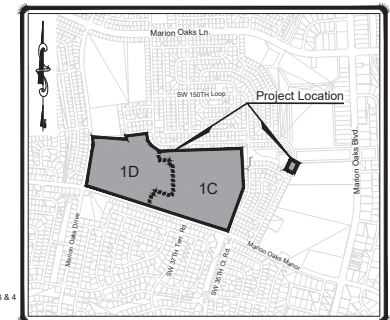


CONSTRUCTION STAKEOUT
SURVEYOR SHALL BE
RESPONSIBLE FOR BENCH
MARK & DATUM VERIFICATION.
CONTACT PROJECT SURVEYOR
FOR BENCH MARK INFORMATION.

IT IS THE CONTRACTOR'S
RESPONSIBILITY TO VERIFY
THAT THEY ARE USING THE
LATEST APPROVED AND
PERMITTED PLANS PRIOR TO
BEGINNING CONSTRUCTION.

NO CHANGE TO THE WORK AS SHOWN
ON THE APPROVED PLANS SHALL BE
MADE WITHOUT NOTIFICATION TO AND
APPROVAL BY THE OFFICE OF THE
COUNTY ENGINEER.

MARION COUNTY PROJECT
No. 29457



PROJECT LOCATION MAP

(NOT TO SCALE)
SECTION: 22 & 23, TOWNSHIP: 17 SOUTH, RANGE: 21 EAST
MARION COUNTY, FLORIDA

Description:

A PORTION OF "MARION OAKS UNIT NO. 2", ACCORDING TO THE PLAT BOOK "O", AT PAGES 19-35, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

Index of Sheets:

- C001 COVER SHEET
- C002 NOTES
- C003 TYPICAL SECTIONS
- C004 OVERALL PLATTED SITE
- C005 CLEARING & GRUBBING PLAN
- C006-C007 GRADING PLAN
- C008 SOIL BORING LOCATIONS
- C009-C010 DRAINAGE PLAN
- C011-C012 DRA CROSS SECTIONS
- C013-C014 WATER & SEWER UTILITY PLAN
- C015-C016 SIGNAGE AND STRIPING PLAN
- C017-C032 ROADWAY PLAN & PROFILE SHEETS
- C033 NON-ROADWAY PIPE PROFILES
- C034-C041 WATER & SEWER DETAIL SHEETS
- C042-C043 CONSTRUCTION DETAIL SHEET
- EC1 SWPPP
- P001-P005 RECORDED PLAT
- S001-S006 SURVEY

Owner:

OWNER: THE DELTONA CORPORATION
804 SW 135th STREET ROAD
OCALA, FL 34473

CONTACT: JEANNE HOLLEY
TELEPHONE: (352) 347-2322

ALL ROADS AND LOTS DEPICTED IN THESE IMPROVEMENT PLANS WERE PLATTED IN 1973 (G.R. BOOK "O", PAGES 19-35).

ROADS, DRAINAGE SYSTEM, WATER & SEWER UTILITIES SHALL BE CONSTRUCTED BY DELTONA CORPORATION AT ITS EXPENSE AND DEDICATED FOR PUBLIC USE AS PUBLIC IMPROVEMENTS. DEVELOPER OR ITS ASSIGNS SHALL MAINTAIN ALL SUCH IMPROVEMENTS FOR 2 YEARS, AFTER WHICH, MAINTENANCE SHALL BE RELEASED UPON ACCEPTANCE OF SUCH IMPROVEMENTS BY MARION COUNTY.

Revision	By	Date
1	JEANNE HOLLEY	2021-03-12
2	JEANNE HOLLEY	2021-03-12
3	JEANNE HOLLEY	2021-03-12
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100	JEANNE HOLLEY	2021-03-12

MICHAEL W. RADCLIFFE ENGINEERING, INC.
10000 W. US HIGHWAY 1, SUITE 100, Ocala, FL 34473
www.radcliffeengineering.com

Project Name: Marion Oaks Unit 2 Improvement Plans
Drawing No.: 19-000000-1
Scale: As Shown
Date: 11/1/2021

Sheet No.
C001
of
45

1. IF A DISCREPANCY IS OBSERVED IN INFORMATION SHOWN WITHIN THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION OF THE WORK IN QUESTION.
2. LOCATION, ELEVATION, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN IN ACCORDANCE WITH THE BEST INFORMATION AVAILABLE AT TIME OF THE PREPARATION OF THESE PLANS BUT DO NOT GUARANTEE TO BE ABSOLUTELY CORRECT.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES AFFECTING HIS WORK AND SHALL COMPLY WITH ALL STATE, COUNTY, AND LOCAL ORDINANCES AND OBTAIN ANY NECESSARY WORK PERMITS THAT MAY BE REQUIRED PRIOR TO CONSTRUCTION.

1. IF A DISCREPANCY IS OBSERVED IN INFORMATION SHOWN WITHIN THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION OF THE WORK IN QUESTION.
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4. UTILITIES NOT UNDER THIS CONTRACT TO BE ADJUSTED BY UTILITY OWNERS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OF THE COORDINATION OF CONSTRUCTION SCHEDULING BETWEEN THE CONTRACTOR AND ALL UTILITY AGENCIES. NOTE: THIS INCLUDES MEETING WITH UTILITY AGENCIES PRIOR TO THE PRE-CONSTRUCTION CONFERENCE TO ADJUST THEIR SCHEDULES TO COINCIDE WITH THE CONTRACTORS CONSTRUCTION SCHEDULE.

6. POSSIBLE TREE TRIMMING AND REMOVAL MAY BE REQUIRED TO PROVIDE ADEQUATE SIGHT DISTANCE, OR AS ORDERED BY THE ENGINEER. ALL EXPENSES INCURRED FOR THIS WORK WILL BE INCLUDED IN THE UNIT PRICE BID FOR CLEARING & GRUBBING.

7. MAINTENANCE OF TRAFFIC WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE APPROVED BY THE MARION COUNTY M.S.T.U. DEPARTMENT PRIOR TO ITS IMPLEMENTATION.

8. THE COUNTY RESERVES THE RIGHT TO PERFORM QUALITY ASSURANCE TESTING ON ALL MATERIALS DELIVERED TO PROJECT AND TO REJECT ALL MATERIALS NOT MEETING ACCEPTABLE STANDARDS.
9. ALL STREET SIGNS AND STREET MARKERS ARE TO BE REMOVED AND RELOCATED AS DIRECTED BY THE ENGINEER.

10. WHERE CONNECTION TO AN EXISTING DRIVEWAY IS NOT INDICATED ON THE PLANS, PROPER CONNECTION IS TO BE MADE AT THE DIRECTION OF THE ENGINEER.
11. ALL EXISTING DRAINAGE STRUCTURES WITHIN THE RIGHT-OF-WAY SHALL BE REMOVED UNLESS SHOWN ON THE PLANS TO REMAIN. ANY AND ALL EXPENSES INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CLEARING AND GRUBBING.

12. THE CONTRACTOR SHALL PROVIDE BORROW MATERIAL FROM BORROW PITS APPROVED BY THE ENGINEER, AND INCORPORATE IT INTO THE WORK IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL SUPPLY CONTROL POINTS FOR LINE AND GRADE.

14. OVERALL CLEAN-UP SHALL BE ACCOMPLISHED BY THE CONTRACTOR IN ACCORDANCE WITH COUNTY STANDARDS OR AS DIRECTED BY THE ENGINEER, ANY AND ALL EXPENSES INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CLEARING AND GRUBBING.

15. THE CONTRACTOR SHALL ENDEAVOR TO PROTECT PRIVATE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR IN THE PERFORMANCE OF HIS WORK SHALL BE CORRECTED TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE. PAYMENT SHALL NOT BE MADE FOR THIS WORK.

16. ANY DAMAGE TO STATE, COUNTY, OR LOCAL ROADS CAUSED BY THE CONTRACTOR'S HAULING OR EXCAVATION EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER, PAYMENT SHALL NOT BE MADE FOR THIS WORK.

17. ALL EROSION CONTROL FENCES AND BARRIERS SHALL BE ERECTED PRIOR TO ANY LAND ALTERATIONS, MAINTAINED DURING CONSTRUCTION, AND REMOVED FOLLOWING SOIL STABILIZATION AND FINAL DRESSING.

18. RIGHT OF ENTRY FOR DRIVEWAY CONSTRUCTION TO BE COORDINATED BY CONTRACTOR WITH THE PROPERTY OWNER PRIOR TO CONSTRUCTION.

19. SOIL BORING INFORMATION SHOWN ON THIS PLAN SET IS COPIED DIRECTLY FROM GEOTECHNICAL REPORT (NUMBER AND DATE). SOIL BORING INFORMATION IN THE GEOTECHNICAL REPORT WILL TAKE PRECEDENCE OVER ANY DISCREPANCY FOUND BETWEEN THE PLANS AND THE GEOTECHNICAL REPORT."

20. DRIVEWAYS ENCRoACHING THE TRAVEL LANE SHALL BE CUT BACK TO MATCH PROPOSED EDGE OF PAVEMENT.
21. BOCC POLICY 93-02 (FOR NEW ROAD CONSTRUCTION ONLY NOT FOR RECLAMATION PROJECTS)

22. DRIVEWAYS WILL BE PAVED TO THE RIGHT-OF-WAY LINE AND CULVERTS INSTALLED (IF NEEDED) TO ANY LOTS IMPROVED WITH FENCE AND GATE OR TO LOTS ON WHICH A BUILDING PERMIT HAS BEEN OBTAINED, ALL TO BE IN EXISTENCE PRIOR TO DATE BIDS ARE ADVERTISED.

1. LOCATION, ELEVATION, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN IN ACCORDANCE WITH THE BEST INFORMATION AVAILABLE AT TIME OF THE PREPARATION OF THE PLANS BUT DO NOT GUARANTEE TO BE ABSOLUTELY CORRECT.
2. ALL SECTION, BLOCK, AND PROPERTY CORNERS DISTURBED OR DESTROYED BY CONSTRUCTION OPERATIONS SHALL BE REPLACED BY A FLOOD REGISTERED SURVEYOR. THE ROAD CONTRACTOR'S EXPENSE FOR THESE PLANS IS DESIGNER'S FEES.
3. PROFESSIONAL ENGINEER HAVE BEEN RETURNED BY THE PROFESSIONAL ENGINEER WHO MADE THE CHANGES TO THE ORIGINAL DRAWINGS. ANY CHANGES TO THE REPRODUCIBLE ORIGINAL DOCUMENTS.
4. ELEVATIONS ARE BASED ON THE FPMR NETWORK, NAVD 1988 AND N.G.S. BENCHMARK 775 730 ABOVE ELEVATION = 81-57, HORIZONTAL CONTROL POINT 600 100 1982 DATUM, 1980 ADJUSTMENT, UTILIZING FDOT FPMR NETWORK.

1. LOCATION, ELEVATION, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN IN ACCORDANCE WITH THE BEST INFORMATION AVAILABLE AT TIME OF THE PREPARATION OF THE PLANS BUT DO NOT GUARANTEE TO BE ABSOLUTELY CORRECT.
2. ALL SECTION, BLOCK, AND PROPERTY CORNERS DISTURBED OR DESTROYED BY CONSTRUCTION OPERATIONS SHALL BE REPLACED BY A FLOOD REGISTERED SURVEYOR USING THE ROAD CONTRACTOR'S EXPENSE. ANY CHANGES TO THE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETURNED TO THE PROFESSIONAL ENGINEER WHO HAS REVIEWED THEM FOR NECESSARY SUBSEQUENT CHANGES TO THE REPRODUCIBLE ORIGINAL DOCUMENTS.
3. ELEVATIONS ARE BASED ON THE FPNR NETWORK, NAVD 1988 AND N.G.S. BENCHMARK 775 730 ABOVE ELEVATION = 81.57'. HORIZONTAL CONTROLS ARE FROM 1983 DATUM, 1980 ADJUSTMENT, UTILIZING FDOT FPNR NETWORK.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE STAKEOUT OF THE PROJECT, I.E., LINE, GRADE, SLOPE STAKE, UTILITY RELOCATIONS OR ANY OTHER STAKEOUT THAT MAY BE REQUIRED TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ANY AND ALL EXPENSES INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION LAYOUT. NO ADDITIONAL PAYMENT SHALL BE MADE FOR THIS WORK.
5. ANY U.S.C. & G.S. MONUMENT WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, PROJECT ENGINEER SHOULD NOTIFY:

- DIRECTOR, CHARTING & GEODETIC SERVICES
6801 EXECUTIVE BLVD.
ATTN: C172

6. PRIOR TO CONSTRUCTION, A FLORIDA LICENSED SURVEYOR SHALL REFERENCE ALL CONTROL MONUMENTATION AND RESET WITH MONUMENTATION CONFORMING TO THE FLORIDA MINIMUM TECHNICAL STANDARDS, ONCE CONSTRUCTION HAS BEEN COMPLETED.

7. A CERTIFIED AS-BUILT SURVEY SHALL BE PREPARED FOR THE PROJECT BY A FLORIDA LICENSED SURVEY PROFESSIONAL. THE AS-BUILT SURVEY SHALL SHOW ALL ORIGINAL DESIGN INFORMATION PERTINENT TO THE IMPROVEMENTS BEING SURVEYED. ORIGINAL DESIGN INFORMATION SHALL BE MARKED THROUGH WITH AS-BUILT INFORMATION LISTED ADJACENT TO IT. THE SURVEY SHALL CLEARLY INDICATE WHICH IS THE AS-BUILT RECORDED INFORMATION.

1. THE SITE SHALL BE FREE FROM EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, EXCESS DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THE DEVELOPMENT SHALL BE IMMEDIATELY REPORTED BY THE CONTRACTOR WITHIN 24 HOURS OF EACH OCCURRENCE.
2. CONTOUR ELEVATIONS BASED ON LATEST 88 VERTICAL DATUM.
3. SHOULD CONTRACTOR ENCOUNTER LIVESTOCK OR A SINK CHIMNEY DURING CONSTRUCTION, THE CONTRACTOR SHALL STOP ALL WORK, AND OVER-EXCAVATED AND BACK FILLED TO MEET THE KARST REPAIR REQUIREMENTS.
4. ALL FABRIC SILT FENCING SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. REFER TO EROSION CONTROL SHEET FOR FENCING LOCATIONS.
5. INSTALL SYNTHETIC BALES AT EACH END OF CROSS DRAIN(S) AS NECESSARY TO PREVENT SEDIMENT FROM FILLING THE CULVERT IN PROPORTION TO THE FOOT CLOSURE OF THE CULVERT.
6. IN THE EVENT THAT THE INTEGRITY OF THE FABRIC SILT FENCE HAS BEEN BROKEN, REPLACEMENT MUST OCCUR WITHIN 24 HOURS OF EACH OCCURRENCE TO PREVENT THE DISCHARGE OF SEDIMENT OUTSIDE PROJECT.
7. DRAINAGE TO BE MAINTAINED DURING CONSTRUCTION.
8. SYSTEM CLEANUP REQUIRED AT END OF CONSTRUCTION.
9. SPECIAL ATTENTION IS DIRECTED TO THE FACT THAT PORTIONS OF SOME DRAINAGE STRUCTURES EXTEND INTO THE STABILIZED PORTION OF THE PROJECT AND WILL BE NECESSARY TO MAINTAIN STABILIZATION OPERATIONS AT THESE LOCATIONS.
10. ALL PIPE LENGTHS ARE MEASURED TO INCLUDE CONNECTED MITERED

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1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITIZEN'S STANDARDS FOR ASSESSMENT / MSTU ROAD DESIGN AND CONSTRUCTION.
2. THE ROAD CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE ROADWAY AND TRAFFIC DESIGN STANDARDS AS LISTED ON THE COVER SHEET.
3. DESIGN SPEED IS 35 M.P.H. / POSTED SPEED IS 30 M.P.H.
4. ALL TREES WITHIN RIGHT-OF-WAY TO BE REMOVED UNLESS RETAINED AT THE DISCRETION OF THE MARION COUNTY MSTU PROJECT MANAGER.
5. ROADWAY IS SYMMETRICAL ABOUT CENTERLINE UNLESS OTHERWISE SHOWN ON PLANS AND CROSS SECTIONS.

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1. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE MARION COUNTY LAND DEVELOPMENT CODE, LATEST REVISION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES THROUGH SUNSHINE 811 AND REPORT ANY CONFLICTS TO THE PROJECT ENGINEER.

1. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE MARION COUNTY LAND DEVELOPMENT CODE, LATEST REVISION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES THROUGH SUNSHINE 811 AND REPORT ANY CONFLICTS TO THE PROJECT ENGINEER.



3. UTILITIES SHOWN HEREIN HAVE BEEN LOCATED BASED ON ABOVE GROUND EXISTENCE OF STRUCTURES. ACTUAL LOCATION OF UNDERGROUND UTILITIES IS UNKNOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN THROUGH DIRECT CONTACT WITH THE APPROPRIATE UTILITY COMPANY. SUCH CONTACT SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

4. ANY UTILITIES OBSTRUCTIVE TO THE ROAD CONTRACTORS OPERATION ARE TO BE RELOCATED BY THE APPROPRIATE UTILITY COMPANY IN ACCORDANCE WITH THE MARION COUNTY LAND DEVELOPMENT CODE PRIOR TO OR IN CONJUNCTION WITH THE ROADWAY PROJECT. MARION COUNTY SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.

5. MCU PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MCU INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT MCU'S CONSTRUCTION OFFICER AT 352-307-6163.

1. THE PERMITTEE WILL PROMPTLY NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION IN WRITING IMMEDIATELY UPON DISCOVERY THAT A LIQUIDITY DEFICIT IS TRANSFERABLE ONLY UNDER DEPARTMENT APPROVAL. THE NEW CONTRACT SHALL BE EXECUTED AND SIGNED BY THE PERMITTEE WITHIN FIFTEEN (15) DAYS.
2. ALL PIPE, PIPE FITTINGS, JOINT PACKING, JOINTING MATERIALS, AND ACCESSORIES SHALL BE INSTALLED UNDER THE SUPERVISION OF AN AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
3. ALL PUBLIC WATER MAINS COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT SHALL BE MANUFACTURED IN CONTACT WITH DRINKING WATER. THESE COMPONENTS MUST COMPLY TO NSF INTERNATIONAL STANDARD 61.
4. ALL WATER MAINS SHALL BE PVC, AND SHALL BE NSF APPROVED FOR POTABLE WATER USE, BEAR THE NSF LOGO, AND MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - * PVC PIPES 4 INCHES TO 48 INCHES SHALL BE SDR 18 AND MEET AWWA C900
 - * PVC PIPES LESS THAN 4 INCHES SHALL BE ASTM 1578 SCHEDULE 40
5. ALL WATER AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL CONTAIN NO MORE THAN 0.6% LEAD, AND ANY SOLID OR FLUX USED IN THIS PROJECT SHALL BE LEAD FREE. THERE SHALL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE.
6. ALL WATER MAIN AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE WILL BE SOLD-WALL BLUE PIPE, SHALL HAVE A WHITE END CAP WITH EITHER "E" OR "W" MARKED ON IT. BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL SHALL BE USED FOR IDENTIFICATION PURPOSES.) THE COLOR CODED STRIPES ARE APPLIED TO THE PIPE WALL, NOT GREATER DURING MANUFACTURING OF THE PIPE, BUT AFTER THE CONTRACTOR HAS BEEN ADVISED BY THE CITY ENGINEER THAT THE PIPE ARE LOCATED AT NO OTHER THAN 90-DEGREE INTERVALS. THE COLOR CODED STRIPES SHALL BE PAINTED OR APPLIED TO THE PIPE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE, AND THAT IT LOCATED ALONG EACH SIDE OF THE PIPE. THE COLOR CODED STRIPES SHALL BE PAINTED BLUE OR SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE. IF, AS ALONG THE TOP OF THE PIPE, ADDITIONAL COPIES SHALL BE PAINTED BLUE OR SHALL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.
7. NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S RECOMMENDATIONS AND IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED PROCEDURES.
8. A CONTINUOUS AND UNIFORM BEDDING WILL BE PROVIDED IN TRENCHES FOR ALL WATER MAINS. THE BEDDING SHALL BE COMPACTED TO A MINIMUM OF 95% AND BE TAPEDED IN LAYERS UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT SHALL BE COVERED WITH A MINIMUM OF 18 INCHES OF BEDDING. THE BEDDING SHALL PROTECT THE PIPE, AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURERS' RECOMMENDED PROCEDURES) SHALL BE USED TO COVER THE BOTTOM OF THE TRENCH. THE BEDDING SHALL BE 18 INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.
9. ALL WATER MAINS INSTALLED UNDER THIS PROJECT SHALL BE PRESSURE AND SHALL BE COVERED TO A MINIMUM OF 18 INCHES.
10. WATER MAINS INSTALLED UNDER THIS PROJECT SHALL BE INSTALLED WITH CLEARANCES AS SHOWN ON THE "LOCATION OF PUBLIC WATER SYSTEM MAP"

1. THE PERMITTEE WILL PROMPTLY NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION IN WRITING IMMEDIATELY UPON DISCOVERY THAT A LIQUIDITY DEFICIT IS TRANSFERABLE ONLY UNDER DEPARTMENT APPROVAL. THE NEW CONTRACT SHALL BE SIGNED AND DATED BY THE PERMITTEE WITHIN FIFTEEN (15) DAYS.
2. ALL PIPE, PIPE FITTINGS, JOINT PACKING, JOINTING MATERIALS, AND ACCESSORIES SHALL BE INSTALLED UNDER THE SUPERVISION OF AN AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
3. ALL PUBLIC WATER MAINS COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT SHALL BE MANUFACTURED IN CONTACT WITH DRINKING WATER. THESE COMPONENTS SHALL COMPLY TO NSF INTERNATIONAL STANDARD 61.
4. ALL WATER MAINS SHALL BE PVC, AND SHALL BE NSF APPROVED FOR POTABLE WATER USE, BEAR THE NSF LOGO, AND MEET THE FOLLOWING MINIMUM REQUIREMENTS:
 - * PVC PIPES 4 INCHES TO 48 INCHES SHALL BE SDR 18 AND MEET AWWA C900
 - * PVC PIPES LESS THAN 4 INCHES SHALL BE ASTM 1578 SCHEDULE 40
5. ALL WATER AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL CONTAIN NO MORE THAN 0.6% LEAD, AND ANY SOLID OR FLUX USED IN THIS PROJECT MUST BE LEAD FREE. THERE SHALL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE.
6. ALL WATER MAIN AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE WILL BE SOLD-WALL BLUE PIPE, SHALL HAVE A WHITE END CAP, AND EITHER END CAP OR THE ENTIRE PIPE SHALL BE MARKED WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL.) THE COLOR CODED OR MARKED PIPE SHALL BE IDENTIFIED BY THE STRIPES APPLIED TO THE PIPE WALL, NOT GREYER DURING MANUFACTURING OF THE PIPE. THE STRIPES CONTAINED ON THE PIPE SHALL BE IDENTICAL TO THOSE STRIPES THAT ARE LOCATED AT NO STRONGER THAN 90-DEGREE INTERVALS ALONG THE LENGTH OF THE PIPE. THERE SHALL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIKE PIPE DURING CONSTRUCTION, IT SHALL BE REPAIRED IMMEDIATELY. THE STRIPES SHALL RUN PARALLEL TO THE AXIS OF THE PIPE, AND THAT IT BE LOCATED ALONG EACH SIDE OF THE PIPE. THE STRIPES SHALL BE IDENTICAL TO THOSE STRIPES THAT RUN OR TAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE. THERE SHALL BE NO GAPS BETWEEN THE STRIPES. THE PIPE SHALL BE PAINTED BLUE OR SHALL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.
7. NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF CHICAGO'S STANDARD SPECIFICATIONS AND IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED PROCEDURES.
8. A CONTINUOUS AND UNIFORM BEDDING WILL BE PROVIDED IN TRENCHES FOR ALL WATER MAINS. THE BEDDING SHALL BE COMPACTED TO A MINIMUM OF 95% AND BE TAMPED IN LAYERS UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT SHALL BE COVERED WITH A MINIMUM OF 18 INCHES OF BEDDING. THE BEDDING SHALL PROTECT THE PIPE, AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURERS' RECOMMENDED INSTALLATION PROCEDURES) SHALL BE USED TO COVER THE BOTTOM OF THE TRENCH. THE BEDDING SHALL BE 18 INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.
9. ALL WATER MAINS INSTALLED UNDER THIS PROJECT SHALL BE PRESSURE AND TESTED TO A MINIMUM OF 150 PSI.
10. WATER MAINS INSTALLED UNDER THIS PROJECT SHALL BE INSTALLED WITH CLEARANCES AS SHOWN ON THE "LOCATION OF PUBLIC WATER SYSTEM MAP"

1. THE EXISTING SEWER COLLECTION/TRANSMISSION SYSTEM SHALL REMAIN IN SERVICE DURING THE CONSTRUCTION OF THIS PROJECT. IF THE EXISTING MANHOLE, WHERE THE PROPOSED COLLECTION PIPING CONNECTS TO THE SEWER, IS NOT ADEQUATE, THE CONTRACTOR SHALL PROVIDE FOR REMOVAL OF THE UPSTREAM SYSTEM FLOW AND REPAIR OR REPLACEMENT OF THE EXISTING MANHOLE. THE CONTRACTOR SHALL COORDINATE THIS WORK WITH THE SYSTEM OWNER.
2. SUITABLE COUPLINGS COMPLYING WITH ASIAN SPECIFICATIONS SHALL BE USED TO JOIN THE PIPES.
3. DEFLECTION TESTING SHALL BE CONDUCTED ON ALL PROPOSED SANITARY SEWER PIPING AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. STABLE, UNDISTURBED SOILS SHALL BE USED TO AVOID EXCESSIVE DEFLECTION OF A RIGID BOLD OR MANHOLE SHALL BE HANDLED TO AVOID EXCESSIVE DEFLECTION OF A FLEXIBLE PIPE. THE DEFLECTION OF THE BASE NODD DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE, SHALL NOT EXCEED 1/100 OF THE PIPE DIAMETER. THE CONTRACTOR SHALL INCLUDE THE APPENDIX, TO WHICH THE PIPE IS MANUFACTURED.
4. LEAKAGE TESTS SHALL BE CONDUCTED ON ALL PROPOSED SANITARY SEWER PIPING. THE TEST SHALL BE CONDUCTED AT A MINIMUM OF 150 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR EACH SECTION OF PIPE. THE TEST SHALL BE CONDUCTED AT A MINIMUM OF 100 PSI WITH A MINIMUM POSITIVE HEAD OF 2 FEET. AIR TESTS, AS A MINIMUM, SHALL CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM E-1417 FOR PLASTIC PIPE.
5. MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48 INCHES AND A MINIMUM ACCESS DIAMETER OF 24 INCHES.
6. A BENCH SHALL BE PROVIDED ON EACH SIDE OF ANY MANHOLE CHANNEL, AND THE CHANNEL SHALL BE PROTECTED BY A 6" DEEP MANHOLE PIPE SHALL DISCHARGE INTO THE SURFACE OF THE BENCH.
7. ALL MANHOLE INTERSECTIONS SHALL BE PROTECTED. JOINTS SHALL BE SEALED WITH NON-SHRINKING MORTAR OR OTHER APPROPRIATE MATERIAL.
8. INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A 45 DEGREE ELBOW. THE INTERSECTION SHALL BE PROTECTED BY AN INTERLONIC CONSTRUCTION ARRANGEMENT THAT ALLOWS DIFFERENTIAL SETTLEMENT OF THE MANHOLE AND THE PIPES.
9. WATERTIGHT MANHOLE COVERS SHALL BE USED WHEREVER THE MANHOLE TOPS MAY BE FLOODED BY STREET RUNOFF OR HIGH WATER.
10. MANHOLES SHALL BE INSPECTED AND TESTED FOR WATER-TIGHTNESS OR LEAKAGE AFTER BACKFILLING AND BEFORE COVERING. FOR CONCRETE SEWER MANHOLES SHALL BE PERFORMED, CONFORMING TO THE TESTING PROCEDURE DESCRIBED IN ASTM E-1417 FOR PLASTIC PIPE.

1. THE EXISTING SEWER COLLECTION/TRANSMISSION SYSTEM SHALL REMAIN IN SERVICE DURING THE CONSTRUCTION OF THIS PROJECT. IF THE EXISTING MANHOLE, WHERE THE PROPOSED COLLECTION PIPING CONNECTS TO THE SEWER, IS NOT ADEQUATE, THE CONTRACTOR SHALL PROVIDE FOR REMOVAL OF THE UPSTREAM SYSTEM FLOW AND REPAIR OR REPLACEMENT OF THE EXISTING MANHOLE. THE CONTRACTOR SHALL COORDINATE THIS WORK WITH THE SYSTEM OWNER.
2. SUITABLE COUPLINGS COMPLYING WITH AASHTO SPECIFICATIONS SHALL BE USED TO JOIN THE PIPES.
3. DEFLECTION TESTING SHALL BE CONDUCTED ON ALL PROPOSED SANITARY SEWER PIPING AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. STABLE, UNDISTURBED SOILS SHALL BE USED TO BACKFILL THE PIPE. EXCEED A DEFLECTION OF ONE (1) RIGID RAIL OR MANHOLE SHALL BE HANDLED AS A DEFECT. THE DEFLECTION SHALL BE MEASURED AT THE CENTER OF THE BASE NINE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE. THE DEFLECTION SHALL BE MEASURED AT THE POINT OF MAXIMUM DEFLECTION, INCLUDING THE APPENDIX, TO WHICH THE PIPE IS MANUFACTURED.
4. LEAKAGE TESTS SHALL BE CONDUCTED ON ALL PROPOSED SANITARY SEWER PIPING. THE TEST SHALL BE CONDUCTED AT A MINIMUM OF 150 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF PIPE. THE TEST SHALL BE CONDUCTED AT A MINIMUM OF 100 PSI WITH A MINIMUM POSITIVE HEAD OF 2 FEET. AIR TESTS, AS A MINIMUM, SHALL CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM E-1417 FOR PLASTIC PIPE.
5. MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48 INCHES AND A MINIMUM ACCESS DIAMETER OF 24 INCHES.
6. A BENCH SHALL BE PROVIDED ON EACH SIDE OF ANY MANHOLE CHANNEL, AND THE CHANNEL SHALL BE PROTECTED BY A GRIP MANHOLE PIPE SHALL DISCHARGE INTO THE SURFACE OF THE BENCH.
7. ALL MANHOLE INTERSECTIONS SHALL BE CONSTRUCTED SUCH THAT JOINTS SHALL BE SEALED WITH NON-SHRINKING MORTAR OR OTHER APPROPRIATE MATERIAL.
8. INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A 90 DEGREE ELBOW. THE INTERSECTION SHALL BE PROTECTED BY AN INTERLOKING CONNECTION ARRANGEMENT THAT ALLOWS DIFFERENTIAL SETTLEMENT OF THE MANHOLE AND THE PIPES.
9. WATERTIGHT MANHOLE COVERS SHALL BE USED WHEREVER THE MANHOLE TOPS MAY BE FLOODED BY STREET RUNOFF OR HIGH WATER.
10. MANHOLES SHALL BE INSPECTED AND TESTED FOR WATER-TIGHTNESS OR LEAKAGE AFTER BACKFILLING AND BEFORE COVERING. FOR CONCRETE SEWER MANHOLES SHALL BE PERFORMED, CONFORMING TO THE TESTING PROCEDURE DESCRIBED IN ASTM E-1417 FOR PLASTIC PIPE.

CENTRELINE
REINFORCED CONCRETE PIPE
CORRUGATED METAL PIPE
BURIED FIBER OPTIC CABLE
ELECTRIC
SOIL BORING
6" DIA. 10' IRON ROD & CAP
3" DIA. 10' IRON ROD & CAP
FOUNDED "X" CONCRETE MONUMENT — NO I.D.
FOUNDED "X" CONCRETE MONUMENT — I.D. 5427
TEMPORARY BENCHMARK MARKER
WATER METER
TELEPHONE RISER BOX
FIBER OPTIC CABLE MARKER
CONCRETE RISER BOX
ELECTRIC BOX
IRRIGATION CONTROL BOX
SPRINKLER
WOOD POWER POLE
CH. ANCHOR
FIRE HYDRANT
VALVE
SANITARY MANHOLE
STORM DRAINAGE MANHOLE
WELL
LIGHT POLE
EXISTING SIGN
EXISTING QUADRANT SIGN
SANITARY CLEAN-OUT
MAIL BOX
MAIL BOX WITH PAPER BOX
BROKEN LINE: NOT DRAIN TO CURVE
VIEW CURVE
ALGEBRAIC DISTANCE
POINT OF VERTICAL INTERSECTION
POINT OF VERTICAL CURVATURE
POINT OF VERTICAL TANGENCY
IRON ROD & CAP
CONCRETE MONUMENT FOUND
TELEPHONE RISER BOX
TELEPHONE RISER BOX
FIBER OPTIC CABLE MARKER
ELEVATION
ELEVATION
CORRUGATED METAL PIPE
RIGHT-OF-WAY
MILES PER HOUR FENCE
ELEVATION
ELEVATION
CONC. NOT TO SCALE
WTP
STA. WOOD POWER POLE
CHAIN LINK FENCE
PIKED FENCE
PRIVACY FENCE
BROCKED AND WIRE FENCE
4' FIELD WIRE FENCE
4' HOOD WIRE FENCE
OF BOARDS / BOARD FENCE
BRIDGE FENCE
PROPOSED DITCH BANK
TEMPORARY BENCHMARK WITH I.D.
ELEVATING CONTOUR ELEVATION
OVERLAND FLOW DIRECTION
SPECIAL SWAMP
PERMANENT FLOW WITH FLOW DIRECTION

- CENTRELINE
REINFORCED CONCRETE PIPE
CORRUGATED METAL PIPE
BURIED FIBER OPTIC CABLE
ELECTRIC
SOIL BORING
6" DIA. 10' IRON ROD & CAP
3" DIA. 6" IRON ROD & CAP — L.S. 5427
FOUND 4" X 4" CONCRETE MONUMENT — NO I.D.
FOUND 4" X 4" CONCRETE MONUMENT — L.S. 5427
TEMPORARY BENCHMARK MARKER
WATER METER
TELEPHONE RISER BOX
FIBER OPTIC CABLE MARKER
CONCRETE RISER BOX
ELECTRIC BOX
HORIZONTAL CONTROL BOX
SPRINKLER
WOOD POWER POLE
CH. ANCHOR
FIRE HYDRANT
VALVE
SANITARY MANHOLE
STORM DRAINAGE MANHOLE
WELL
LIGHT POLE
EXISTING SIGN
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ALGEBRAIC DISTANCE
POINT OF VERTICAL INTERSECTION
POINT OF VERTICAL CURVATURE
POINT OF VERTICAL TANGENCY
IRON ROD & CAP
BENCHMARK MONUMENT FOUND
TELEPHONE RISER BOX
TELEPHONE RISER BOX
FIBER OPTIC CABLE MARKER
ELEVATION
ELEVATION
CORRUGATED METAL PIPE
RIGHT-OF-WAY
MILES PER HOUR FENCE
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TEMPORARY BENCHMARK WITH I.D.
ELEVATING CONTOUR ELEVATION
OVERLAND FLOW DIRECTION
SPRINKLER SWALE
PERMANENT FLOW WITH FLOW DIRECTION

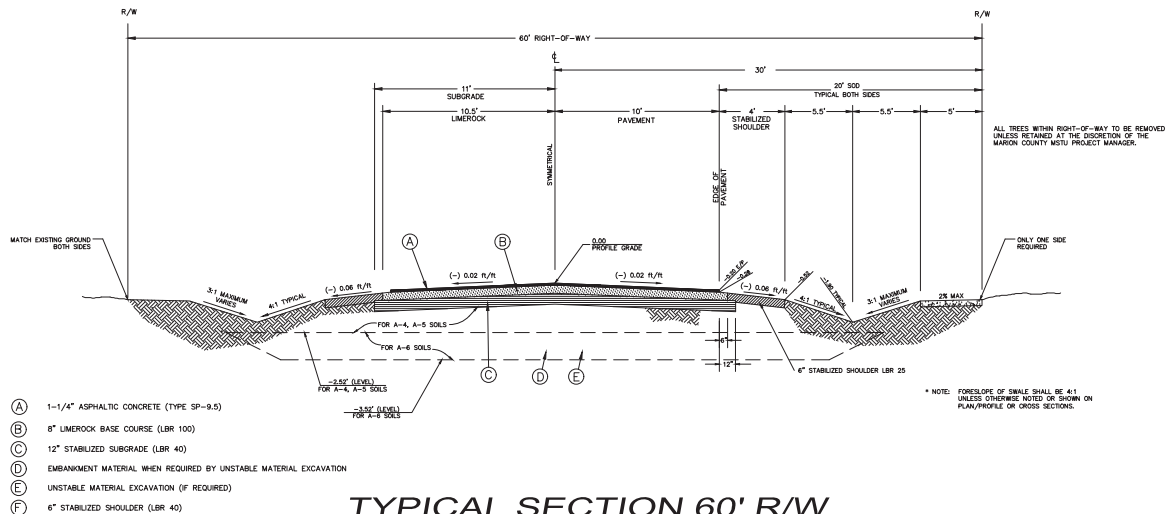
Date	By	Revisions
03-13-23	MIK	REVISIONS PER COUNTY COMMENTS
04-08-24	MIK	REVISIONS PER SWFWD COMMENTS
07-01-24	MIK	REVISIONS PER COUNTY COMMENTS

MARION COUNTY PROJECT
No. 29457

MICHAEL W. RADCLIFFE ENGINEERING, INC.
2811 S.E. Lake Way Avenue Ocala, FL 34701 (352) 625-5500 FAX (352) 629-1010
Certificate No. 1D-0004120 • Michael W. Radcliffe, P.E. Ocala, FL 34701
www.radcliffeengineering.com

Project Name	Marion Oaks Unit 2 Improvement Plans
Location	SECTION 22 & 23, TOWNSHIP 17 SOUTH, RANGE 21 EAST, MARION COUNTY, IL
Sheet Name	General Notes

Sheet No.
C002
of
45



TYPICAL SECTION 60' R/W

General Notes:

1. ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITIZEN'S STANDARDS FOR ASSESSMENT / MSTU ROAD DESIGN AND CONSTRUCTION.
2. LENGTH OF CROSS DRAINS SHOWN INCLUDES MITERED END SECTIONS.
3. ALL ROADWAY PAVEMENT RADI ARE 25' UNLESS SHOWN OTHERWISE ON PLANS.
4. ALL DRIVEWAY PAVEMENT RADI ARE 10' UNLESS SHOWN OTHERWISE ON PLANS.
5. THE ROAD CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN THROUGH DIRECT CONTACT WITH THE UTILITIES. SUCH CONTACT SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. ANY UTILITIES OBSTRUCTIVE TO HIS OPERATION ARE TO BE RELOCATED PRIOR TO CONSTRUCTION. MARION COUNTY SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES OR DELAYS CAUSED BY THE LOCATION OR DISPOSITION OF ANY UTILITIES.
6. ALL DRIVEWAY STATIONING IS APPROXIMATE. FINAL LOCATION MAY BE FIELD ADJUSTED IF APPROVED BY COUNTY INSPECTOR OR PROJECT MANAGER.
7. ALL PROPOSED DRIVES SHALL BE ASPHALT UNLESS OTHERWISE NOTED.
8. ROADWAY IS SYMMETRICAL ABOUT CENTERLINE UNLESS OTHERWISE SHOWN ON PLANS AND CROSS SECTIONS.
9. SPECIAL SWALES ARE INDICATED ON EITHER THE PLAN AND PROFILE OR CROSS SECTION SHEETS.
10. TREES WITHIN THE BACKSLOPE OF SWALE ARE TO BE REMOVED UNLESS RETAINED AT THE DISCRETION OF THE MARION COUNTY MSTU PROJECT MANAGER.
11. UNLESS OTHERWISE NOTED, SWALES SHALL BE CONSTRUCTED ACCORDING TO TYPICAL SECTION WITH BACKSLOPES TYING INTO EXISTING GROUND AT THE RIGHT-OF-WAY. BACKSLOPES STEEPER THAN 3:1 MAY BE ALLOWED FOR SHORT DISTANCES WHEN APPROVED BY PROJECT MANAGER.

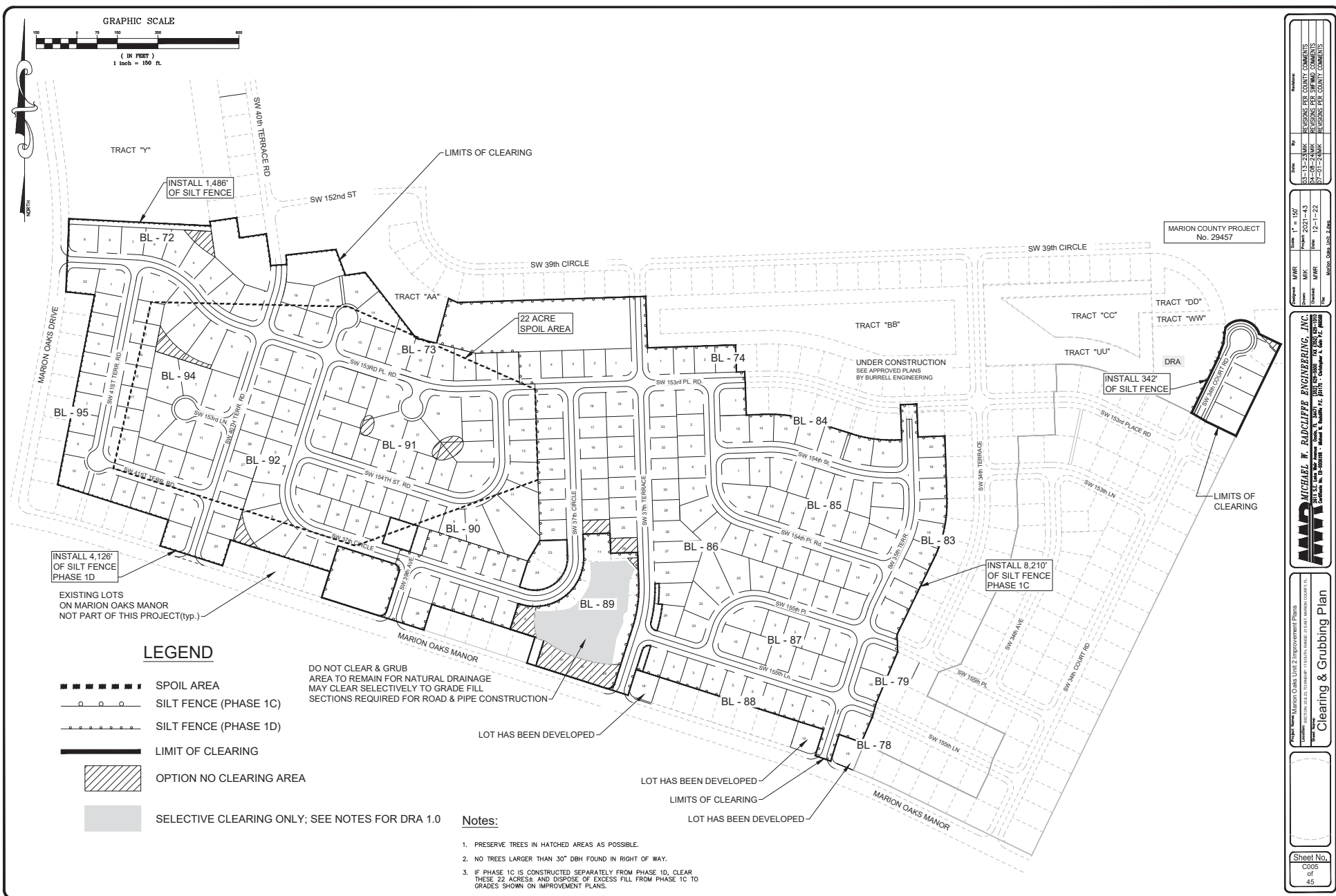
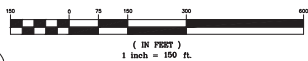
MARION COUNTY PROJECT
No. 29457

Project Name	Marion County Project No. 29457
Client	Marion County
Design	Michael W. Radcliffe Engineering, Inc.
Drawn	MWK
Check	MWK
Date	2021-03-22
Scale	1" = 20'
Sheet No.	0003 of 15

Michael W. Radcliffe Engineering, Inc.
2811 S.E. 1st Ave., Suite 100, Fort Lauderdale, FL 33316
Phone: 954.571.1111 Fax: 954.571.1112
www.mwre.com

Typical Section

GRAPHIC SCALE



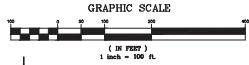
Revisions	By	Date
03-13-2018	MMR	REVISIONS PER COUNTY COMMENTS
04-08-2018	MMR	REVISIONS PER SMM COMMENTS
07-01-2018	MMR	REVISIONS PER COUNTY COMMENTS

Scale	1" = 100'
Project	2021-4-5
Drawn	MMR
Checked	MMR
Date	12-1-22
File	Marion Oaks Manor 2.dwg

MMR MICHAEL W. RADCLIFFER ENGINEERING, INC.
 1111 S.W. 10th Ave. Suite 100, Fort Lauderdale, FL 33304
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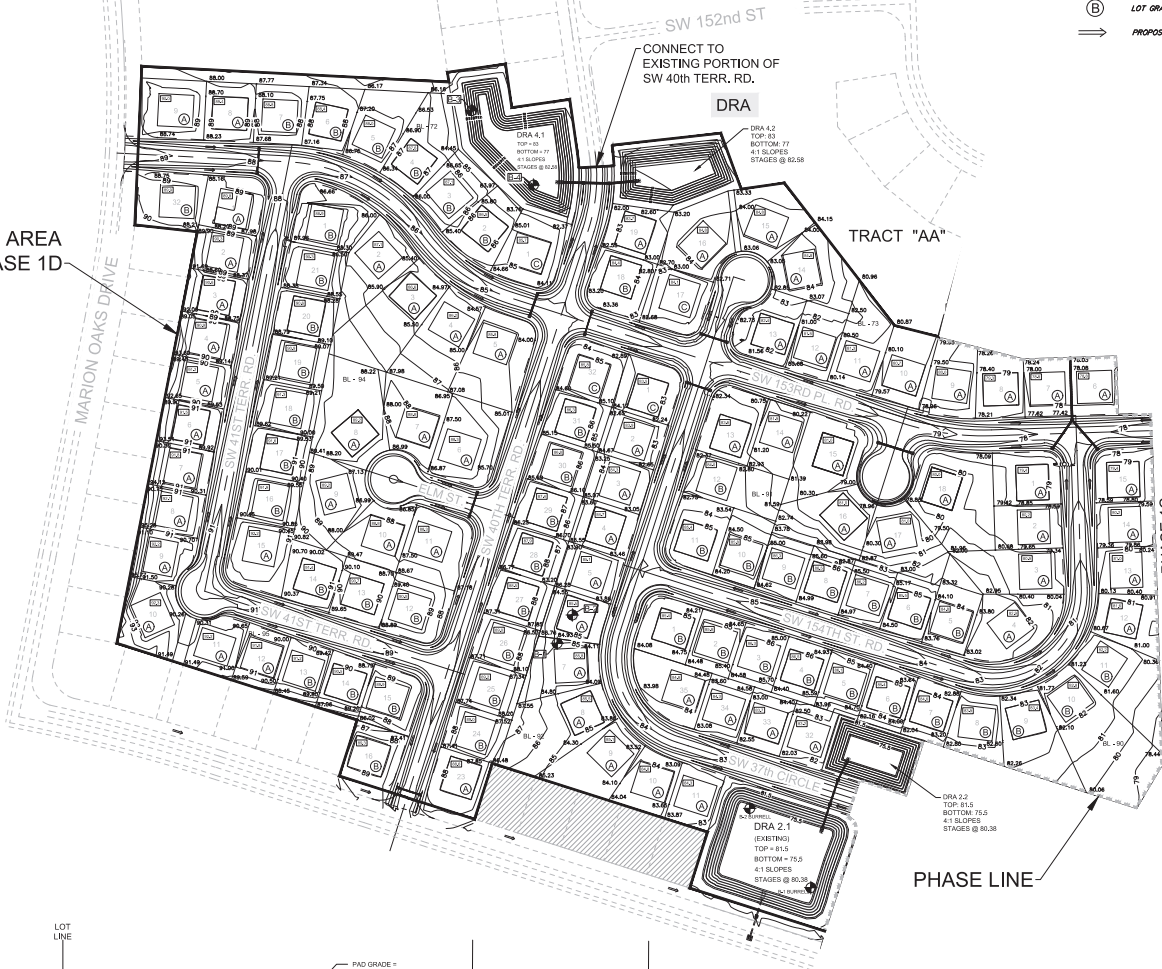
Project Name	Marion Oaks Manor Unit 2 Improvement Plans
Location	Marion Oaks Manor Unit 2, Marion County, FL
Sheet Title	Clearing & Grubbing Plan

Sheet No.	0005
of	45



PROJECT AREA
PHASE 1D

MARION OAKS DRIVE



LEGEND:

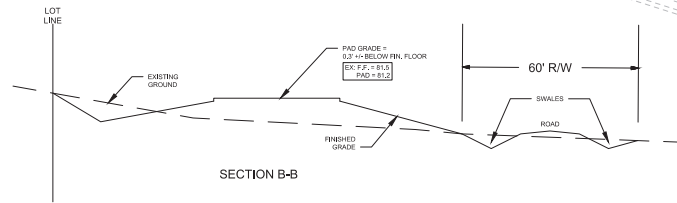
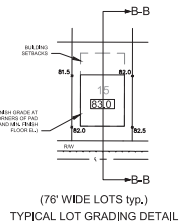
- 81.5 TYPICAL FINISH GRADE SPOT ELEVATION
- 82.0 TYPICAL MINIMUM FINISH FLOOR ELEVATION
- (B) LOT GRADING DESIGNATION
- PROPOSED DRAINAGE FLOW

Grading Notes:

- FINISH FLOOR ELEVATIONS AS SHOWN CAN BE HIGHER AND ARE THE MINIMUM ALLOWED PER THIS DESIGN. USE OF A LOWER ELEVATION THAN SHOWN REQUIRES APPROVAL BY PROJECT ENGINEER AND CITY OF OCALA BUILDING DEPARTMENT. SITE CONTRACTOR SHALL GRADE LOTS TO MATCH TYPICAL LOT DRAINAGE PATTERNS AND SPECIFIC GRADES WHERE SHOWN.
- ALL SWALES TO BE SODDED.
- REASONABLE CARE WAS TAKEN IN THE DETERMINATION OF PROPOSED LOT AND PAD GRADES TO MEET REQUIRED GRADING AND DRAINAGE CRITERIA. NOTIFY PROJECT ENGINEER WHEN GRADES POSE A SITUATION NOT MEETING THE INTENT OF THE APPROVED DRAINAGE PLAN.
- EACH BUILDING PAD SHALL BE CONSTRUCTED WITH CLEAN FILL TO A MIN. DEPTH OF 4" BELOW THE PROPOSED PAD ELEVATION, AND COMPACTED TO A MINIMUM OF 95% RELATIVE SOIL COMPACTION IN 1" LIFTS.
- GEOTECHNICAL CERTIFICATIONS SHALL BE PROVIDED FOR EACH LOT PAD BY A GEOTECHNICAL ENGINEER SHOWING SATISFACTORY RESULTS FOR SOIL MAKEUP AND DENSITY, AND ANALYZING THE SOIL PROFILE DOWN TO 5' BELOW PAD ELEVATION.
- AS-BUILT PLANS SHALL BE PROVIDED VERIFYING ALL PROPOSED LOT GRADES ON THIS PLAN HAVE BEEN CONSTRUCTED PER PLAN. BUILDING PADS SHALL BE CONSTRUCTED TO WITHIN ±2" OF PROPOSED PAD ELEVATIONS.
- BUILDING SETBACKS NOT SHOWN ON PLAN (SEE TYPICAL LOT GRADING DETAIL, THIS SHEET.) SETBACKS = FRONT-20', SIDE-4', REAR-20'.
- ALL RIGHT-OF-WAY AND SWALES SHALL BE SODDED WITH ARGENTINE BAHIA, AND WATERED UNTIL PROJECT COMPLETION. ALLOW FOR THICKNESS OF SOIL WITH A 2" UNDERCUT. ALL FINISHED BUILDING PADS AND ANY OTHER DISTURBED AREAS NOT SODDED SHALL BE SEED AND MULCHED, OR HYDROSEED. THESE AREAS SHALL BE WATERED UNTIL THE PROJECT HAS BEEN CERTIFIED COMPLETE, OR EVIDENCE OF GERMINATION IS OBSERVED, WHICHEVER OCCURS LATER.
- IN THE EVENT THAT EXCESS FILL IS AVAILABLE AFTER GRADING OPERATIONS IT MAY BE USED TO RAISE BUILDING PADS AS NECESSARY OR STOCK PILED AT OWNERS DISCRETION.
- SEE SHEET 003 FOR INTERIOR ROAD TYPICAL SECTION DETAIL.

PHASE LINE

PHASE 1D



Project Name	Marion Oaks Unit 2
Owner	Marion Oaks Unit 2, LLC
Design	Michael W. Radcliff Engineering, Inc.
Scale	1" = 100'
Date	11-10-22
Sheet No.	0007
of	42

Project Name	Marion Oaks Unit 2
Owner	Marion Oaks Unit 2, LLC
Design	Michael W. Radcliff Engineering, Inc.
Scale	1" = 100'
Date	11-10-22
Sheet No.	0007
of	42

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of	42



Figure 1 consists of three diagrams labeled (A), (B), and (C), each showing a cross-section of a reinforced concrete slab. The diagrams illustrate the design of a slab for a rectangular room with dimensions 3.0m by 3.0m. The central square area is 1.5m by 1.5m. The diagrams show the slab's profile, reinforcement bars, and the location of the main reinforcement bars. Diagram (A) shows the slab with a central square area of 1.5m by 1.5m. Diagram (B) shows the slab with a central square area of 1.5m by 1.5m. Diagram (C) shows the slab with a central square area of 1.5m by 1.5m.

OTHER FLOOR SHALL BE ON A 1/2" SLOPE FROM
GROUND AROUND THE HOUSE
SUFFICIENT DRAIN OF 1/8" TO PREVENT
STORMWATER FROM ENTERING GARAGE.

BUILDING
SETBACKS

80.5' 80.5'

81.5' 81.5'

15'

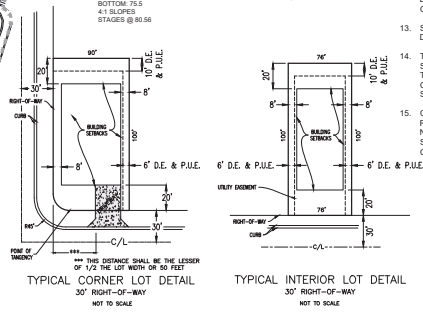
75' 75'

82.0' 82.0'

82.0' 82.0'

76' WIDE LOTS

TYPICAL LOT GRADING

MARION COUNTY PROJECT
No. 29457

1. CAD FILE TO 30 GRADING SURFACE TO BE PROVIDED TO CONTRACTOR AND SURVEYOR.

2. FINISH FLOOR ELEVATIONS AS SHOWN CAN BE HIGHER AND ARE THE MINIMUM ALLOWED FOR THIS DESIGN. IF A LOWER FINISH FLOOR ELEVATION IS REQUIRED APPROVAL BY PROJECT ENGINEER AND MUNICIPALITY BUILDING DEPARTMENT. SITE CONTRACTOR SHALL GRADE LOTS TO MATCH TYPICAL DRAINAGE PATTERNS AND SPECIFIC GRADES WHERE SHOWN.

3. ALL SVALES TO BE SODDED.

4. REASONABLE CARE WAS TAKEN IN THE DETERMINATION OF PROPOSED LOT AND PAD GRADES TO MEET REQUIRED GRADING AND DRAINAGE REQUIREMENTS. UNUSUAL SVALE AND PAD GRADES POSE A SITUATION NOT MEETING THE INTENT OF THE APPROVED DRAINAGE PLAN.

5. EACH BUILDING PAD SHALL BE CONSTRUCTED WITH DESIGNED 15% MIN. DRAINAGE 2" BELOW THE PROPOSED PAD ELEVATION, AND COMPACTED TO A MINIMUM OF 95% SOIL COMPACTION IN 12" LIFTS.

6. GEOTECHNICAL CERTIFICATIONS SHALL BE PROVIDED FOR EACH PAD AND 15% MIN. DRAINAGE 2" BELOW THE PROPOSED PAD ELEVATION. SODDING SATISFACTORY RESULTS FOR SOIL MAKEUP AND DRAINAGE PLANS SHALL BE PROVIDED TO THE CITY ENGINEER TO 2" BELOW PAD ELEVATION.

7. AS-BUILT PLANS SHALL BE PROVIDED VERIFYING ALL PROPOSED LOT GRADES ON THIS PLAN HAVE BEEN PROVIDED PER PLAN. ALL BUILDING PADS SHALL BE CONSTRUCTED TO WITHIN 4" OF PROPOSED PAD ELEVATIONS.

BUILDING SETBACKS NOT SHOWN ON PLAN (SEE TYPICAL GRADING DETAIL) SHALL BE 10' SETBACKS - FRONT 20', SIDE 8', REAR 20'.

8. OWNER OWNS ALL EXCESS FILL.

9. EXCESS FILL FROM PHASE C TO BE STORED AND USED ON PHASE D.

10. ALL RIGHT-OF-WAY AND SWALES SHALL BE SODDED WITH ARGENTINE BAHIA, AND WATERED UNTIL PROPER ESTABLISHMENT. IF SOIL THICKNESS OF SODD WITH A 2" UNDERCUT, ALL FINISHED BUILDING AND OTHER AREAS SHALL BE SODDED WITH SODD. SODD SHALL BE SEED AND MULCHED, OR HYDROSEED. THESE AREAS SHALL BE WATERED UNTIL PROPER ESTABLISHMENT. SEEDS SHALL BE COMPLETE, OR EVIDENCE OF GERMINATION IS OBSERVED, WHICHEVER OCCURS LATER.

11. IN THE EVENT THAT EXCESS FILL IS AVAILABLE FOR OTHER CONSTRUCTIONS, IT SHALL BE USED TO BUILD DRAINAGE PADS AS NECESSARY OR STOCK PILED AT OWNERS DISCRETION.

12. SEE SHEET 033 FOR INTERIOR ROAD PAVEMENT TYPE SECTION DETAIL.

13. THE CONTRACTOR SHALL PROVIDE DOWNSTREAM SILTATION PROTECTION DURING CONSTRUCTION. IN THE EVENT SUCH PROTECTION IS INADEQUATE, THE CONTRACTOR SHALL REMOVE ANY DOWNSTREAM SILTATION PRIOR TO THE TIME OF FINAL INSPECTION.

14. CONTRACTOR SHALL INSTALL TEMPORARY RETENTION BARRIERS, SWALES AND/OR BERM'S NECESSARY TO PREVENT DISCHARGE OF STORMWATER RUNOFF FROM THE SITE DURING CONSTRUCTION.

Date	By	Revisions
3-13-23MIK		REVISIONS PER COUNTY COMMENTS
4-08-24MIK		REVISIONS PER SWF/MD COMMENTS
4-08-24MIK		REVISIONS PER SWF/MD COMMENTS
7-01-24MIK		REVISIONS PER COUNTY COMMENTS

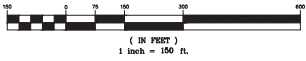
Designed	MWR	Scale: 1" = 100'
Drawn	MIK	Project: 2021-43
Checked	MWR	Date: 12-1-22

MWD **MICHAEL W. RADCLIFFE ENGINEERING, INC.**
3811 S.E. Lake Mead Avenue Ocala, FL 34471 (352) 628-3000 FAX (352) 428-1010
Certificate No. EP-0000108 - Michael W. Radcliffe, P.E. 41117m
Professional & Civil P.E. 004148

Grading Plan 1D

Project Name: WES
 Location: SECTION
 Sheet Name:
 Sheet No. of 45

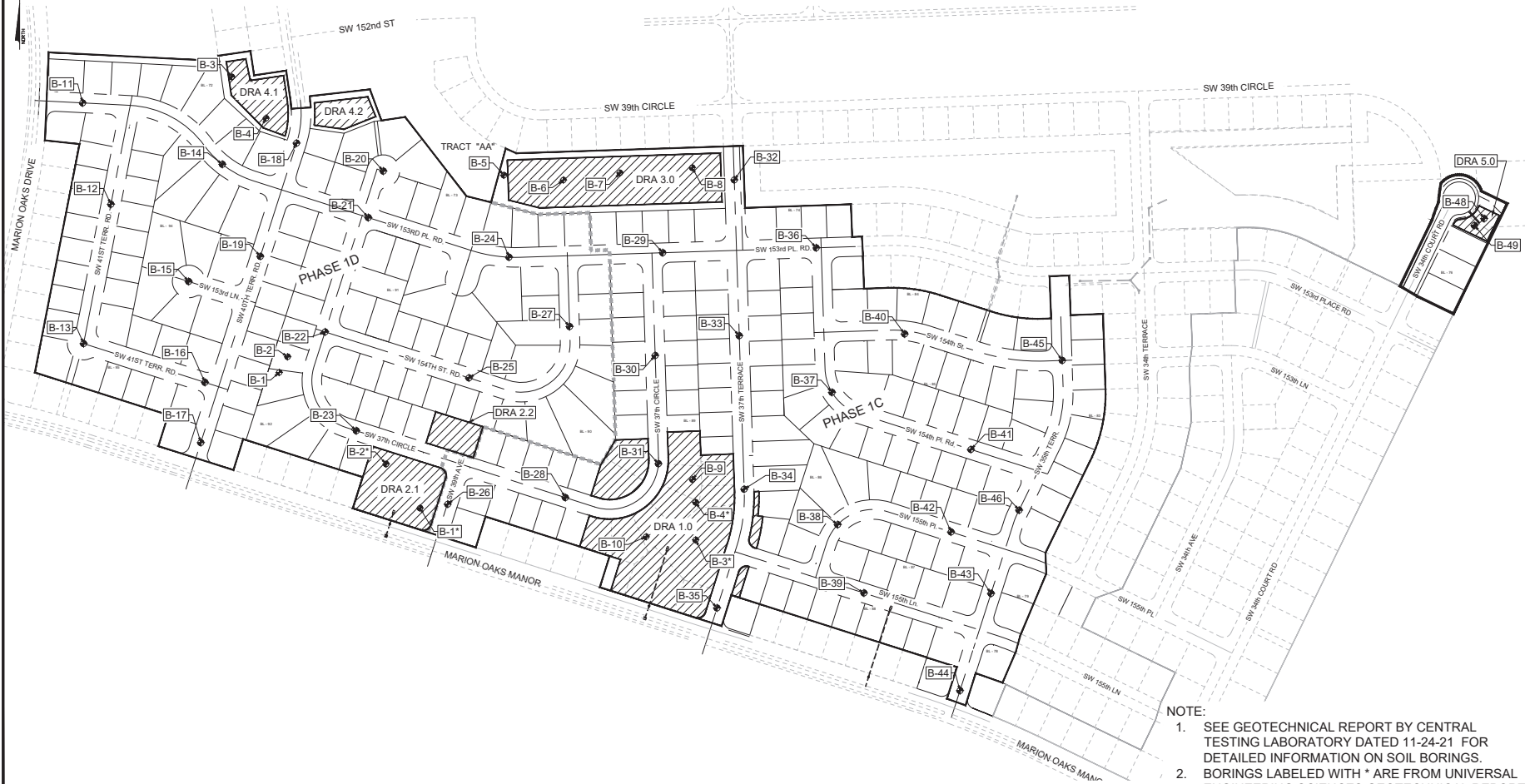
GRAPHIC SCALE



⬤ = SOIL BORING LOCATION

▨ = DRAINAGE RETENTION AREA

MARION COUNTY PROJECT
No. 29457



NOTE:

1. SEE GEOTECHNICAL REPORT BY CENTRAL TESTING LABORATORY DATED 11-24-21 FOR DETAILED INFORMATION ON SOIL BORINGS.
2. BORINGS LABELED WITH * ARE FROM UNIVERSAL ENGINEERING SCIENCES GEOTECHNICAL REPORT DATED 4-8-19.
3. SEE PLAN AND PROFILE SHEETS FOR DETAILED ROAD BORING INFORMATION.
4. SEE DRA CROSS SECTIONS FOR DETAILED DRA BORING INFORMATION.

Revisions	By	Date	Reasons for County Comments
03-13-2016			REVISIONS PER COUNTY COMMENTS
04-08-2016			REVISIONS PER COUNTY COMMENTS
07-01-2016			REVISIONS PER COUNTY COMMENTS

Revisions	By	Date	Reasons for County Comments
03-13-2016			REVISIONS PER COUNTY COMMENTS
04-08-2016			REVISIONS PER COUNTY COMMENTS
07-01-2016			REVISIONS PER COUNTY COMMENTS

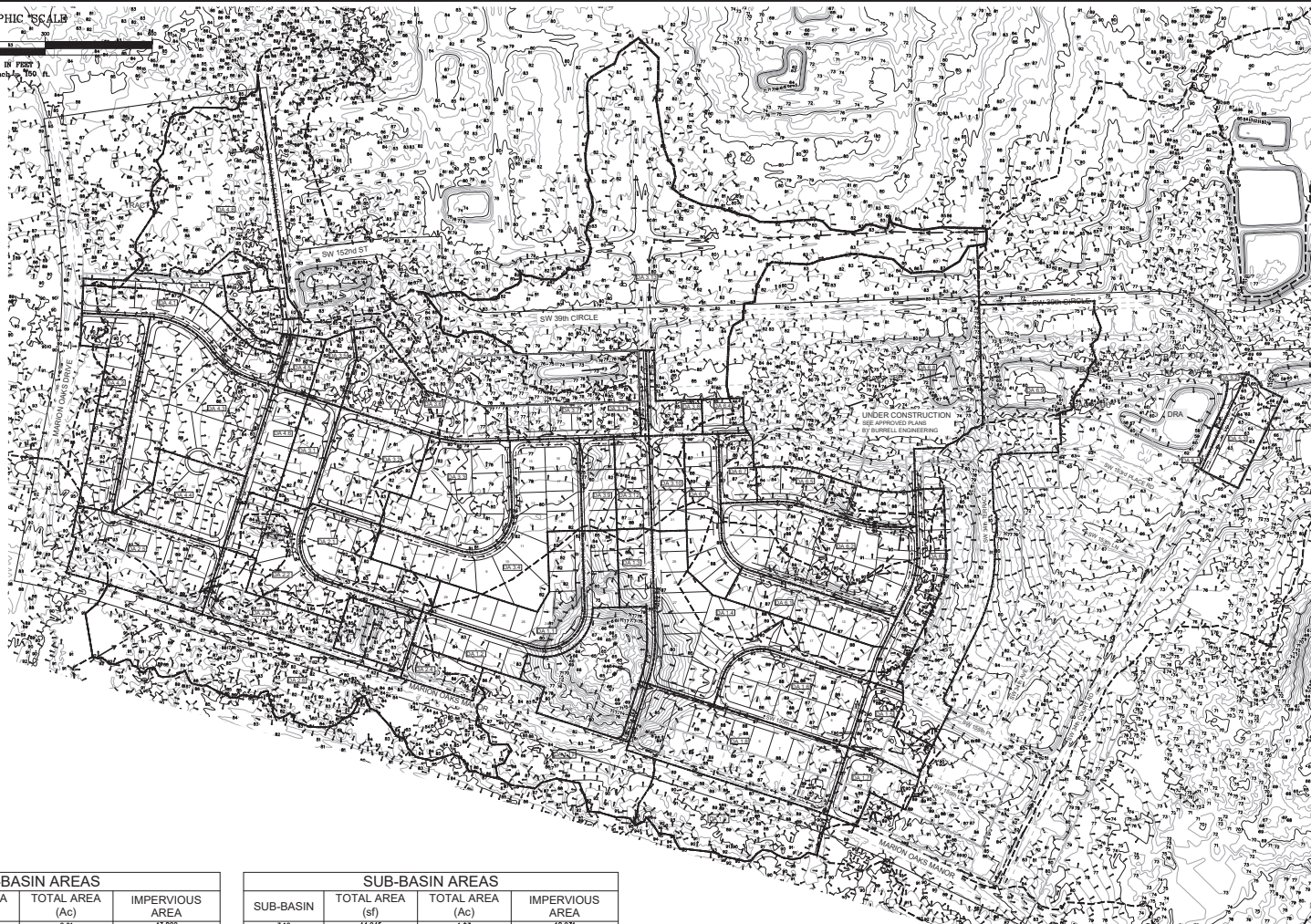
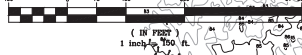
MAR MICHAEL W. RADCLIFFER ENGINEERING, INC.
 1111 S.W. 1st Ave. Suite 1000, Fort Lauderdale, FL 33301
 Phone: (954) 581-1111 Fax: (954) 581-1111
 Website: www.mar-engineering.com

Soil Boring Locations

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GRAPHIC SCALE



SUB-BASIN AREAS

SUB-BASIN	TOTAL AREA (sf)	TOTAL AREA (Ac)	IMPERVIOUS AREA
1.1	113,885	2.61	43,822
1.2	122,437	2.82	37,998
1.3	46,491	1.07	20,358
1.4	217,440	4.99	89,267
1.5	158,614	3.62	21,534
1.6	132,464	3.04	45,123
1.7	135,389	3.12	20,070
1.8	205,009	4.71	74,702
1.9	162,397	3.73	59,027
1.10	7,534	0.16	3,511
1.11	176,798	4.13	83,313
DRA 1.0	145,029	3.33	145,029
2.1	107,777	2.45	33,909
2.2	120,195	2.76	37,070
2.3	80,840	1.86	34,326
2.4	38,824	0.89	13,776
2.5	141,311	3.25	48,818
2.6	179,868	4.13	111,503
DRA 2.0	54,686	1.26	0
3.1	52,682	1.21	19,348
3.2	121,118	2.78	41,909
3.3	105,803	2.42	48,733
3.4	206,629	4.74	64,626
3.5	35,842	0.82	9,644
3.6	122,734	2.82	38,255
3.7	145,350	3.33	22,468
3.8	32,913	0.75	11,375
3.9	45,237	1.04	17,380
3.10	46,382	1.07	17,345
3.11	9,217	0.22	5,192

SUB-BASIN AREAS

SUB-BASIN	TOTAL AREA (sf)	TOTAL AREA (Ac)	IMPERVIOUS AREA
3.12	44,845	1.03	18,831
3.13	77,254	1.77	35,344
DRA 3.0	131,243	3.02	0
4.1	122,419	2.82	26,914
4.2	109,597	2.51	41,725
4.3	225,059	5.26	69,702
4.4	89,186	2.05	32,819
4.5	27,799	0.64	10,427
4.6	54,248	1.25	22,024
4.7	64,528	1.47	885
4.8	274,250	6.34	481,731
DRA 4.0	64,320	1.48	0
5.1	50,919	1.17	1,121
5.2	71,811	1.64	2,555
5.3	47,282	1.09	16,072
DRA 5.0	12,929	0.30	0
6.1	29,202	0.67	3,097
6.2	28,425	0.65	3,097
6.3	81,880	1.88	30,569
6.4	25,081	0.58	1,851
6.5	79,278	1.82	25,332
6.6	82,888	1.90	30,741
6.7	34,225	0.79	12,180
6.8	680,109	15.62	189,738
6.9	435,464	10.00	122,040

LEGEND

- PROPOSED SUB-BASINS
- PRE-DEVELOPMENT FLOW
- POST-DEVELOPMENT FLOW

Revisions	Date	By	Reason
03-13-2008			REVISIONS PER COUNTY COMMENTS
04-08-2008			REVISIONS PER 3RD PARTY COMMENTS
07-01-2008			REVISIONS PER COUNTY COMMENTS

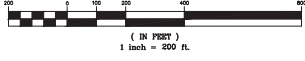
Revisions	Date	By	Reason
03-13-2008			REVISIONS PER COUNTY COMMENTS
04-08-2008			REVISIONS PER 3RD PARTY COMMENTS
07-01-2008			REVISIONS PER COUNTY COMMENTS

MWR MICHAEL W. RADCLIFF ENGINEERING, INC.
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Sub-Basins

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GRAPHIC SCALE



LEGEND

- PRE-DEVELOPMENT DRAINAGE BASIN BOUNDARY
 --- MARION COUNTY FLOOD PRONE AREAS

MARION COUNTY PROJECT
 No. 29457



Revisions	Date	By	Reason
DA 1A - 2.00 AC			REVISIONS PER COUNTY COMMENTS
DA 1B - 2.00 AC			REVISIONS PER COUNTY COMMENTS
DA 1C - 2.00 AC			REVISIONS PER COUNTY COMMENTS
DA 1D - 2.00 AC			REVISIONS PER COUNTY COMMENTS

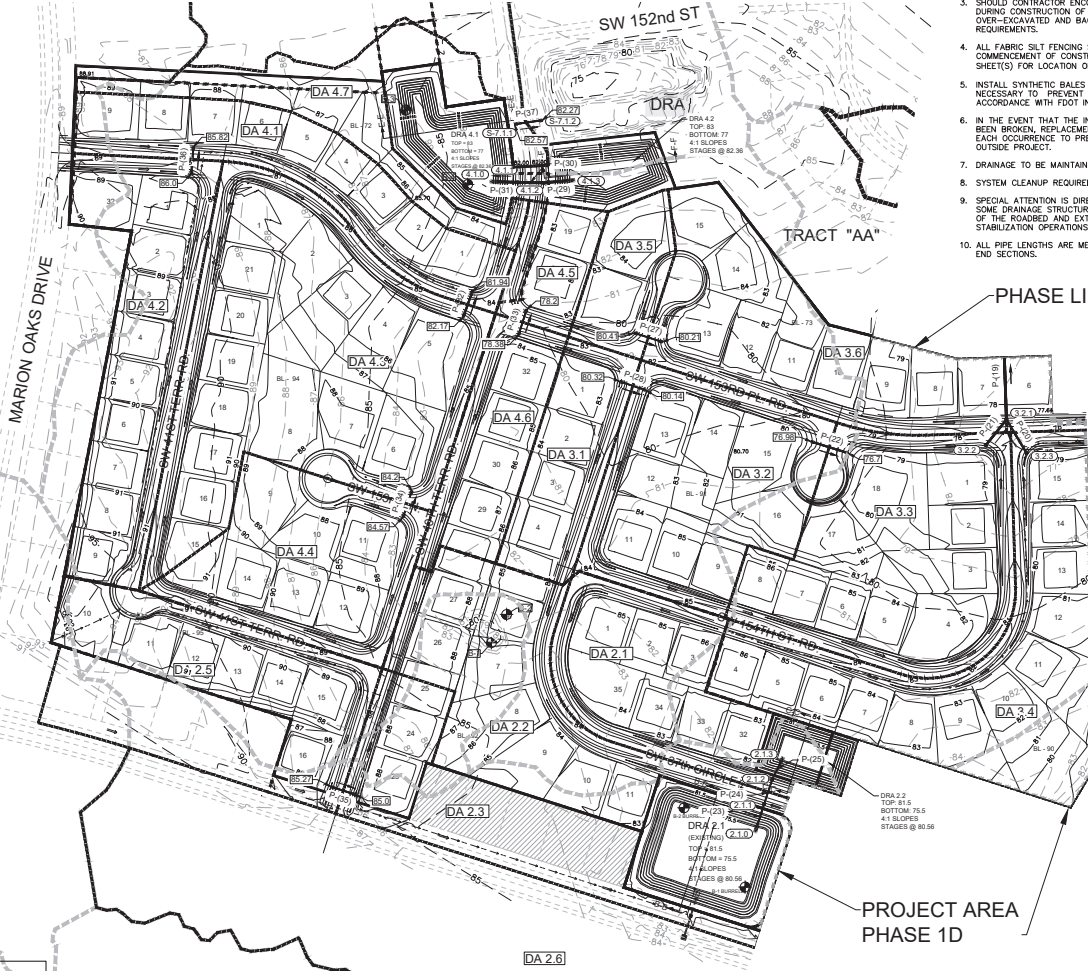
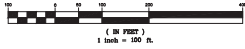
Revisions	Date	By	Reason
DA 2A - 2.00 AC			REVISIONS PER COUNTY COMMENTS
DA 2B - 2.00 AC			REVISIONS PER COUNTY COMMENTS
DA 2C - 2.00 AC			REVISIONS PER COUNTY COMMENTS
DA 2D - 2.00 AC			REVISIONS PER COUNTY COMMENTS

MAR MICHAEL W. RADCLIFFE ENGINEERING, INC.
 1111 S. Main Street, Suite 100, Ocala, FL 32668
 Phone: 352.236.1111 Fax: 352.236.1112
 Email: mwr@mar-mwr.com Website: www.mar-mwr.com

Project Name: Marion County, USA 2.00 AC 2.00 AC 2.00 AC
 Location: Marion County, USA 2.00 AC 2.00 AC 2.00 AC
 Date: 12/12/2011
 Pre-Development Sub-Basins

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GRAPHIC SCALE



Drainage Notes:

1. THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, EXCESS DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS OF EACH OCCURRENCE.
2. CONTOUR ELEVATIONS BASED ON NAVD 88 VERTICAL DATUM.
3. SHOULD CONTRACTOR ENCOUNTER LIMESTONE OR A SINK CHIMNEY DURING CONSTRUCTION OF A BASIN, THAT AREA WILL BE OVER-EXCAVATED AND BACK FILLED TO MEET THE KARST REPAIR REQUIREMENTS.
4. ALL FABRIC SILT FENCING SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION REFER TO EROSION CONTROL SHEET(S) FOR LOCATION OF INSTALLATION AND QUANTITIES.
5. INSTALL SYNTHETIC BALES AT EACH END OF CROSS DRAIN(S) AS NECESSARY TO PREVENT SEDIMENT FROM FILLING THE CULVERT IN ACCORDANCE WITH FOOT INDEX 102.
6. IN THE EVENT THAT THE INTEGRITY OF THE FABRIC SILT FENCE HAS BEEN BROKEN, REPLACEMENT MUST OCCUR WITHIN 24 HOURS OF EACH OCCURRENCE TO PREVENT THE DISCHARGE OF SEDIMENT OUTSIDE PROJECT.
7. DRAINAGE TO BE MAINTAINED DURING CONSTRUCTION.
8. SYSTEM CLEANUP REQUIRED AT END OF CONSTRUCTION.
9. SPECIAL ATTENTION IS DIRECTED TO THE FACT THAT PORTIONS OF SOME DRAINAGE STRUCTURES EXTEND INTO THE STABILIZED PORTION OF THE ROADBED AND EXTREME CAUTION WILL BE NECESSARY IN STABILIZATION OPERATIONS AT THESE LOCATIONS.
10. ALL PIPE LENGTHS ARE MEASURED TO INCLUDE CONCRETE MITERED END SECTIONS.

Pipe Name	Size	Length	Slope
P-(20)	24	66.81	0.51%
P-(21)	30	56.28	0.52%
P-(22)	24	54.96	0.51%
P-(23)	18	45.05	0.51%
P-(24)	15	43.78	0.00%
P-(25)	15	37.21	1.02%
P-(26)	15	33.00	0.52%
P-(27)	15	39.10	0.51%
P-(28)	15	35.43	0.51%
P-(29)	36	44.66	0.52%
P-(30)	36	44.19	0.00%
P-(31)	36	41.39	0.56%
P-(32)	24	33.02	0.70%
P-(33)	15	34.34	0.52%
P-(34)	15	36.17	1.03%
P-(35)	18	32.45	0.83%
P-(36)	18	34.62	0.52%
P-(37)	18	36.81	0.82%

MARION COUNTY PROJECT
No. 29457

LEGEND:

- PHASE LINE
- DRAINAGE SUB BASIN
- SUB BASIN BOUNDARY
- STORMWATER PIPE
- PROPOSED DRAINAGE FLOW
- INVERT ELEVATION

Structure Name	Structure Details	Alignment Details
1.1.0	Rectangular Junction Structure NF GRATE = 69.00 P-(8) INV IN = 67.00	STA: 208+21.14 OFF: 66.176
1.1.1	Rectangular Junction Structure NF GRATE = 75.43 P-(8) INV IN = 67.22 P-(8) INV OUT = 67.00	STA: 208+21.60 OFF: 21.980
1.1.2	Rectangular Junction Structure NF GRATE = 73.00 P-(8) INV IN = 67.44	STA: 208+22.36 OFF: -21.799
1.2.0	Null Structure GRATE = 67.58 P-(7) INV IN = 66.00	STA: 208+70.40 OFF: 246.625
1.2.1	Rectangular Junction Structure NF GRATE = 73.82 P-(8) INV IN = 66.24 P-(7) INV OUT = 66.24	STA: 169+83.73 OFF: -20.249
1.2.2	Rectangular Junction Structure NF GRATE = 74.81 P-(8) INV IN = 66.44	STA: 169+83.99 OFF: 19.201
1.3.0	Null Structure GRATE = 71.63 P-(5) INV IN = 69.00	STA: 168+80.75 OFF: -62.580
1.3.1	Rectangular Junction Structure NF GRATE = 75.93 P-(4) INV IN = 69.16 P-(3) INV OUT = 69.17	STA: 168+80.42 OFF: -20.596
1.3.2	Rectangular Junction Structure NF GRATE = 75.01 P-(4) INV IN = 69.37	STA: 168+79.93 OFF: 20.048
2.1.0	Rectangular Junction Structure NF GRATE = 77.00 P-(23) INV IN = 75.50	STA: 201+50.88 OFF: 66.816
2.1.1	Rectangular Junction Structure NF GRATE = 79.88 P-(24) INV IN = 75.88 P-(23) INV OUT = 75.73	STA: 201+50.87 OFF: 21.761
2.1.2	Rectangular Junction Structure NF GRATE = 79.88 P-(24) INV IN = 75.88 P-(23) INV OUT = 75.88	STA: 201+51.32 OFF: -22.013
2.1.3	Null Structure GRATE = 78.89 P-(25) INV IN = 75.50	STA: 201+56.64 OFF: -58.165
3.1.0	Null Structure GRATE = 73.58 P-(18) INV IN = 72.00	STA: 180+96.03 OFF: -63.278

Structure Name	Structure Details	Alignment Details
3.1.1	Rectangular Junction Structure NF GRATE = 76.77 P-(17) INV IN = 72.45 P-(18) INV OUT = 72.33	STA: 180+95.94 OFF: -22.867
3.1.2	Rectangular Junction Structure NF GRATE = 76.78 P-(17) INV IN = 72.81	STA: 180+95.30 OFF: 21.972
3.2.0	Null Structure GRATE = 75.15 P-(19) INV IN = 72.00	STA: 117+42.58 OFF: -173.977
3.2.1	Rectangular Junction Structure NF GRATE = 76.22 P-(21) INV IN = 72.76 P-(20) INV IN = 72.76 P-(19) INV OUT = 72.76	STA: 117+42.80 OFF: -22.000
3.2.2	Rectangular Junction Structure NF GRATE = 76.95 P-(21) INV IN = 73.05	STA: 117+06.11 OFF: 20.676
3.2.3	Rectangular Junction Structure NF GRATE = 76.21 P-(20) INV IN = 73.10	STA: 117+75.53 OFF: 36.241
4.1.0	Null Structure GRATE = 79.63 P-(31) INV IN = 77.00	STA: 240+35.82 OFF: -63.831
4.1.1	Rectangular Junction Structure NF GRATE = 80.97 P-(30) INV IN = 77.23 P-(31) INV IN = 77.23	STA: 240+36.56 OFF: -22.442
4.1.2	Rectangular Junction Structure NF GRATE = 80.47 P-(30) INV IN = 77.23 P-(29) INV IN = 77.23	STA: 240+37.38 OFF: 21.745
4.1.3	Null Structure GRATE = 81.15 P-(29) INV IN = 77.00	STA: 240+42.11 OFF: 68.937
4W.1.0 EX	Rectangular Junction Structure NF GRATE = 83.83 P-(12) INV IN = 79.00	STA: 226+06.03 OFF: 1287.124
4W.1.1	Rectangular Junction Structure NF GRATE = 83.20 P-(11) INV IN = 79.78 P-(12) INV IN = 79.78	STA: 150+04.98 OFF: -22.507
4W.1.2	Rectangular Junction Structure NF GRATE = 83.20 P-(11) INV IN = 80.00	STA: 150+04.75 OFF: 22.011

Project Name: MARION COUNTY PROJECT No. 29457

Client: MARION COUNTY

Design: MICHAEL W. RADCLIFFE ENGINEERING, INC.

Scale: 1" = 100'

Sheet No. C010 of 45

Drainage Plan 1D

Project Location: MARION COUNTY, FL

Project Date: 12-1-22

Project Status: PRELIMINARY

Project Description: MARION COUNTY PROJECT No. 29457

Project Address: 152nd St, Marion County, FL 32053

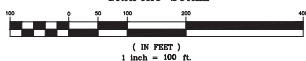
Project Contact: MICHAEL W. RADCLIFFE, P.E., 152nd St, Marion County, FL 32053

Project Phone: 904-255-1111

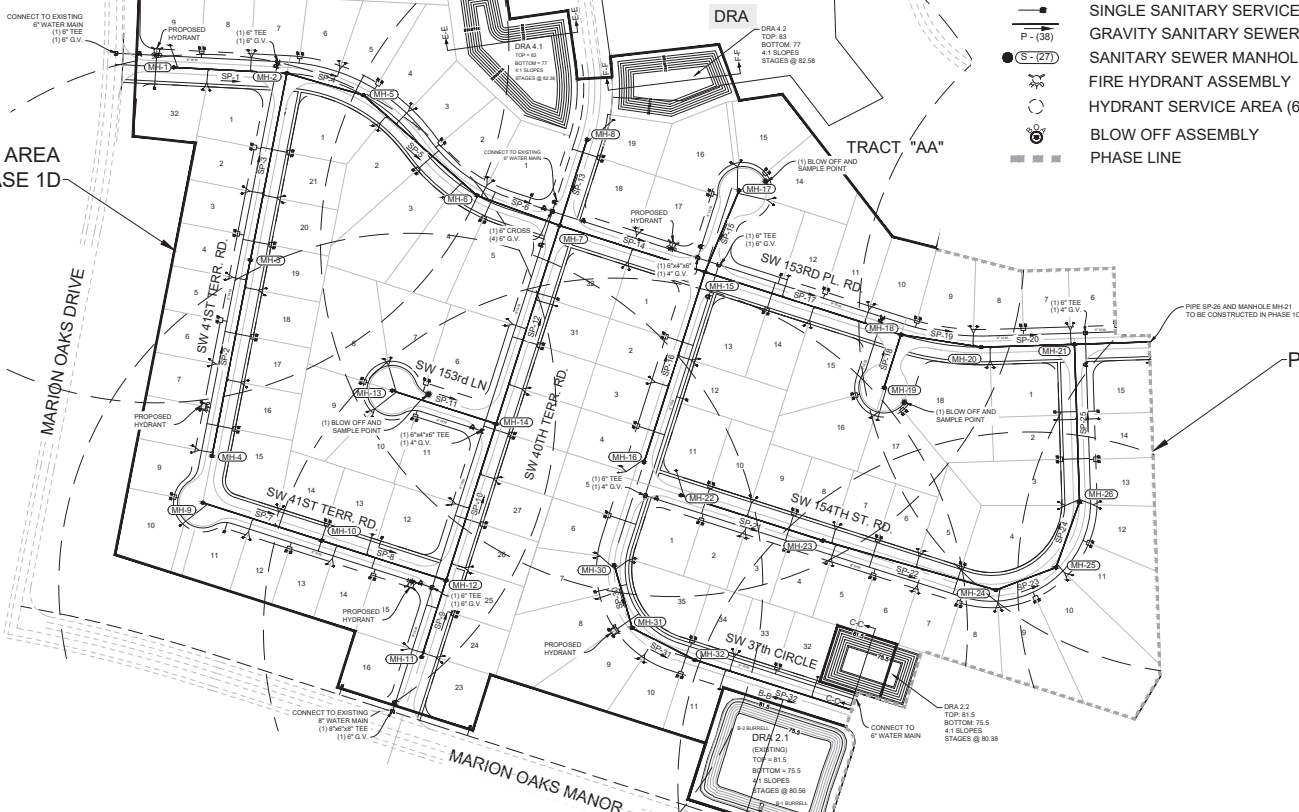
Project Email: mradcliffe@mrade.com

Project Website: www.mrade.com

GRAPHIC SCALE

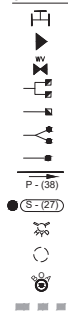


PROJECT AREA
PHASE 1D



LEGEND

6" W.M.



P.V.C. WATER MAIN
WATER JOINT
REDUCER
GATE VALVE
DOUBLE WATER SERVICE
SINGLE WATER SERVICE
DOUBLE SANITARY SERVICE LATERAL
SINGLE SANITARY SERVICE LATERAL
GRAVITY SANITARY SEWER MAIN
SANITARY SEWER MANHOLE
FIRE HYDRANT ASSEMBLY
HYDRANT SERVICE AREA (600' RADIUS)
BLOW OFF ASSEMBLY
PHASE LINE

MARION COUNTY PROJECT
No. 29457

PHASE LINE

WATER CONSTRUCTION NOTES

1. THE PERMITTEE WILL PROMPTLY NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION UPON SALE OR LEGAL TRANSFER OF THE PERMITTED FACILITY. PERMIT IS TRANSFERABLE ONLY UPON DEPARTMENT APPROVAL. THE NEW OWNER MUST APPLY, BY LETTER, FOR A TRANSFER OF PERMIT WITHIN 30 DAYS.
2. ALL PIPE, PIPE FITTINGS, PIPE JOINT, JOINTING MATERIALS, AND VALVES INSTALLED UNDER THIS PROJECT WILL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
3. ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF INTERNATIONAL STANDARD 61.
4. ALL WATER MAINS SHALL BE P.V.C. AND SHALL BE NSF APPROVED FOR POTABLE WATER USE. BEAR THE NSF LOGO, AND MEET THE FOLLOWING MATERIAL SPECIFICATIONS:
• P.V.C. PIPES 4 INCHES TO 48 INCHES SHALL BE SER 18 AND MEET AWWA C900.
• P.V.C. PIPES LESS THAN 4 INCHES SHALL BE ASTM 1785 SCHEDULE 40S/120 OR ASTM 2241 SDR 31.
• ALL WATER MAINS SHALL BE COLOR CODED OR MARKED WITH BLUE AS A PREDOMINANT COLOR. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-BLUE. BLUE PIPE SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE ON BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO OR APPLIED TO THE PIPE WALL. UNDERGROUND METAL OR COMPOSITE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPES DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTRASTING STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 30-DEGREE INTERVALS AROUND THE PIPE, AND THAT SHALL REMAIN VISIBLE DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO MARK PIPE DURING INSTALLATION OF PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE, AND THAT IS LOCATED ALONG THE EXTERIOR SURFACE OF THE PIPE WITH AN INTERNAL DIAMETER 24 INCHES OR GREATER. TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINE ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. UNDERGROUND PIPE SHALL BE PAINTED BLUE OR SHALL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.
5. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL CONTAIN NO MORE THAN 8.0% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LEAD.
6. ALL WATER MAIN PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED WITH BLUE AS A PREDOMINANT COLOR. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-BLUE. BLUE PIPE SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE ON BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO OR APPLIED TO THE PIPE WALL. UNDERGROUND METAL OR COMPOSITE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPES DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTRASTING STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 30-DEGREE INTERVALS AROUND THE PIPE, AND THAT SHALL REMAIN VISIBLE DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO MARK PIPE DURING INSTALLATION OF PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE, AND THAT IS LOCATED ALONG THE EXTERIOR SURFACE OF THE PIPE WITH AN INTERNAL DIAMETER 24 INCHES OR GREATER. TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINE ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. UNDERGROUND PIPE SHALL BE PAINTED BLUE OR SHALL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.
7. NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS OR IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED PROCEDURES.
8. A CONTINUOUS AND UNIFORM RECORD WILL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT. BACKFILL MATERIAL WILL BE TAPPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE, AND UNSTABILIZED ZEEB STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) AS REQUIRED WILL BE PROVIDED FOR ALL PROJECTS OF AT LEAST 12 INCH (12) INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.
9. ALL P.V.C. WATER MAINS INSTALLED UNDER THIS PROJECT SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C900.
10. WATER MAINS INSTALLED UNDER THIS PROJECT SHALL BE INSTALLED WITH CLEARANCES AS SHOWN ON THE LOCATION OF PUBLIC WATER SYSTEM MANHOLE DETAIL ON THIS SHEET.

SEWER CONSTRUCTION NOTES

1. THE EXISTING SEWER COLLECTION/TRANSMISSION SYSTEM SHALL REMAIN IN SERVICE DURING THE CONSTRUCTION OF THIS PROJECT. IF THE EXISTING MANHOLE, WHERE THE PROPOSED COLLECTION PIPING CONNECTS TO THE EXISTING SYSTEM, MUST BE TEMPORARILY TAKEN OUT OF SERVICE, THE CONTRACTOR SHALL PROVIDE FOR REMOVAL OF THE COORDINATE THIS WORK WITH THE SYSTEM OWNER.
2. SUITABLE COUPLINGS COMPLYING WITH ASTM SPECIFICATIONS SHALL BE USED FOR JOINING DISSIMILAR MATERIALS.
3. DETECTION TESTING SHALL BE CONDUCTED ON ALL PROPOSED SANITARY SEWER PIPING AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM. NO PIPE SHALL EXCEED A DEFLECTION OF 0.005 INCHES PER INCH OF PIPE DIAMETER PER FOOT OF PIPE. ANY SECTION OF PIPE WITH A DEFLECTION NOT LESS THAN 0.005 INCHES PER INCH OF PIPE DIAMETER PER FOOT OF PIPE SHALL BE REMOVED AND REPLACED WITH PIPE THAT MEETS THE DEFLECTION CRITERIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION TEST WITH A DEFLECTION NOT LESS THAN 0.005 INCHES PER INCH OF PIPE DIAMETER PER FOOT OF PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION TEST WITH A DEFLECTION NOT LESS THAN 0.005 INCHES PER INCH OF PIPE DIAMETER PER FOOT OF PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION TEST WITH A DEFLECTION NOT LESS THAN 0.005 INCHES PER INCH OF PIPE DIAMETER PER FOOT OF PIPE.
4. LEAKAGE TESTS SHALL BE CONDUCTED ON ALL PROPOSED SANITARY SEWER PIPING AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM. NO PIPE SHALL EXCEED A DEFLECTION OF 0.005 INCHES PER INCH OF PIPE DIAMETER PER FOOT OF PIPE. ANY SECTION OF PIPE WITH A DEFLECTION NOT LESS THAN 0.005 INCHES PER INCH OF PIPE DIAMETER PER FOOT OF PIPE SHALL BE REMOVED AND REPLACED WITH PIPE THAT MEETS THE DEFLECTION CRITERIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION TEST WITH A DEFLECTION NOT LESS THAN 0.005 INCHES PER INCH OF PIPE DIAMETER PER FOOT OF PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION TEST WITH A DEFLECTION NOT LESS THAN 0.005 INCHES PER INCH OF PIPE DIAMETER PER FOOT OF PIPE.
5. MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48 INCHES AND A MINIMUM ACCESS DIAMETER OF 24 INCHES.
6. A BENCH SHALL BE PROVIDED ON EACH SIDE OF ANY MANHOLE CHANNEL, AND NO LATERAL SEWER, SERVICE CONNECTION, OR DROP MANHOLE PIPE SHALL DISCHARGE ONTO THE SURFACE OF THE MANHOLE.
7. MANHOLE LIFT HOLES AND GRADE ADJUSTMENT RINGS SHALL BE SEALED WITH NON-SHRINKING MORTAR OR OTHER APPROPRIATE MATERIAL.
8. INLET AND OUTLET PIPES SHALL BE JOINED TO THE MANHOLE WITH A GASKETED FLEXIBLE WATER-TIGHT CONNECTION OR WATER-TIGHT JOINT CONNECTION ARRANGEMENT THAT ALLOWS DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE WALL.
9. WATER-TIGHT MANHOLE COVERS SHALL BE USED WHEREVER THE MANHOLE TOPS MAY BE FLOODED BY STREET RUNOFF OR HIGH WATER.
10. MANHOLES SHALL BE INSPECTED AND TESTED FOR WATER-TIGHTNESS OR DAMAGE PRIOR TO PLACING INTO SERVICE. AN ASTM FOR CONCRETE MANHOLES SHALL BE PERFORMED, CONFORMING TO THE TESTING PROCEDURE DESCRIBED IN ASTM C-1244.

NOTE:

1. LDC SECTION 6.15.3.B - ... THE DISTANCE BETWEEN FIRE HYDRANTS SHALL BE NO MORE THAN 1,000' AS MEASURED ALONG THE PATH OF LEGAL ACCESS. (600' RADII HAVE BEEN SHOWN FOR ILLUSTRATION)
2. ONCE ALL NEW HYDRANTS HAVE BEEN INSTALLED, TESTED, AND PAINTED PER NFPA 291 BY A THIRD PARTY CONTRACTOR, A THIRD PARTY CONTRACTOR SHALL PROVIDE THE MARION COUNTY FIRE PREVENTION OFFICE WITH A COPY OF THE HYDRANT FLOW DATA.

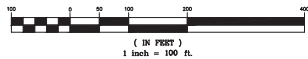
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04-05-2006	04-05-2006	04-05-2006
07-01-2006	07-01-2006	07-01-2006

Revisions	By	Date
03-13-2006	03-13-2006	03-13-2006
04-05-2006	04-05-2006	04-05-2006
07-01-2006	07-01-2006	07-01-2006

Revisions	By	Date
03-13-2006	03-13-2006	03-13-2006
04-05-2006	04-05-2006	04-05-2006
07-01-2006	07-01-2006	07-01-2006

Revisions	By	Date
03-13-2006	03-13-2006	03-13-2006
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07-01-2006	07-01-2006	07-01-2006

GRAPHIC SCALE



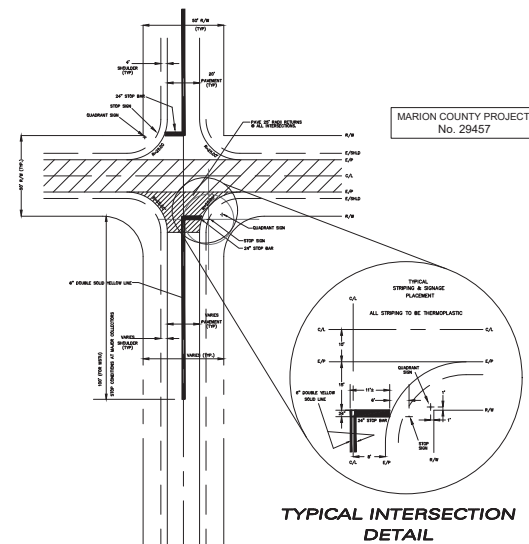
PROJECT AREA
PHASE 1D

MARION OAKS DRIVE



CONNECT TO
EXISTING PORTION OF
SW 40th TERR. RD.

TRACT "AA"



MARION COUNTY PROJECT
No. 29457

PHASE LINE

LEGEND:



Typical F.D.O.T. Traffic Sign WITH Quadrant sign and Identification Number



Typical F.D.O.T. Speed Limit Sign

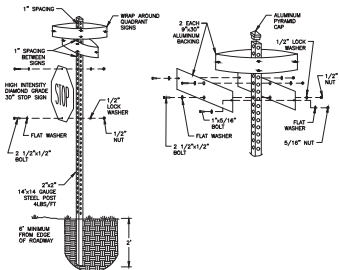


Traffic Warning Sign



Advisory Speed Warning Sign

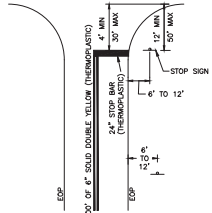
STRIPING SHALL CONFORM TO THE SPECIFICATIONS IN THE MARION
COUNTY LAND DEVELOPMENT CODE. PAINT CAN BE USED ON ALL ROADS.



STREET NAME AND STOP SIGN INSTALLATION



TYPICAL TRAFFIC
CONTROL SIGN



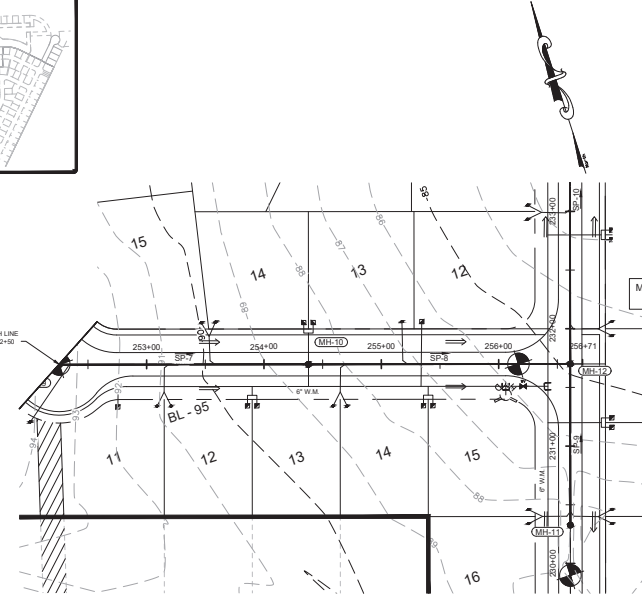
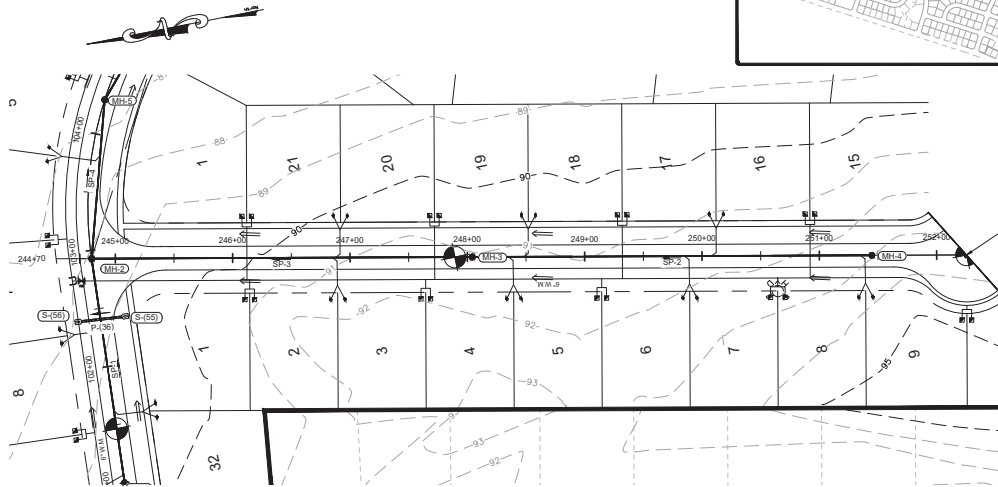
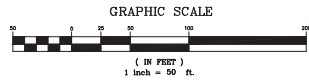
TYPICAL INTERSECTION DETAIL

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04-08-2016	04-08-2016	04-08-2016	04-08-2016
07-01-2016	07-01-2016	07-01-2016	07-01-2016

Project Name	Project No.	Project Date	Project Status
MARION OAKS DRIVE	29457	03-13-2016	03-13-2016
MARION OAKS DRIVE	29457	04-08-2016	04-08-2016
MARION OAKS DRIVE	29457	07-01-2016	07-01-2016

MARION COUNTY ENGINEERING, INC.
 1111 S.W. 1st Ave. Suite 100, Ocala, FL 34461
 Phone: 352-236-1111 Fax: 352-236-1112
 Website: www.marioncountyengineering.com
 License No. 10-000187 - Michael W. Radcliff, P.E., State of Florida

Project Name: Marion Oaks Drive 2 Improvements Phase
 Location: Marion County, FL
 Sheet No. 016 of 45
 Stripping Plan 1D

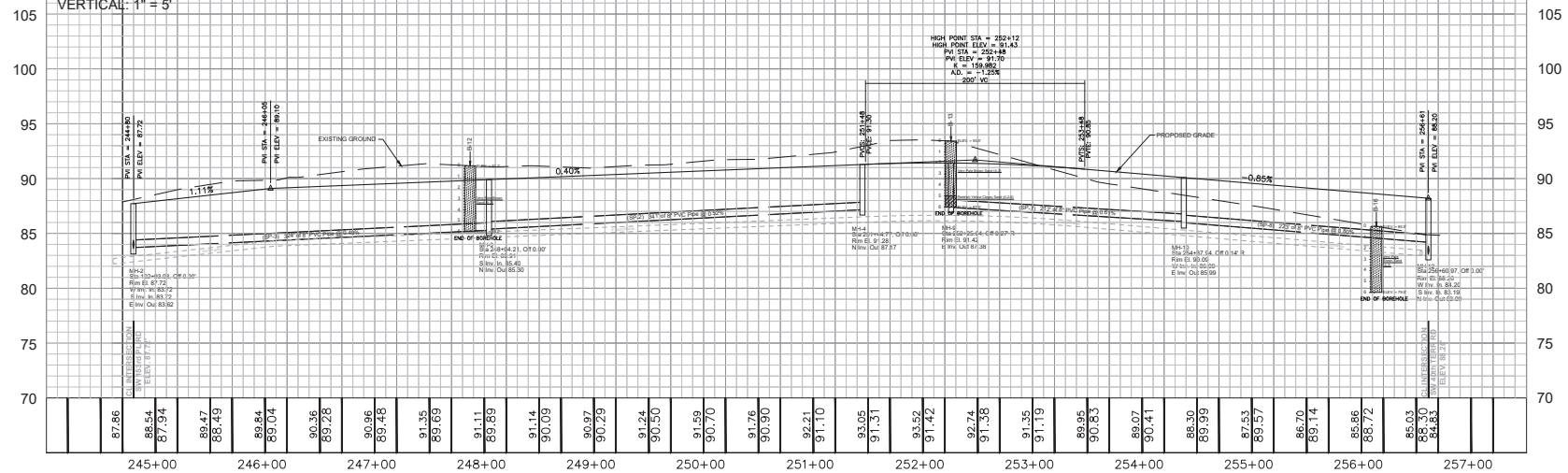


MARION COUNTY PROJECT
No. 29457

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES
AS CLOSE TO PIPE INTERSECTIONS AS
POSSIBLE.

SW 41st TERR. RD. (60' WIDE R/W)

SCALE
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



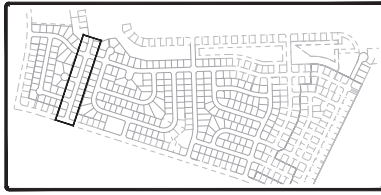
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04-08-2006	04-08-2006	W. Radcliff	W. Radcliff
07-01-2006	07-01-2006	W. Radcliff	W. Radcliff

Project	Sheet	Project	Sheet
SW 41st Terr. Rd.	29457-1	SW 41st Terr. Rd.	29457-2
SW 41st Terr. Rd.	29457-3	SW 41st Terr. Rd.	29457-4
SW 41st Terr. Rd.	29457-5	SW 41st Terr. Rd.	29457-6

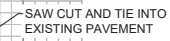
MICHAEL W. RADCLIFF ENGINEERING, INC.
201 S.W. 1st Ave., Suite 100, Ft. Lauderdale, FL 33301
Phone: (954) 583-1111 Fax: (954) 583-1112
E-mail: mradcliff@mweinc.com Website: www.mweinc.com

Project Name: SW 41st Terr. Rd. 2 Improvements Phase
Location: Marion County, FL
Scale: 1" = 50' Horizontal, 1" = 5' Vertical
Sheet No.: 29457-1 of 6

Sheet No.
29457-1
of 6

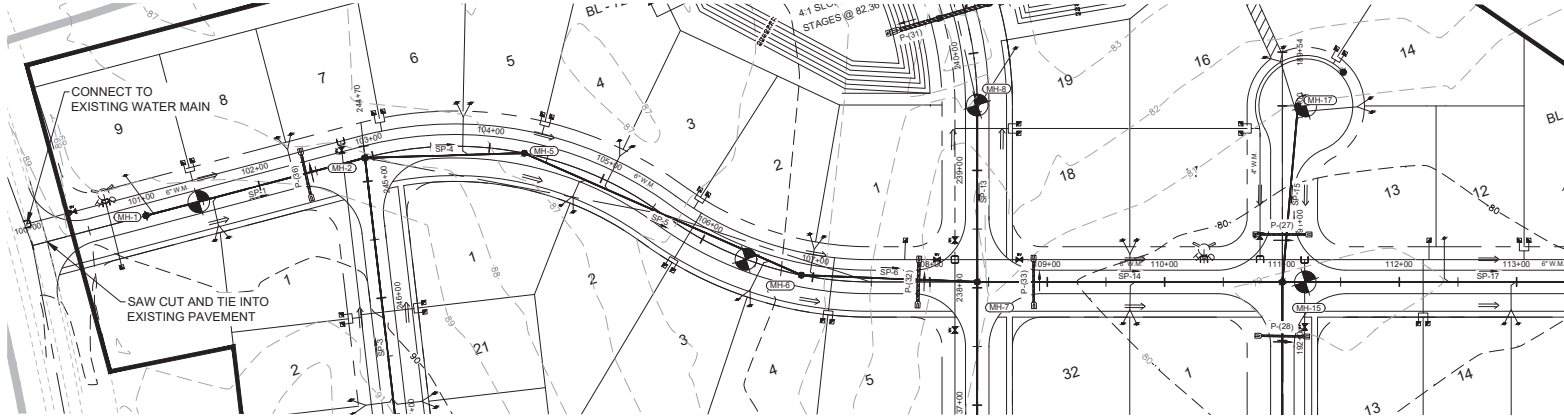
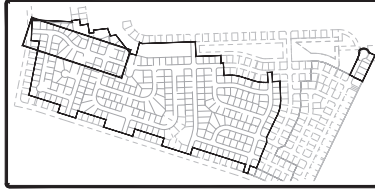
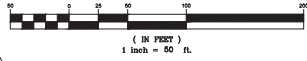


NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.



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GRAPHIC SCALE

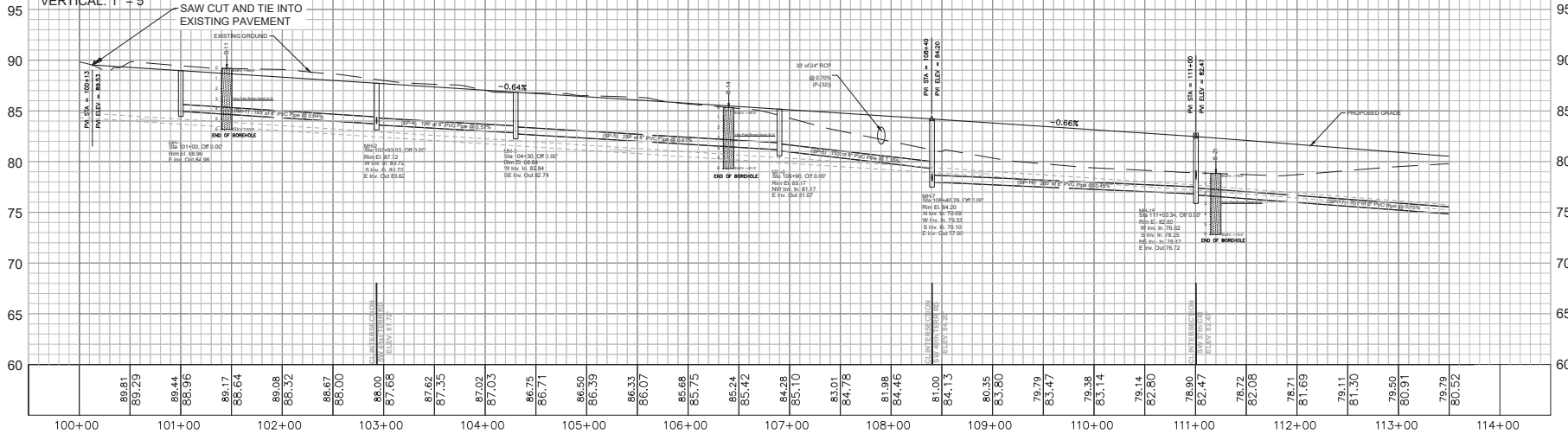


MARION COUNTY PROJECT
No. 29457

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES
AS CLOSE TO PIPE INTERSECTIONS AS
POSSIBLE.

SW 153 PLACE RD. (60' WIDE R/W)

SCALE
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



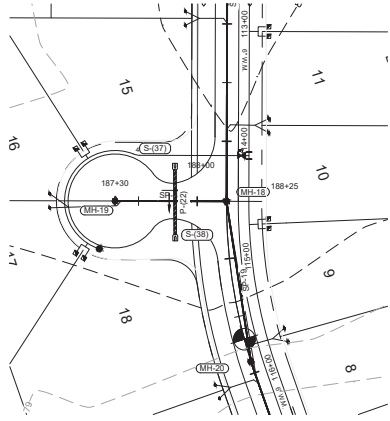
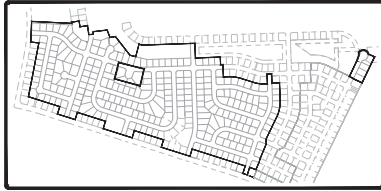
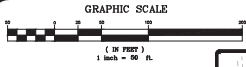
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04-08-24MK		04-08-24
07-01-24MK		07-01-24

Revisions	By	Date
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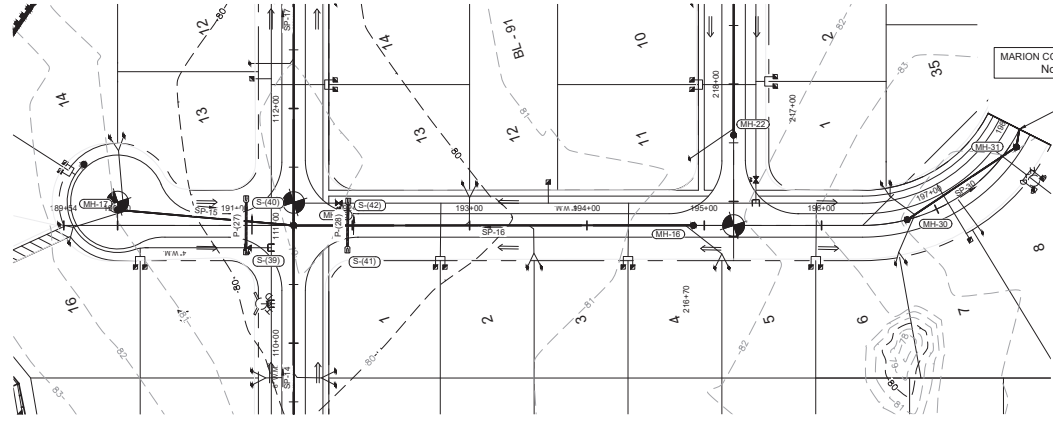
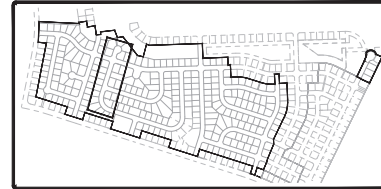
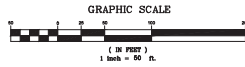
MICHAEL W. RADCLIFF ENGINEERING, INC.
 101 S. 1st St., Suite 200, Marion, IA 52801
 Phone: 319.339.1111 Fax: 319.339.1112
 Email: mradcliff@mwre.com
 Website: www.mwre.com
 License No. 10-00000000 - Michael W. Radcliff, Engineer, 1st Class, P.E., License No. 10-00000000

Project Name: Marion County SW 153 Rd. Improvement Project
 Location: Marion County, IA
 Scale: 1" = 50' Horizontal, 1" = 5' Vertical
 Date: 03/13/24
 Drawn By: MWR
 Checked By: MWR
 Project No.: 29457

Sheet No. 45 of 45



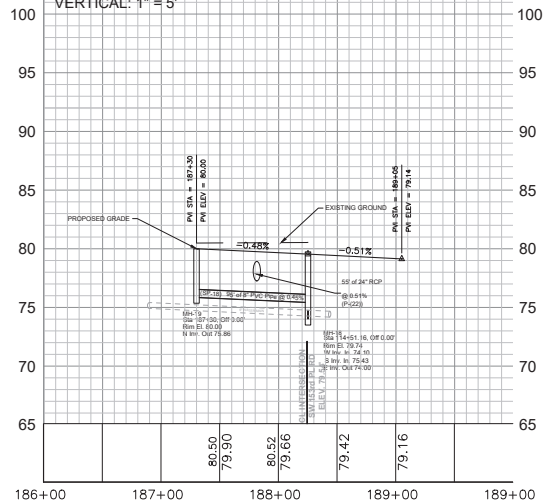
Cul-de-Sac (60' WIDE R/W)



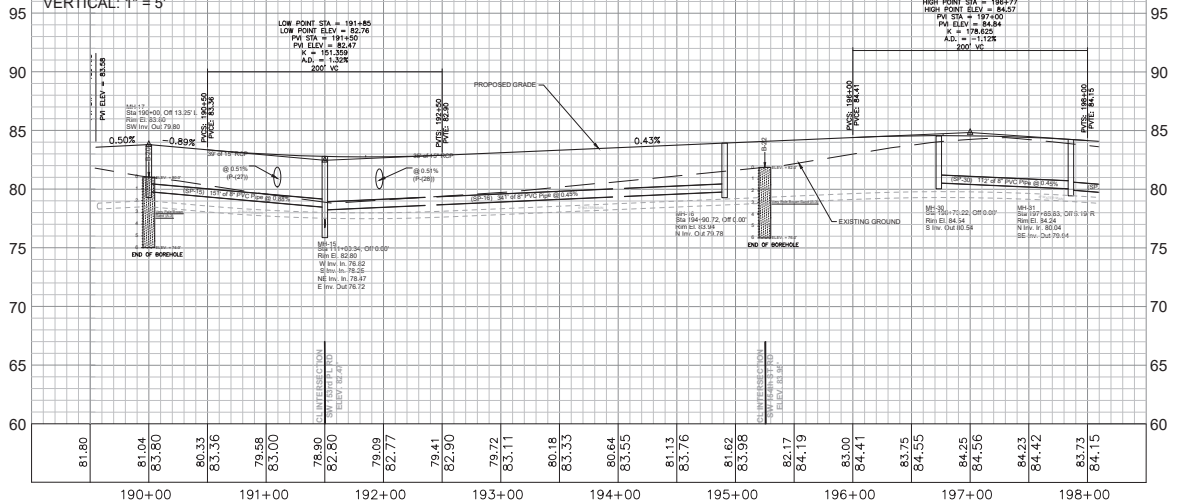
NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.

SW 37th. CIR. Sec. 1 (60' WIDE R/W)

SCALE
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



SCALE
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



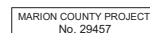
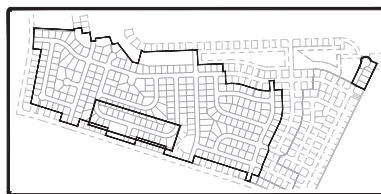
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04-08-24MR		04-08-24
07-01-24MR		07-01-24

Revisions	By	Date
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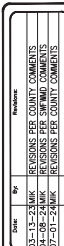
MICHAEL W. RADCLIFF ENGINEERING, INC.
 1111 S.W. 11th Ave., Suite 100, Fort Lauderdale, FL 33304
 Phone: 954-575-1111 Fax: 954-575-1112
 Email: mradcliff@mwre.com Website: www.mwre.com

Revisions	By	Date
REVISIONS PER COUNTY COMMENTS		
03-13-24MR		03-13-24
04-08-24MR		04-08-24
07-01-24MR		07-01-24

Revisions	By	Date
REVISIONS PER COUNTY COMMENTS		
03-13-24MR		03-13-24
04-08-24MR		04-08-24
07-01-24MR		07-01-24



SW 37th CIR. Sec. 2 (60' WIDE R/W)

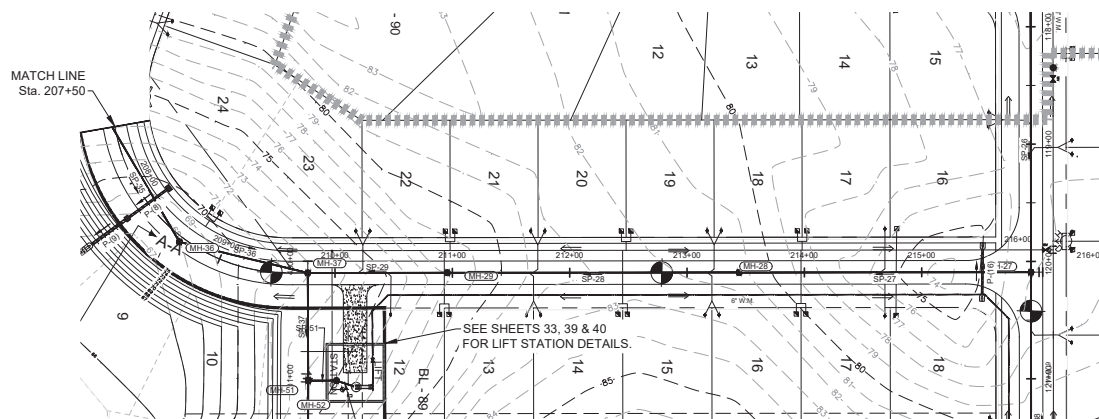
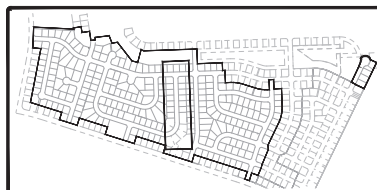


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Drawn	MIK	Project: 2021-43
Checked	MWR	Date: 12-1-22

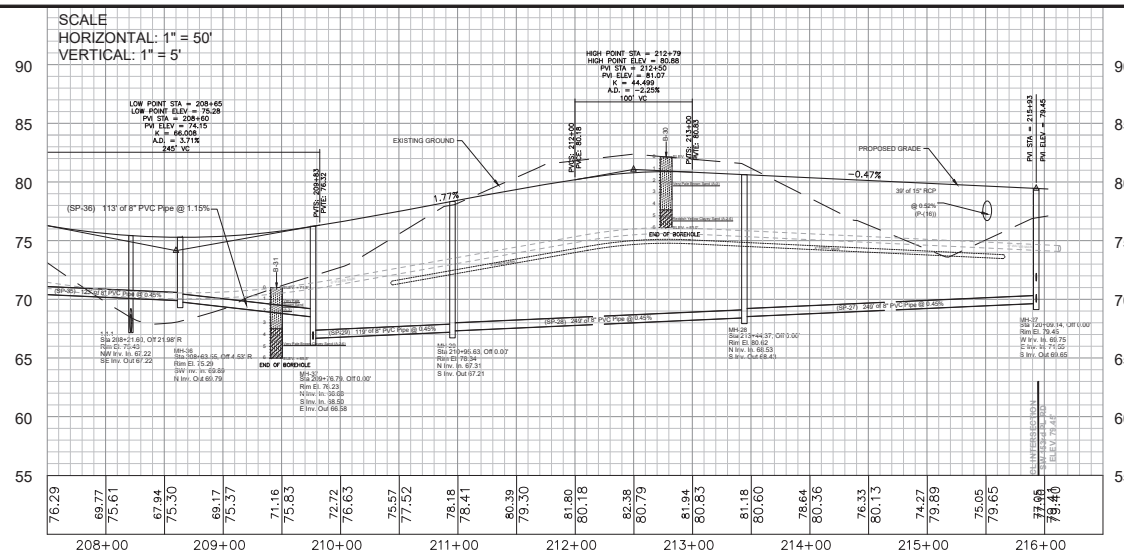
MED **MICHAEL W. RADCLIFFE ENGINEERING, INC.**
2811 S.E. Lake Mead Avenue Ocala, FL 34471 (352) 639-3500 FAX (352) 439-1010
Certification No. EB-000108 • Michael W. Radcliffe, P.E. 11170 Cockeigham A. Hwy P.E. #65558
www.radcliffeengineering.com

Project Name: Marion Oaks Unit 2 Improvement Plans
Location: SECTION 22 & 23, TOWNSHIP 11 SOUTH, RANGE 21 EAST, MARION COUNTY, IL
Sheet Name: plan / Profile
SW 37th CR
Sta. 107+50.10 - 209+00
(F)

Sheet No. C022 of 45

MARION COUNTY PROJECT
No. 29457

SW 37th CIR. Sec. 3 (60' WIDE R/W)



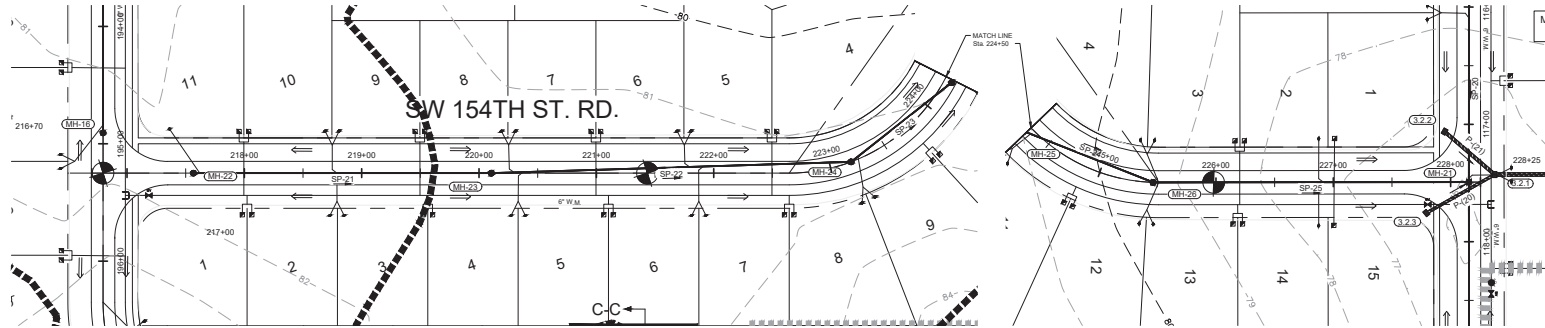
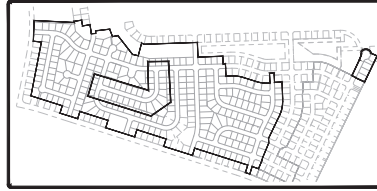
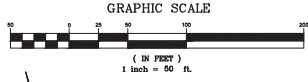
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14-08-24	MIK	REVISIONS PER SFWMD COMMENTS
17-01-24	MIK	REVISIONS PER COUNTY COMMENTS

Designed	MWR	Scale	1" = 50'
Drawn	MIK	Project	2021-43
Checked	MWR	Date	12-1-22
File			

MAD MICHAEL W. RADCLIFFE ENGINEERING, INC.
2011 S.E. Lake Way, Houston, Texas, U.S.A. (505) 629-5500 FAX (505) 629-1010
E-mail: mradcliffe@madradcliffe.com
Internet: www.madradcliffe.com
Company: 10000 E. 1st, Suite 100, Dallas, Texas, U.S.A. 75246

Project Name:	Marion Oaks Unit 2 Improvement Plans
Location:	SECTION 22.4.23, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, IL
Sheet Name:	<div> <div>Plan / Profile</div> <div>SW 37th CR.</div> <div>Sta. 208+00.00 to 216+00.00</div> </div> <div>  </div> <div>  </div> <div>  </div>

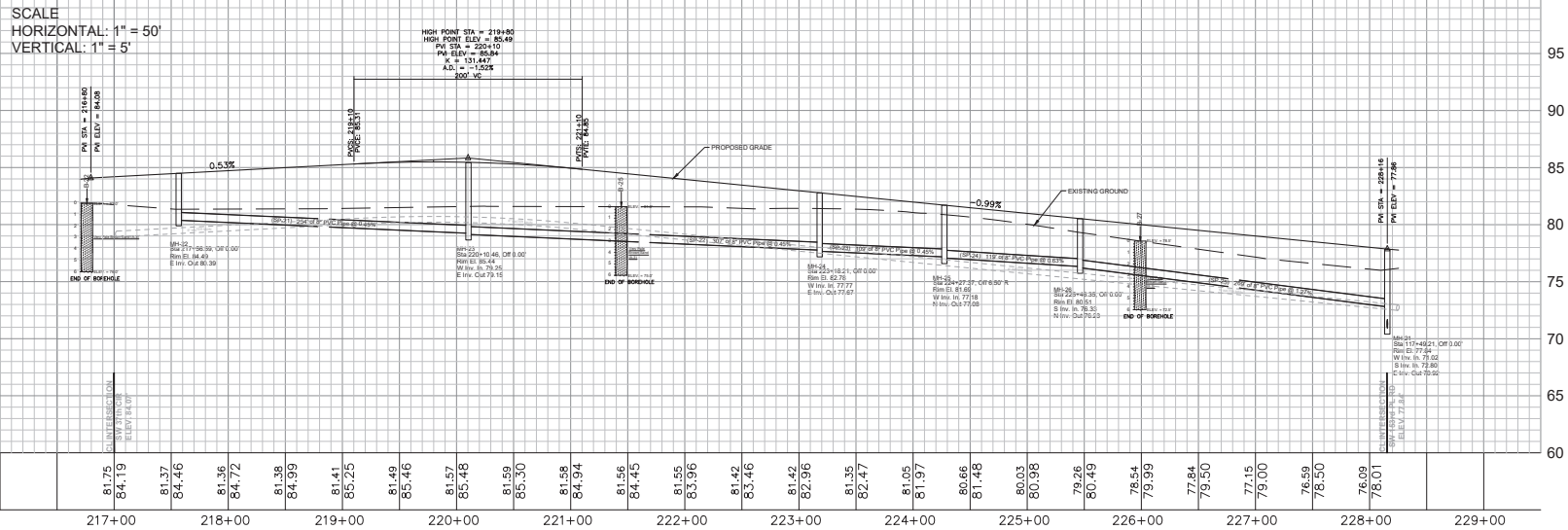
Sheet No.
C023
of
45



MARION COUNTY PROJECT
No. 29457

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES
AS CLOSE TO PIPE INTERSECTIONS AS
POSSIBLE.

SW 154th ST. RD. (60' WIDE R/W)



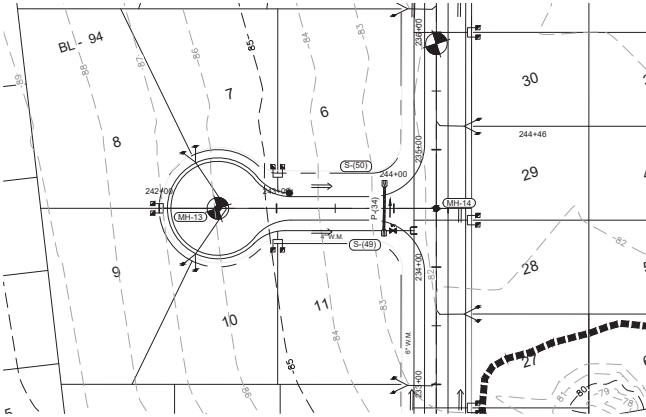
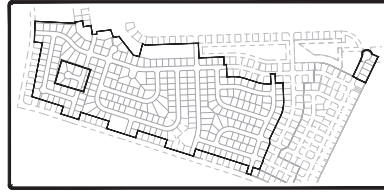
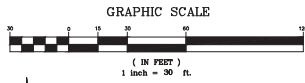
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025	04-08-2018
026	07-31-2018

Sheet No.	Revisions
024	03-13-2018
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026	07-31-2018

MARION COUNTY PROJECT No. 29457

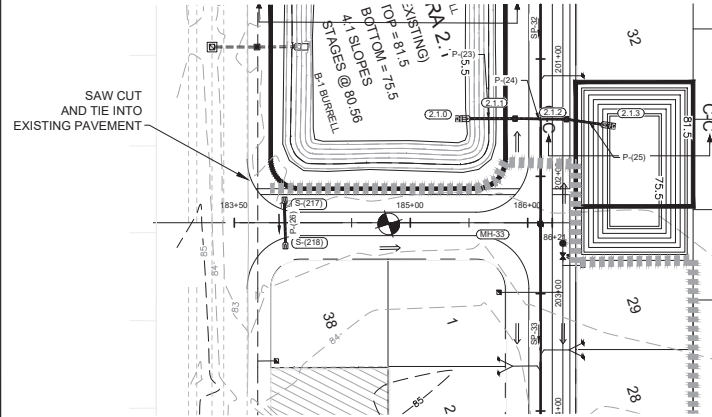
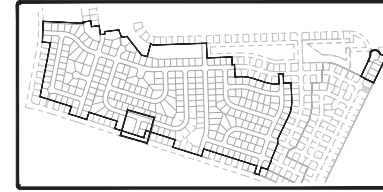
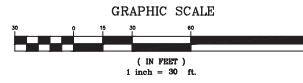
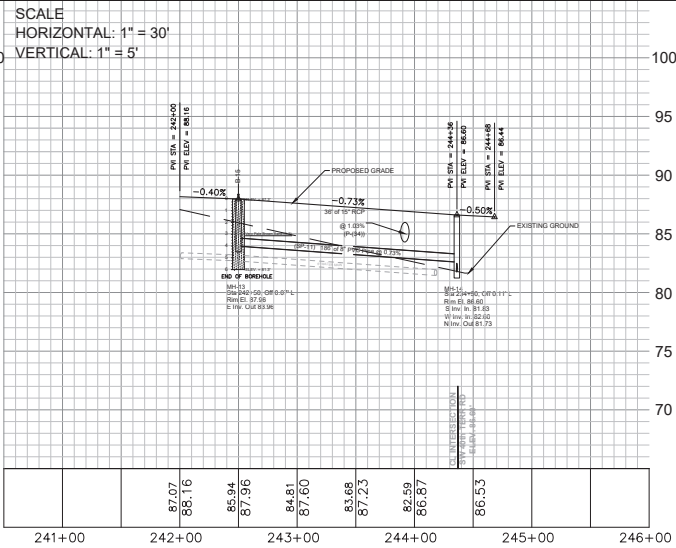
MICHAEL W. RADCLIFF ENGINEERING, INC.
3111 S.W. 154th St., Suite 100, Fort Lauderdale, FL 33316
Phone: 954-333-1111 Fax: 954-333-1112
www.mwradcliff.com

Project Name: Marion County SW 154th St. Rd. Improvement Phase 2
Sheet No. 024 of 45
SW 154th St. Rd.
Sta. 217+00 to 229+46

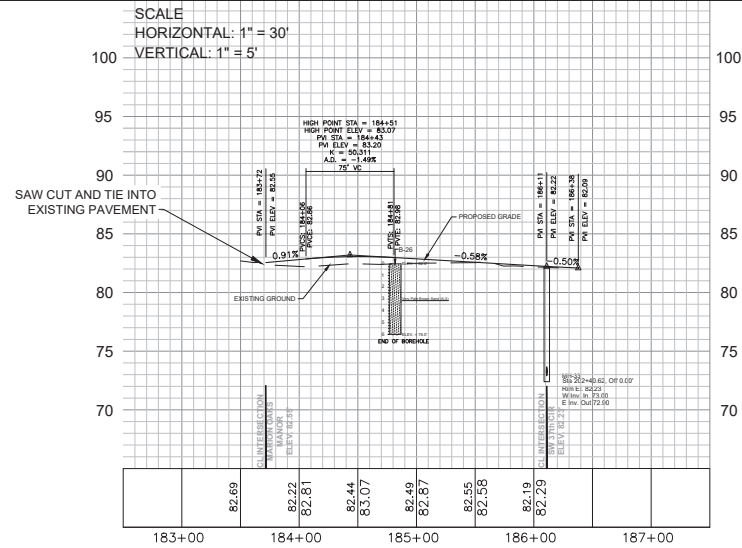


NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE.

SW 153rd LN. (60' WIDE R/W)



SW 39th Ave. (60' WIDE R/W)



MARION COUNTY PROJECT
No. 29457

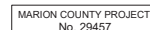
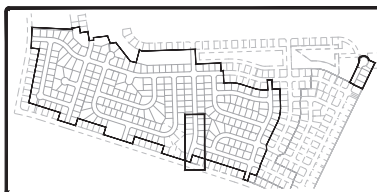
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03-13-2010	MMR	03-13-2010
04-08-2010	MMR	04-08-2010
07-01-2010	MMR	07-01-2010

Revision	By	Date
REVISIONS PER COUNTY COMMENTS		
03-13-2010	MMR	03-13-2010
04-08-2010	MMR	04-08-2010
07-01-2010	MMR	07-01-2010

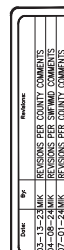
MMR MICHAEL W. RADCLIFF ENGINEERING, INC.
 1011 S.W. 1st Ave., Suite 100, Fort Lauderdale, FL 33301
 Phone: (954) 571-1111 Fax: (954) 571-1112
 E-mail: mwr@mmr-engineering.com
 Website: www.mmr-engineering.com

Project Name: Marion County Unit 2 Improvement Plans
 Location: Marion County Unit 2, Marion County, FL
 Scale: 1" = 30' H, 1" = 5' V
 Date: 03-13-2010

Sheet No.
0022
of
45



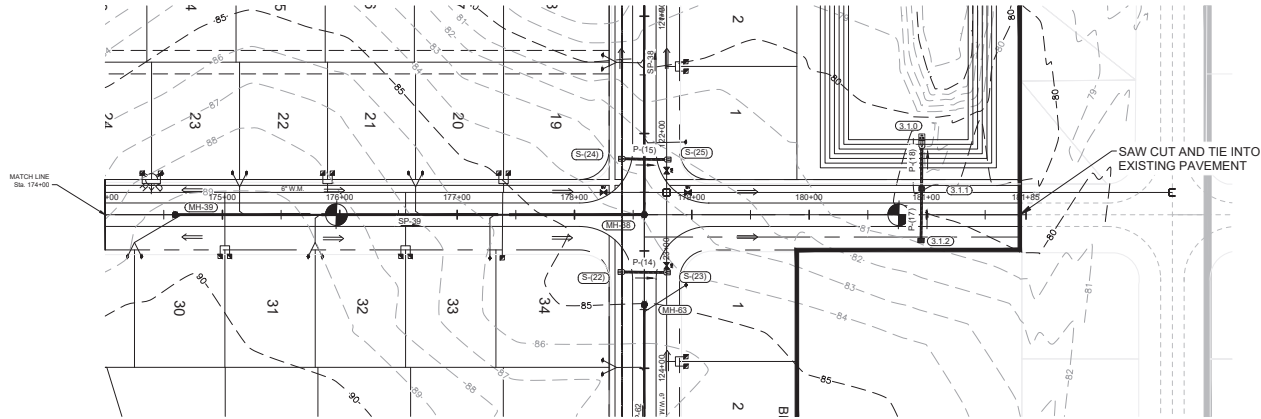
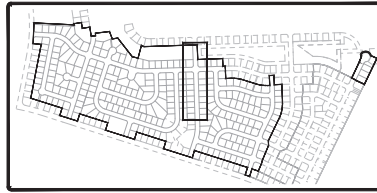
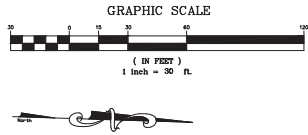
SW 37th Terrace (60' WIDE R/W)



MWD **MICHAEL W. RADCLIFFE ENGINEERING, INC.**
3511 S.E. Latta Road, Avenue O, Suite 100, Ocala, FL 34471 (352) 629-3000 FAX (352) 629-1010
Certificate No. 17-0000108 - Michael W. Radcliffe, P.E. 41117m
Credentialed on 04/01/98

Project Name: Marion Oaks Unit 2 Improvement Plans
Location: SECTION: 22 & 23, TOWNSHIP: 17 SOUTH, RANGE: 21 EAST, MARION COUNTY, IL
Sheet Name: Plan 1 Profile
© M. W. 24th, Tennessee

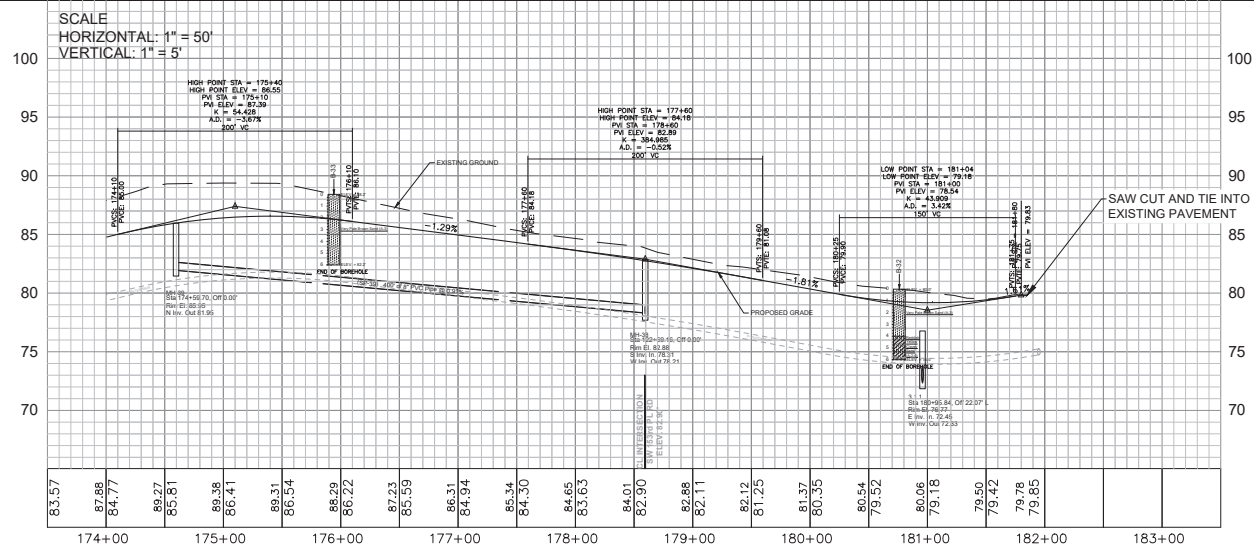
Sheet N
C026
of
45



MARION COUNTY PROJECT
No. 29457

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES
AS CLOSE TO PIPE INTERSECTIONS AS
POSSIBLE.

SW 37th Terrace (60' WIDE R/W)



Revisions	By	Date	Reasons for County Comments
03-13-23MJK			REVISIONS PER COUNTY COMMENTS
04-08-24MJK			REVISIONS PER COUNTY COMMENTS
07-01-24MJK			REVISIONS PER COUNTY COMMENTS

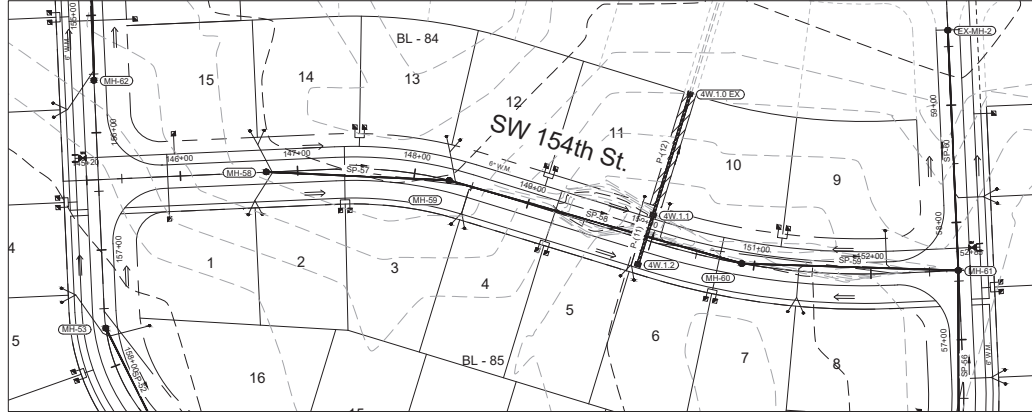
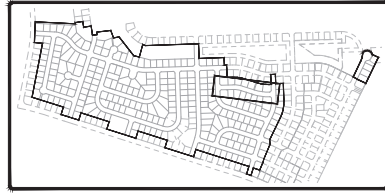
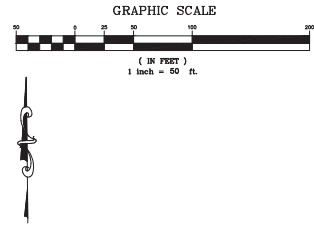
Revisions	By	Date	Reasons for County Comments
03-13-23MJK			REVISIONS PER COUNTY COMMENTS
04-08-24MJK			REVISIONS PER COUNTY COMMENTS
07-01-24MJK			REVISIONS PER COUNTY COMMENTS

MAR MICHAEL W. RADCLIFFER ENGINEERING, INC.
1111 S. 1st Ave. Suite 200, Tallahassee, FL 32301
Phone: 904.224.1111 Fax: 904.224.1112
Email: mradcliff@mmre.com
Professional Engineer License No. 12000
Professional Surveyor License No. 12000

Project Name: Marion County Line 2 Improvement Plans
Location: Marion County, FL
Drawing Title: SW 37th Terrace
Scale: 1" = 50' HORIZ, 1" = 5' VERT

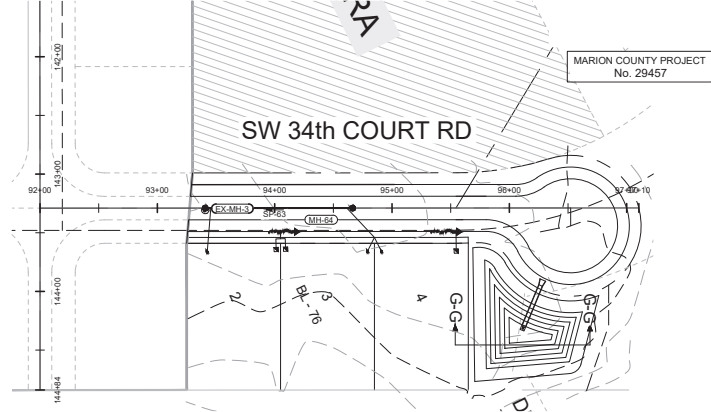
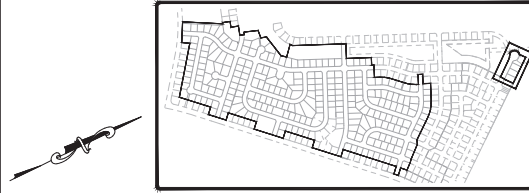
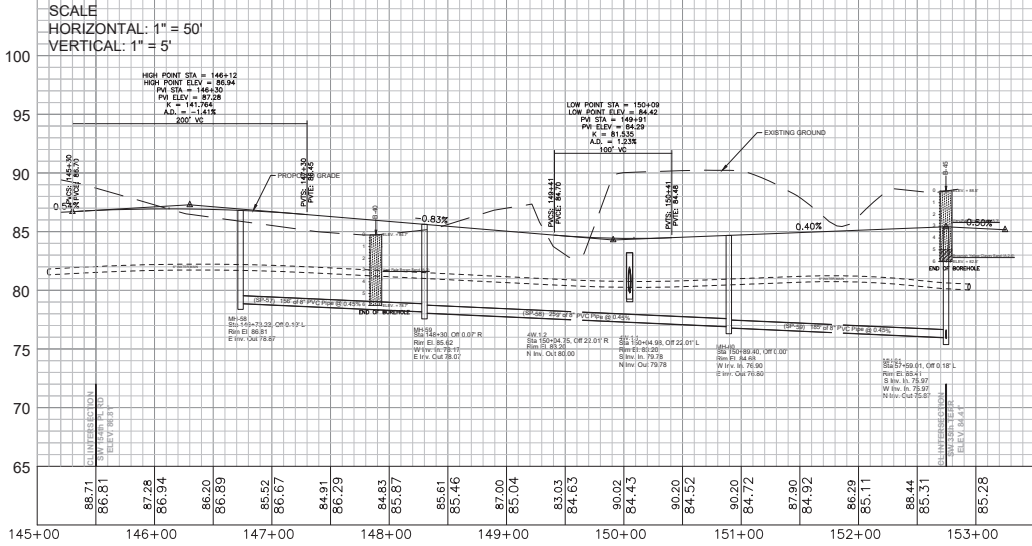
Sheet No.
0027
of
45

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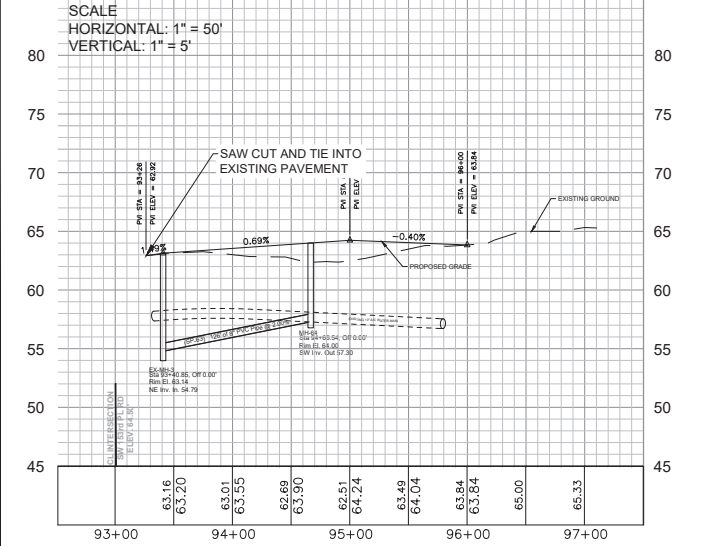


NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES
AS CLOSE TO PIPE INTERSECTIONS AS
POSSIBLE.

SW 154th ST. (60' WIDE R/W)



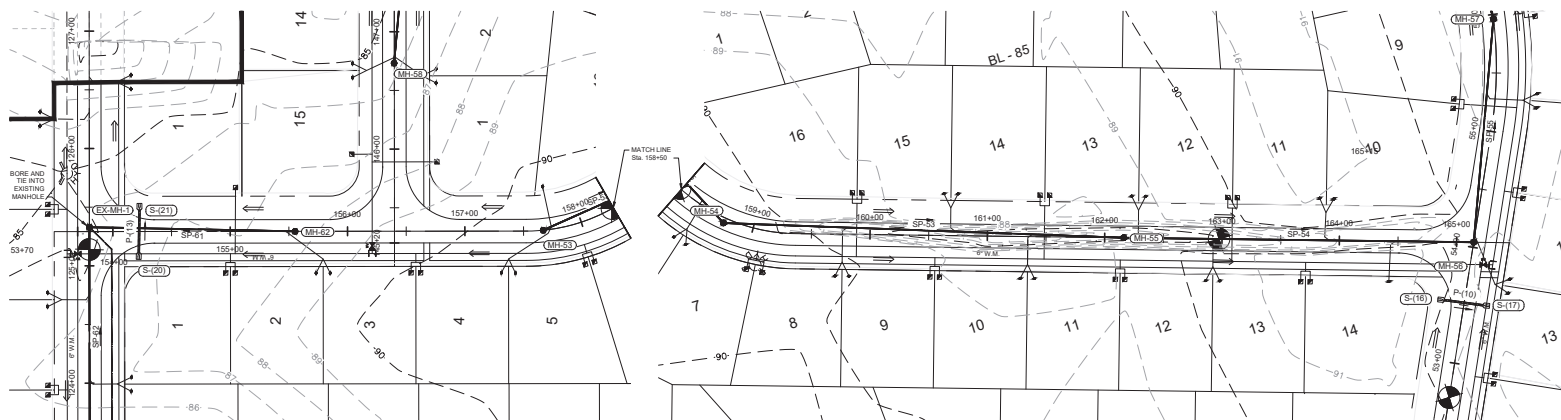
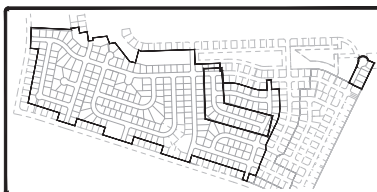
SW 34th Ct. Rd. (60' WIDE R/W)



Project Name	Marion County Unit 2 Improvement Plans
Client	Marion County, Florida
Design	Michael W. Radcliffe Engineering, Inc.
Drawn	MWR
Checked	MWR
Date	12-1-22
Scale	1" = 50'
Sheet No.	0028 of 45

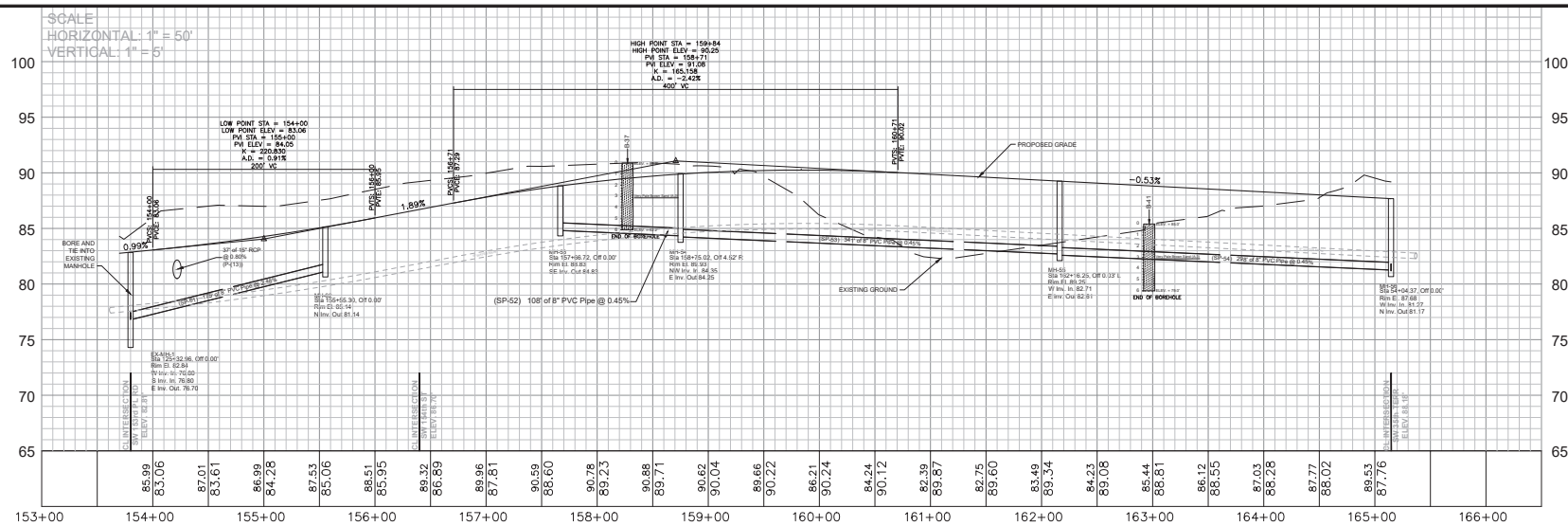
Marion County Unit 2 Improvement Plans
SW 154th St. & SW 34th Ct. Rd.
Sta. 145+00 to 153+00 / Sta. 93+00 to 97+00

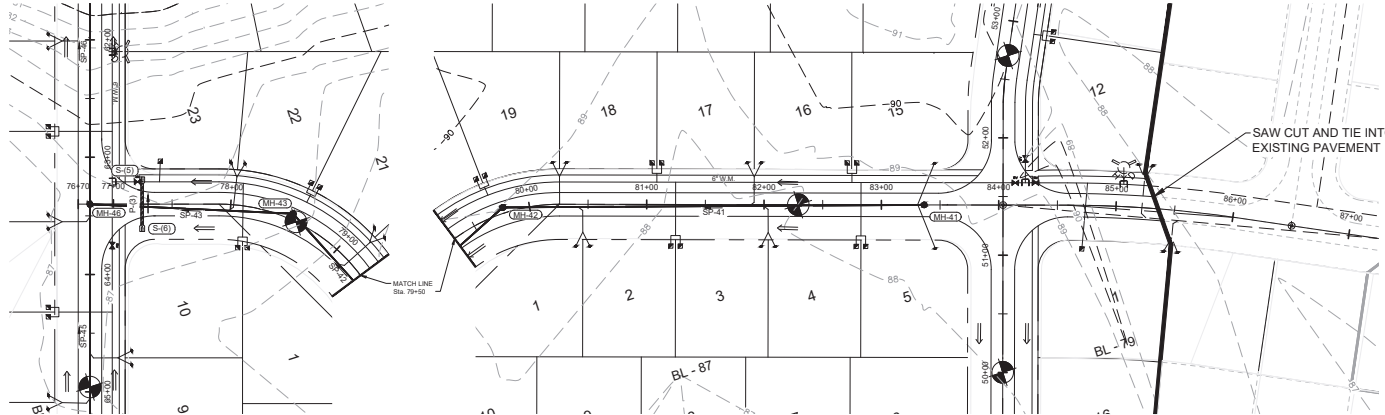
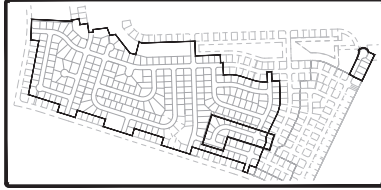
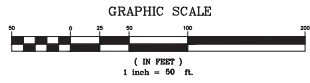
Michael W. Radcliffe Engineering, Inc.
11111 SW 15th Ave., Suite 100
Miami, FL 33184
www.radcliffeengineering.com

MARION COUNTY PROJECT
No. 29457

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE

SW 154th PL. RD. (60' WIDE R/W)

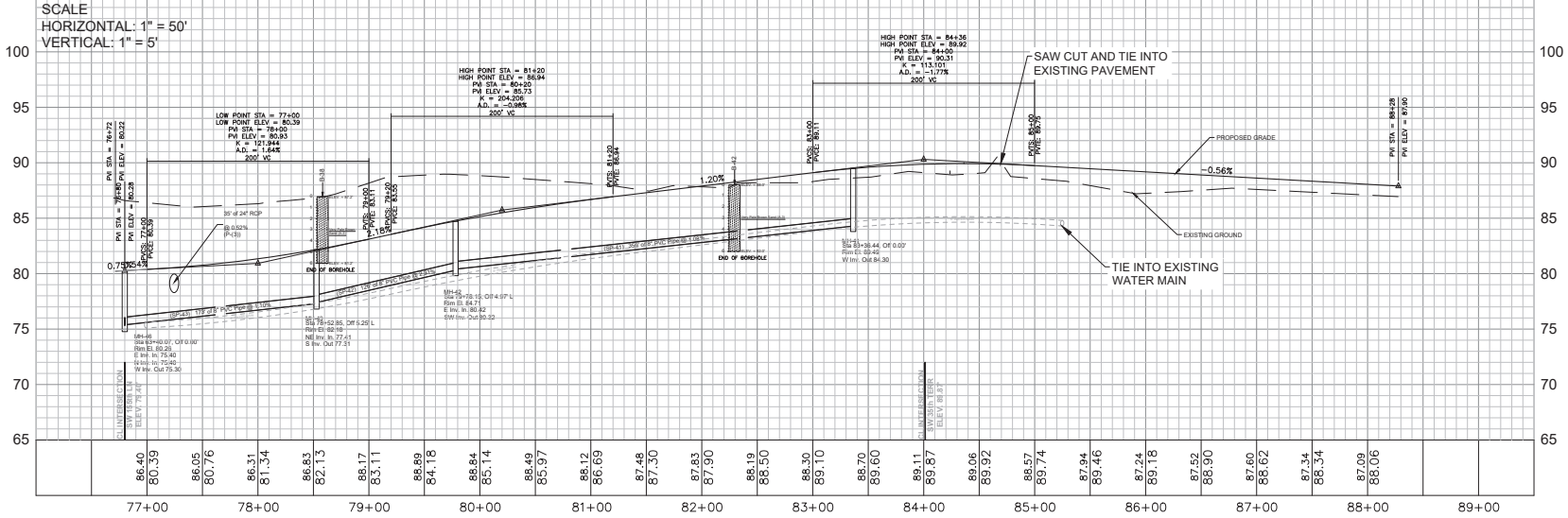




MARION COUNTY PROJECT
No. 29457

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES
AS CLOSE TO PIPE INTERSECTIONS AS
POSSIBLE.

SW 155th PL. (60' WIDE R/W)



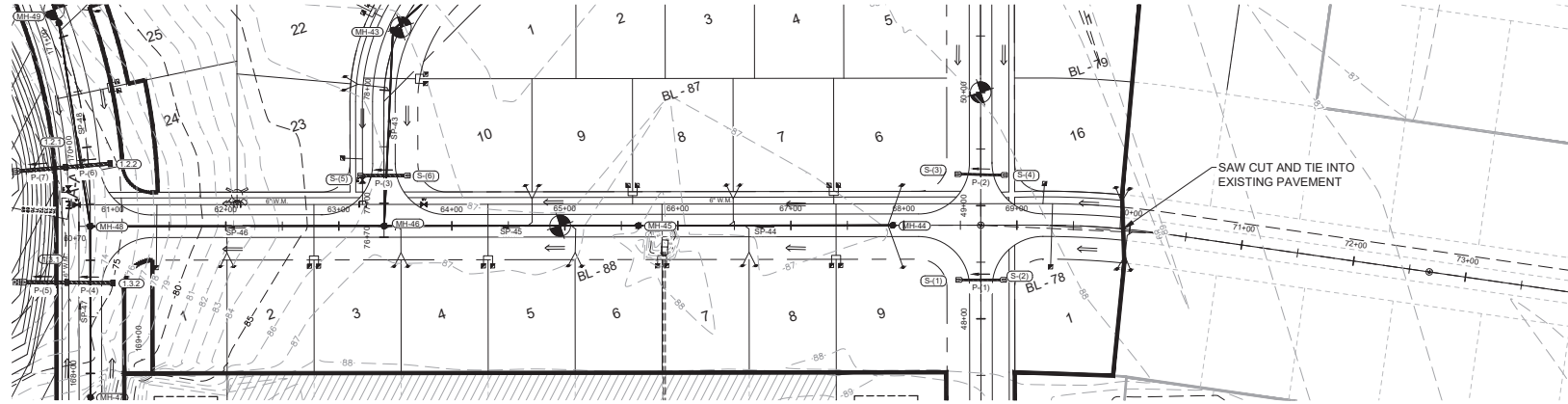
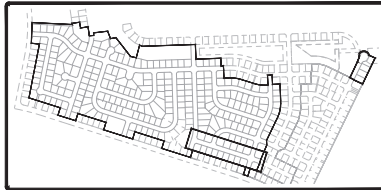
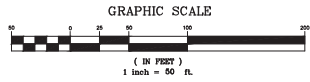
Revision	Date	By	Check	Project	Sheet
03-15-23	03/15/23	MMW	MMW	2023-4-3	45
04-08-24	04/08/24	MMW	MMW	2023-4-3	45
07-01-24	07/01/24	MMW	MMW	2023-4-3	45

Project	Client	Project	Project	Project	Project
MMW	MMW	MMW	MMW	MMW	MMW
MMW	MMW	MMW	MMW	MMW	MMW
MMW	MMW	MMW	MMW	MMW	MMW
MMW	MMW	MMW	MMW	MMW	MMW

MICHAEL W. RADCLIFFE ENGINEERING, INC.
2013 S. Lane St. Suite 100, Marion, IA 52801
Phone: 319.333.1111 Fax: 319.333.1112
Email: mradcliffe@mwre.com
Website: www.mwre.com

Project Name: Marion County, IA Improvement Plans
Location: Marion County, IA
Scale: 1" = 50' H, 1" = 5' V
Sheet No.: 45

Sheet No.: 45
C030
45

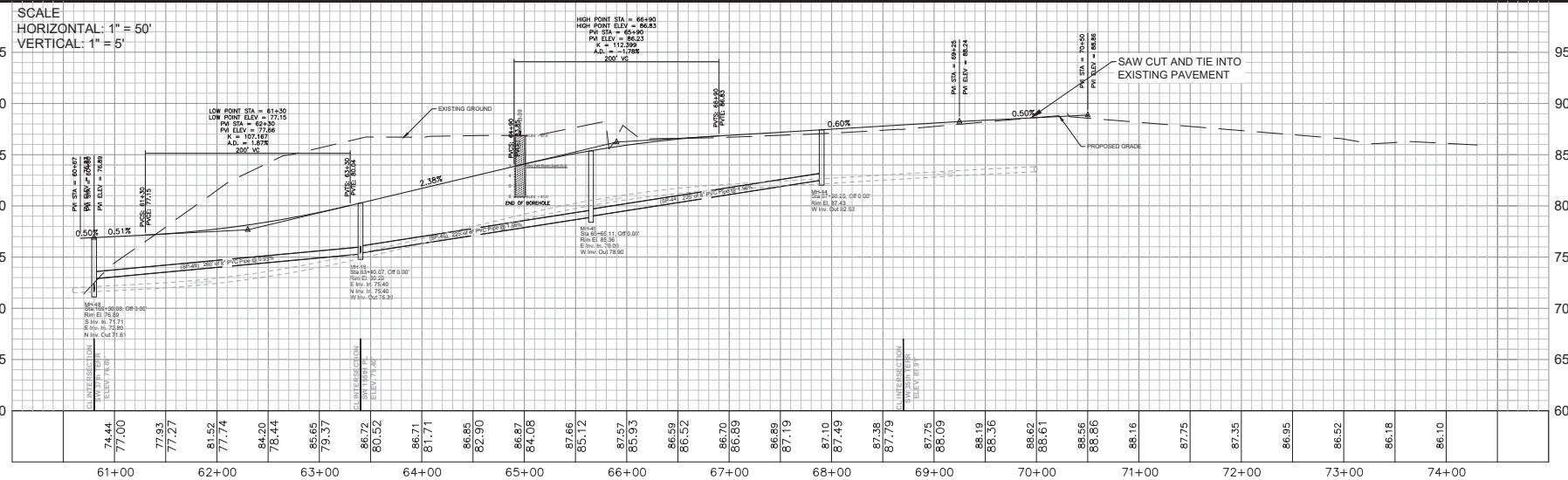


MARION COUNTY PROJECT
No. 29457

NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES
AS CLOSE TO PIPE INTERSECTIONS AS
POSSIBLE.

SW 155th LN. (60' WIDE R/W)

SEE SHEET 86 FOR ROADWAY CROSS SECTIONS



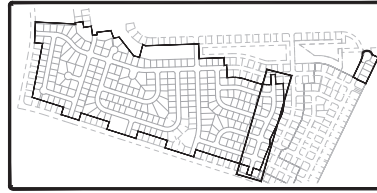
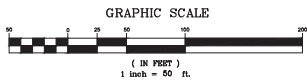
Revisions	By	Date
03-13-23MJK		
04-08-24MJK		
07-01-24MJK		

Revisions	By	Date
03-13-23MJK		
04-08-24MJK		
07-01-24MJK		

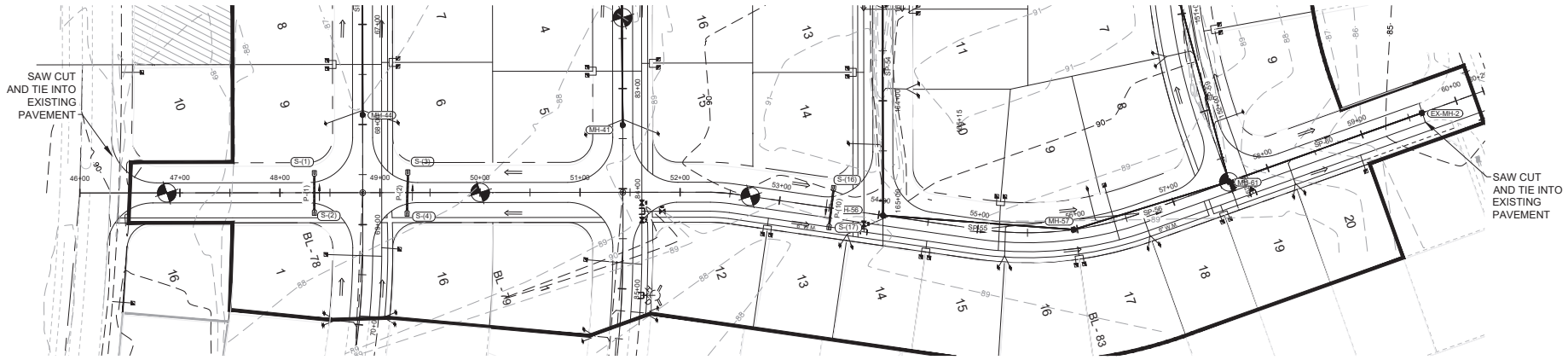
MAR MICHAEL W. RADCLIFFER ENGINEERING, INC.
1111 S.W. 15th Ave., Suite 100, Fort Lauderdale, FL 33311
Phone: 954-581-1234 Fax: 954-581-1235
www.mar-engineering.com

Project Name: Marion County Unit 2 Improvement Plans
Location: Marion County Unit 2, Marion County, FL
Sheet No.: 033 of 45

Scale: 1" = 50'
Date: 03-13-23
Drawn: MJK
Checked: MJK
Title: SW 155th LN.

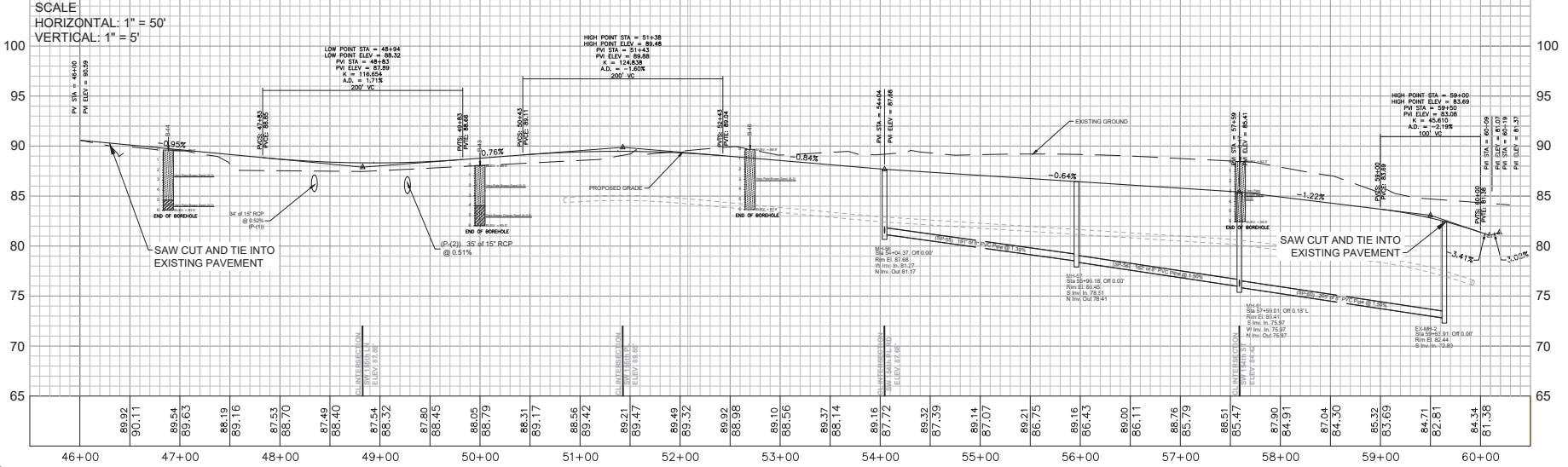


MARION COUNTY PROJECT
No. 29457



NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES
AS CLOSE TO PIPE INTERSECTIONS AS
POSSIBLE.

SW 35th TERR. (60' WIDE R/W)



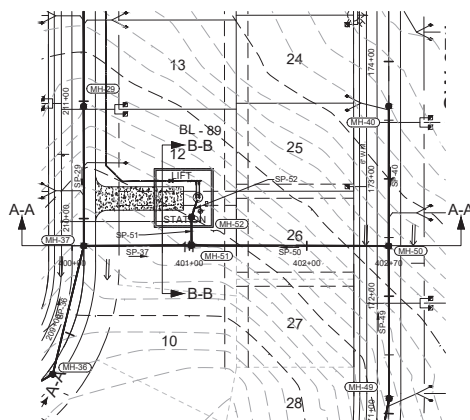
Revisions	By	Date
REVISIONS PER COUNTY COMMENTS		
03-13-24MUR		03-13-24
REVISIONS PER SWMM COMMENTS		
04-08-24MUR		04-08-24
REVISIONS PER COUNTY COMMENTS		
07-01-24MUR		07-01-24

Project	Sheet	Scale	Date
SW 35th Terr.	1 of 2	1" = 50'	03-13-24
SW 35th Terr.	2 of 2	1" = 50'	03-13-24

MICHAEL W. RADCLIFF ENGINEERING, INC.
3011 S.W. 11th Ave., Suite 100, Ft. Lauderdale, FL 33304
Phone: (954) 575-1111 Fax: (954) 575-1112
www.mwradcliff.com

Project Name: Marion Oaks Unit 2 Improvement Plans
Location: Marion Oaks Unit 2, Marion County, FL
Sheet No.: 0332 of 45
Scale: 1" = 50'

Sheet No.
0332
of
45

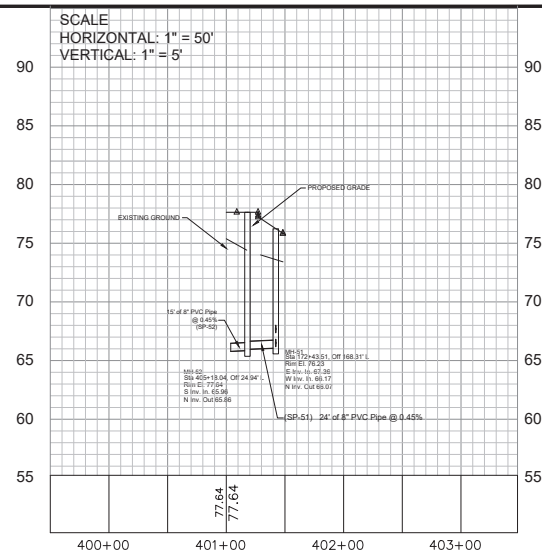
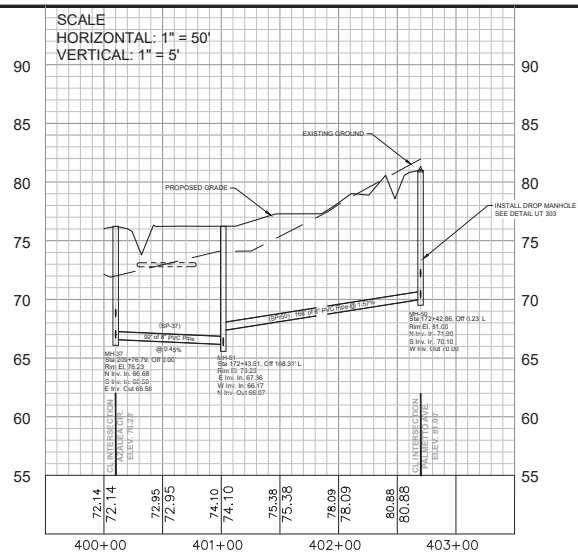


NOTE: SYMBOLS NOT TO SCALE. PLACE VALVES AS CLOSE TO PIPE INTERSECTIONS AS POSSIBLE

A-A

Lift Station

B-B



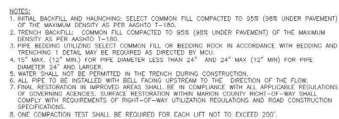
Date	By	Revisions
03-13-23	MIK	REVISIONS PER COUNTY COMMENTS
04-08-24	MIK	REVISIONS PER SHFIMD COMMENTS
07-01-24	MIK	REVISIONS PER COUNTY COMMENTS

Designed	MWR	Scale	1" = 50'
Drawn	MIK	Project	2021-43
Checked	MWR	Date	12-1-22
File			

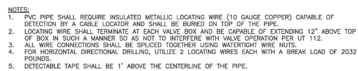
AAA **MICHAEL W. RADCLIFFE ENGINEERING, INC.**
2611 S.E. Lake Nader Avenue Ocoee, FL 34471 (352) 827-5500 FAX (352) 829-1010
Certificate No. EB-0001196 • Mohr W. Radcliffe P.E. #1170 • Ocotilla, Inc. P.E. #4858

Project Name:	Marion Oaks Unit 2 Improvement Plans
Location:	SECTION 22 & 23, TOWNSHIP 17 SOUTH, RANGE 21 EAST, MARION COUNTY, FL
Sheet Name:	<div> <div>Plan / Profile</div> <div>Non-Roadway Pipe Profile/Lift Station</div> <div> </div> </div>

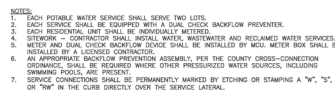
Sheet No
C033
of
45



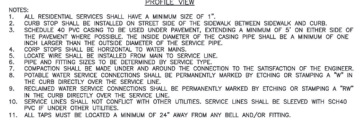
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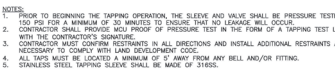
PIPE LOCATING WIRE AND DETECTABLE TAPE



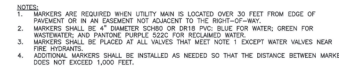
RESIDENTIAL SERVICE LOCATIONS

SINGLE FAMILY RESIDENTIAL
CUL-DE-SAC UTILITY PLAN

ER AND RECLAIMED WATER SERVICES
(TYPICAL)

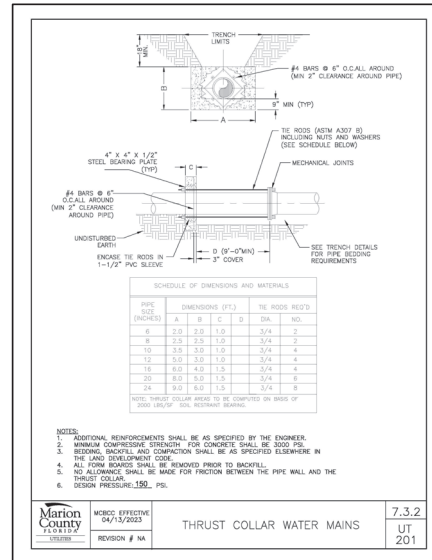
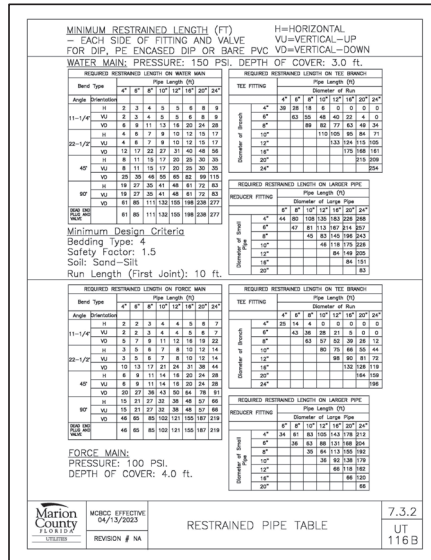
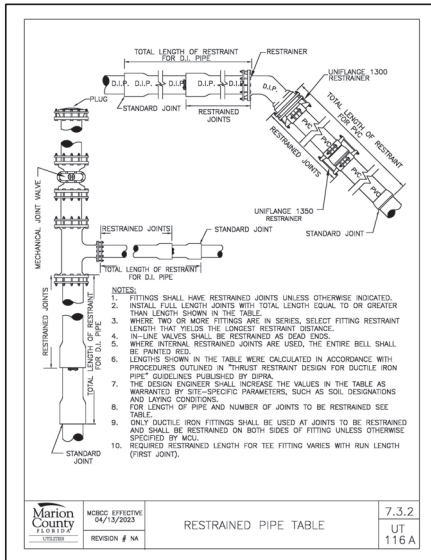
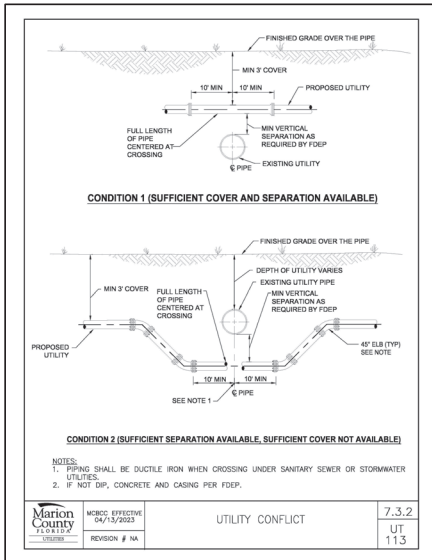
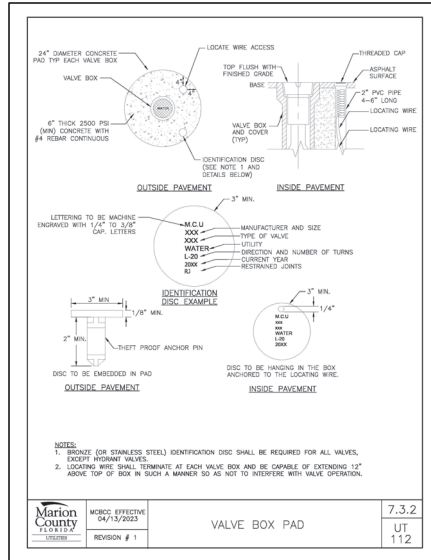
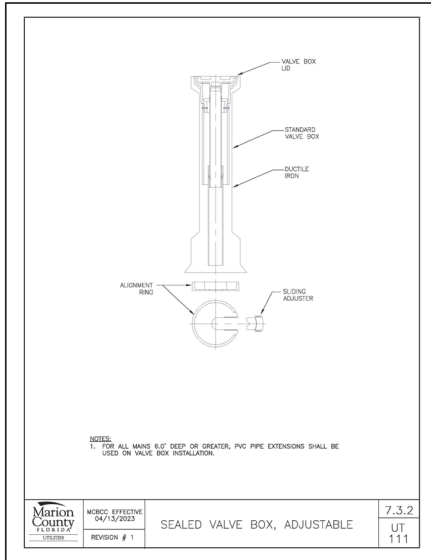
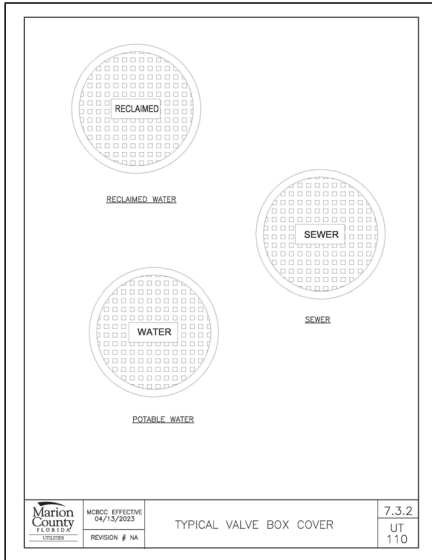


TAPPING SLEEVE AND GATE VALVE ASSEMBLY



UTILITY MAIN MARKER

81



MARION COUNTY PROJECT
No. 29457

Michael W. Radcliffe Engineering, Inc.
 10000 N. 10th Avenue, Suite 100
 Phoenix, AZ 85021
 Phone: (602) 998-1111
 Fax: (602) 998-1112
 Email: info@radcliffeeng.com
 Website: www.radcliffeeng.com

Marion County
 1000 N. 1st Avenue
 Phoenix, AZ 85004
 Phone: (602) 998-1111
 Fax: (602) 998-1112
 Email: info@marioncountyaz.gov
 Website: www.marioncountyaz.gov

Project Name: Marion County Unit 2
Location: 10000 N. 10th Avenue, Suite 100, Phoenix, AZ 85021
Owner: Marion County
Design: Michael W. Radcliffe Engineering, Inc.
Construction: Michael W. Radcliffe Engineering, Inc.

Sheet No.: C035
Scale: As Shown
Date: 04/13/2023

	MCBCC EFFECTIVE 04/13/2023	TEMPORARY SAMPLE POINT	7.3.2
	REVISION # 1		UT 211

CONFIGURATION 1:

CONFIGURATION 2:

	MCBCC EFFECTIVE 04/13/2023	MANUAL BLOW OFF VALVE WATER MAIN	7.3.2
	REVISION # NA		UT 212

PROFILE VIEW

	MCBCC EFFECTIVE 04/13/2023	FLOWMETER AND VAULT ASSEMBLY	7.3.2
	REVISION # NA		UT 214

	MCRC EFFECTIVE 04/13/2023	THRUST COLLAR WASTEWATER FORCE MAINS	7.3.2
	REVISION: # 1		UT 301

SECTION VIEW

 MARION COUNTY FLORIDA UTILITIES	MCBC EFFECTIVE 04/13/2023	FORCEMAIN TO GRAVITY SEWER CONNECTION	7.3.2
	REVISION # 2		UT 302

STANDARD CONNECTION

 MARION COUNTY FLORIDA UTILITIES	MCOBC EFFECTIVE 04/13/2023	GRAVITY MANHOLE CONNECTION	7.3.2
	REVISION # 2		UT 303

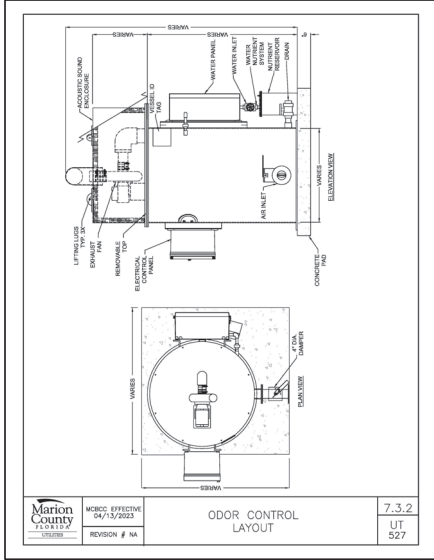
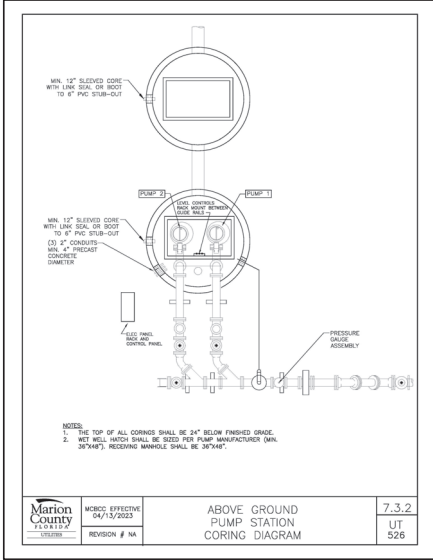
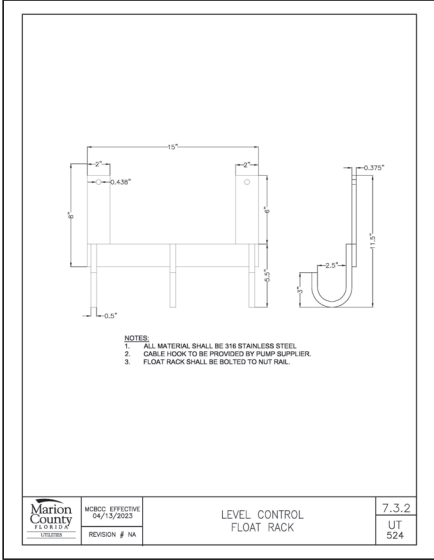
	MCBCC EFFECTIVE 04/13/2023	PLUG VALVE AND BOX	7.3.2
	REVISION # 2		UT 304

MARION COUNTY PROJECT
No. 29457

Date:	By:	Revisions:
03-13-2016		REVISIONS PER COUNTY COMMENTS
04-08-2016		REVISIONS PER SWFWD COMMENTS
07-01-2016		REVISIONS PER COUNTY COMMENTS

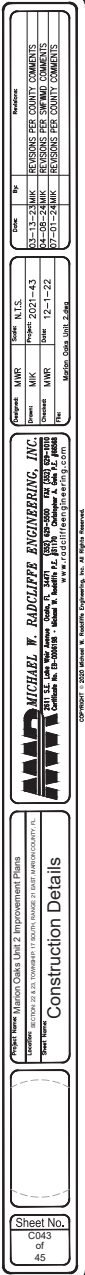
Designed:	MWR	Scale: 1" = 100'
Drawn:	MIK	Project: 2021-4
Checked:	MWR	Date: 11-28-
File:	Details.dwg	





MARION COUNTY PROJECT
No. 29457

Project Name: Marion Oaks Unit 2 Location: 11111 N. US Highway 170, Marion County, FL 32003 Owner: Marion County Design: MMR Construction: MMR Date: 11-28-22 Drawing: 11-28-22	Scale: 1" = 100'	Date: 11-28-22	Revision: 11-28-22	Revisions per County Comments
MICHAEL W. RADCLIFFE ENGINEERING, INC. 11111 N. US Highway 170, Marion County, FL 32003 Phone: 904.241.1111 Fax: 904.241.1111 www.radcliffeengineering.com				
Lift Station Details				
Sheet No. C041 of 45				



General Notes:

- Contractor shall the Notice of Intent (NOI) or obtain a letter from the Department of Environmental Protection (DEP) confirming coverage under this Generic Permit prior to construction. A copy of the NOI or letter from DEP shall be posted at the construction site in a prominent place for public viewing (such as alongside a building permit).
- The discharge of hazardous substances or oil in the stormwater discharge(s) from a facility or activity shall be prevented or minimized in accordance with the applicable stormwater pollution prevention plan for the facility or activity.
- The permittee shall provide for compliance with the terms and schedule of this plan beginning with the initiation of construction activities.
- Permittee shall adhere to the State of Florida DEP Generic Permit for Stormwater Discharge from Large and Small Construction Activities.
- Preserve existing vegetation where attainable and stabilize disturbed portions of the site to prevent erosion. Stabilization measures include permanent seeding, and preservation of existing mature vegetation and protection of existing trees. Stabilization measures shall be initiated as soon as practicable, but in no case more than 7 days, in portions of the site where construction activities have temporarily or permanently ceased.
- Each plan shall include a description of structural practices, to divert flows from exposed soils, store flows, retain sediment on-site, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include silt fences, swales, check dams, storm drain inlet protection, permanent sediment basins or Drainage Retention Areas (D.R.A.'s).
- Construct temporary Sediment Control Basins at each point of discharge into D.R.A.'s.
- Controls for Other Potential Pollutants.

- Waste Disposal. The plan shall assure that waste, such as discarded building materials, chemicals, filter, and sanitary waste are properly controlled in accordance with all applicable state, local, and federal regulations. This permit does not authorize the discharge of solid materials, including building materials, to surface waters of the State or on a Municipal Separate Storm Sewer System (MS4).
- The plan shall assure that off-site vehicle tracking of sediments and the generation of dust is minimized.
- The plan shall be consistent with applicable State and local waste disposal, sanitary sewer or septic system regulations.
- The plan shall address the proper application rates and methods for the use of fertilizers, herbicides and pesticides at the construction site and set forth how these procedures will be implemented and enforced. Nutrients shall be applied only at rates necessary to establish and maintain vegetation.
- The plan shall ensure that the application, generation, and migration of toxic substances is limited and that toxic materials are properly stored and disposed.
- A qualified inspector (provided by the operator) shall inspect all points of discharge into surface waters of the State or a Municipal Separate Storm Sewer System (MS4); disturbed areas of the construction site that have not been finally stabilized; areas used for storage of materials that are exposed to precipitation; structural controls; and locations where vehicles enter or exit the site, at least once every seven calendar days and within 24 hours of the end of a storm that is 0.50 inches or greater in accordance with the Generic Permit.
- The permittee shall retain copies of stormwater pollution prevention plans and all reports required by this permit, and records of all data used to comply with the NOI to be covered by this permit, for a period of at least three years from the date that the site is finally stabilized.
- The permittee shall retain a copy of the stormwater pollution prevention plan and all reports, records and documentation required by this permit at the construction site, or an appropriate alternative location as specified in the NOI, from the date of project initiation to the date of final stabilization.
- The permittee shall submit a completed Notice of Termination (NOT) (DEP Form 62-621.300(6)), signed in accordance with Part VI.C. of this permit, within 14 days of final stabilization of the site to terminate coverage under this permit.
- A permittee shall submit a NOI to the following address:
NPDES Stormwater Notices Center, MS# 2510
Florida Department of Environmental Protection
2500 Blair Stone Road
Tallahassee, Florida 32399-2400
- Projects that discharged stormwater associated with construction activity to a MS4 shall submit a copy of the NOI to the operator of the MS4.

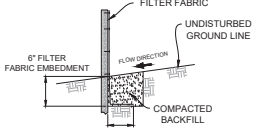
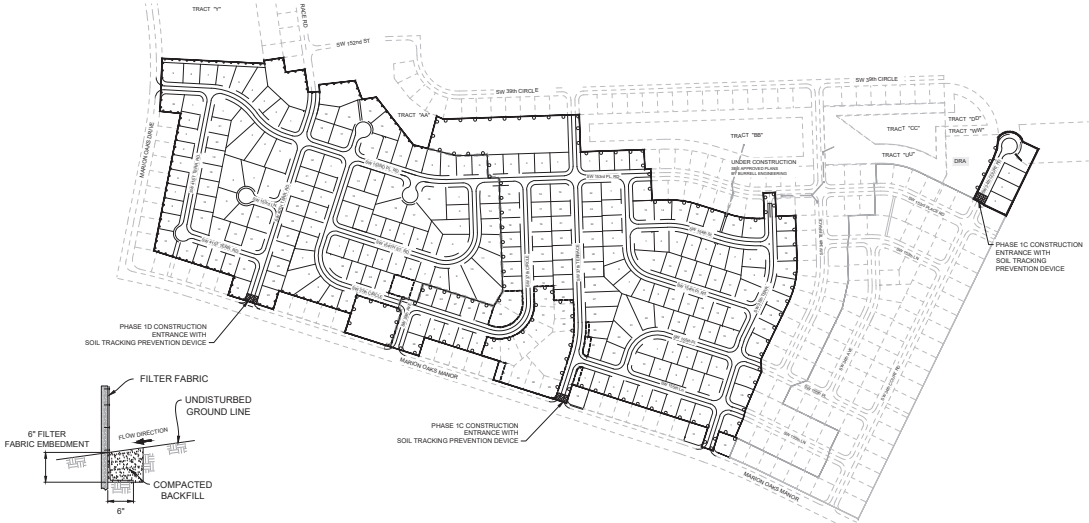
Notes:

- For silt fence detail see this sheet. Silt fence location shown for clarity only, actual fence to be as near the property line as practical. For additional silt fence construction information, refer to the FDOT Erosion and Sediment Control Designer and Reviewer Manual.
- All existing storm water drainage patterns and channels outside the construction areas shown on these plans are to be maintained. The contractor shall notify the engineer if the work appears to interrupt an existing storm water drainage pattern. The contractor shall maintain a clear path for all surface water drainage structures and ditches during all phases of construction such that impact to construction and/or surrounding facilities is minimized. The contractor shall be responsible for any erosion, sediment transport, disturbed foundations, impact to structures, and any other damage caused during construction.
- The contractor shall prevent the discharge of sediment due to construction operations. Approved erosion control devices shall be installed to prevent discharge of sediment into a dry or wet watercourse. Recommended erosion control shall consist of silt fence, or other erosion control methods as shown or approved by the project engineer. All new and existing drain pipes and structures shall be flushed clean after construction.
- Provide erosion control blanket for all slopes 2:1 (horizontal to vertical) or steeper.
- Swales and disturbed areas shall be seeded or mulched as soon as practical.
- Should additional erosion and sedimentation controls be needed, then the contractor needs to prevent the discharge of turbid waters off the project site.
- This plan provides reasonable assurance that the proposed construction activities will not result in erosion and sediment deposition in wetlands or off-site, adverse impacts to wetlands, off-site flooding or violation of water quality standards.

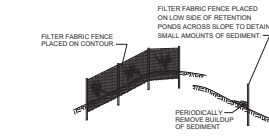
Project Information:

- This plan is intended for use in conjunction with the improvement plans for this project.
- The construction activities on this site consist of and will be performed in the following order: clearing and grubbing, excavation of the proposed roadway and drainage.
- The estimated project area is 26.50 acres. The area to be disturbed by construction is 26.50 acres.
- The topography of the area is gently sloping to sloping and naturally delineates the drainage basins as shown on the Erosion Control sheet (Sheet EC-1 of 2) of the improvement plans. Vegetative cover consists of Bahia grass with sparsely located mature oak trees located throughout the site (a current subdivision). Existing soils are predominantly Candler, Pedro, Apopka and Arrendondo type "A" hydrologic soils, which are well-drained to excessively drained sands according to the National Resource Conservation Service (NRCS) classification.

ALL STORMWATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO THE CONSTRUCTION OF IMPERVIOUS AREAS.

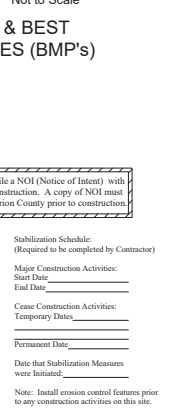
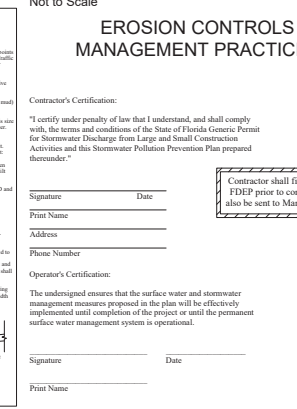
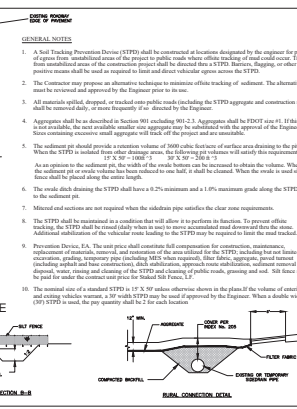
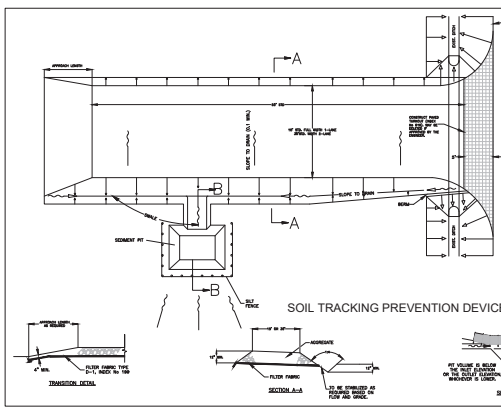


SILT FENCE TRENCH
Not to Scale



SILT FENCE PROTECTION
IN DITCHES WITH INTERMITTENT FLOW
Not to Scale

SILT FENCE DETAIL
Not to Scale



Scale:
1 inch = 300 feet

EROSION CONTROLS & BEST MANAGEMENT PRACTICES (BMP's)

Contractor's Certification:

I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder.

Signature _____ Date _____

Print Name _____

Address _____

Phone Number _____

Operator's Certification:

The undersigned assures that the surface water and stormwater management measures proposed in the plan will be effectively implemented until completion of the project or until the permanent surface water management system is operational.

Signature _____ Date _____

Print Name _____

Stabilization Schedule:
(Required to be completed by Contractor)

Major Construction Activities:

Start Date _____

End Date _____

Case Construction Activities:

Temporary Dates _____

Permanent Date _____

Date that Stabilization Measures were Initiated _____

Note: Install erosion control features prior to any construction activities on this site.

Marion County Project No. 29457

Legend:

- D.R.A. DRAINAGE RETENTION AREA
- SILT FENCE LOCATION
- CONSTRUCTION ENTRANCE

Scale: 1 inch = 300 feet

EROSION CONTROLS & BEST MANAGEMENT PRACTICES (BMP's)

Contractor's Certification:

I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder.

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(Required to be completed by Contractor)

Major Construction Activities:

Start Date _____

End Date _____

Case Construction Activities:

Temporary Dates _____

Permanent Date _____

Date that Stabilization Measures were Initiated _____

Note: Install erosion control features prior to any construction activities on this site.

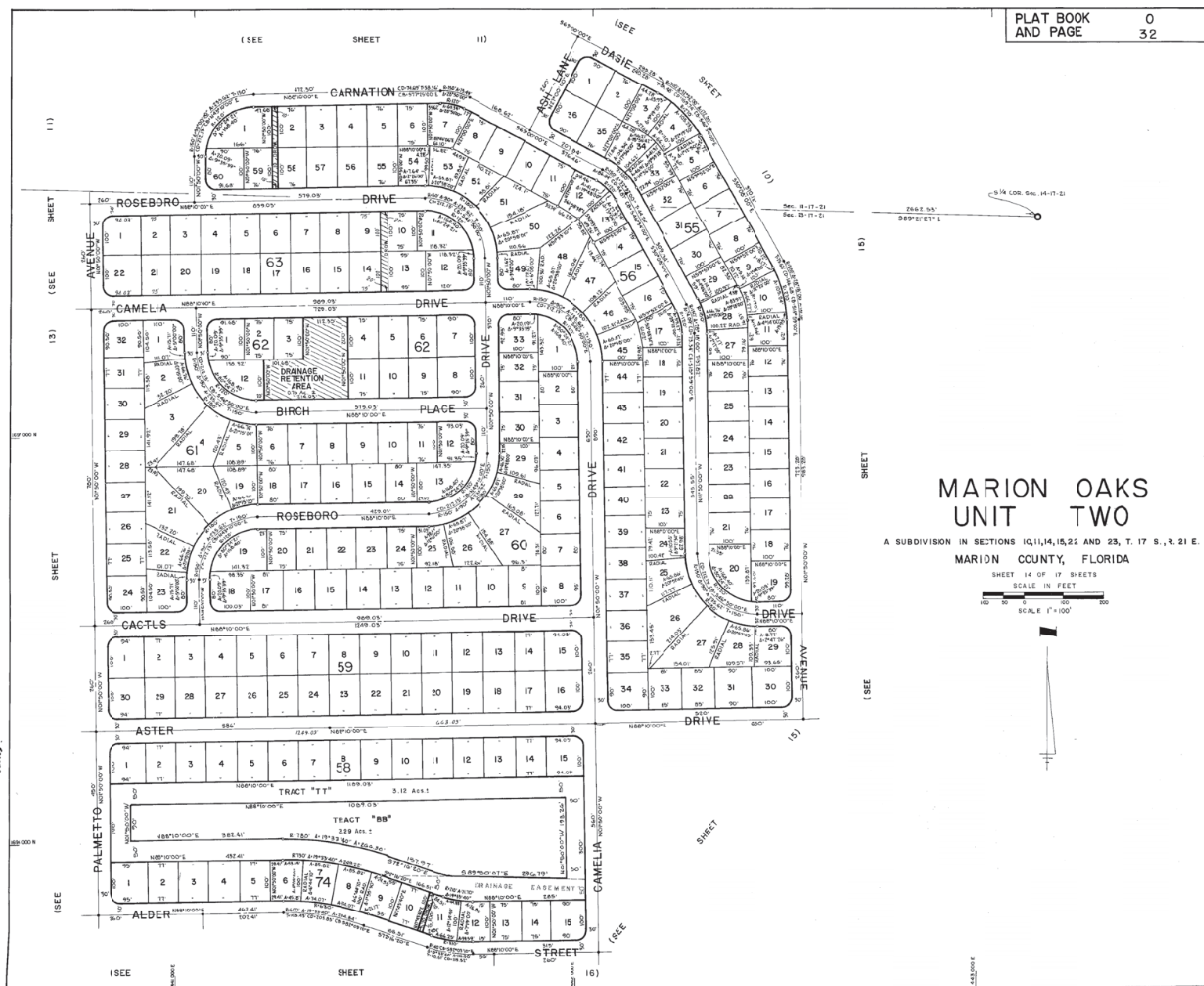
Sheet No. EC1 of 1

A SUE DIVISION IN SECTIONS 10,11,14,15,22 AND 23. T. 17 S., R. 21 E.
MARION COUNTY, FLORIDA

SHEET 13 OF 17 SHEETS
SCALE IN FEET
100 50 0 100 200
SCALE 1" = 100'



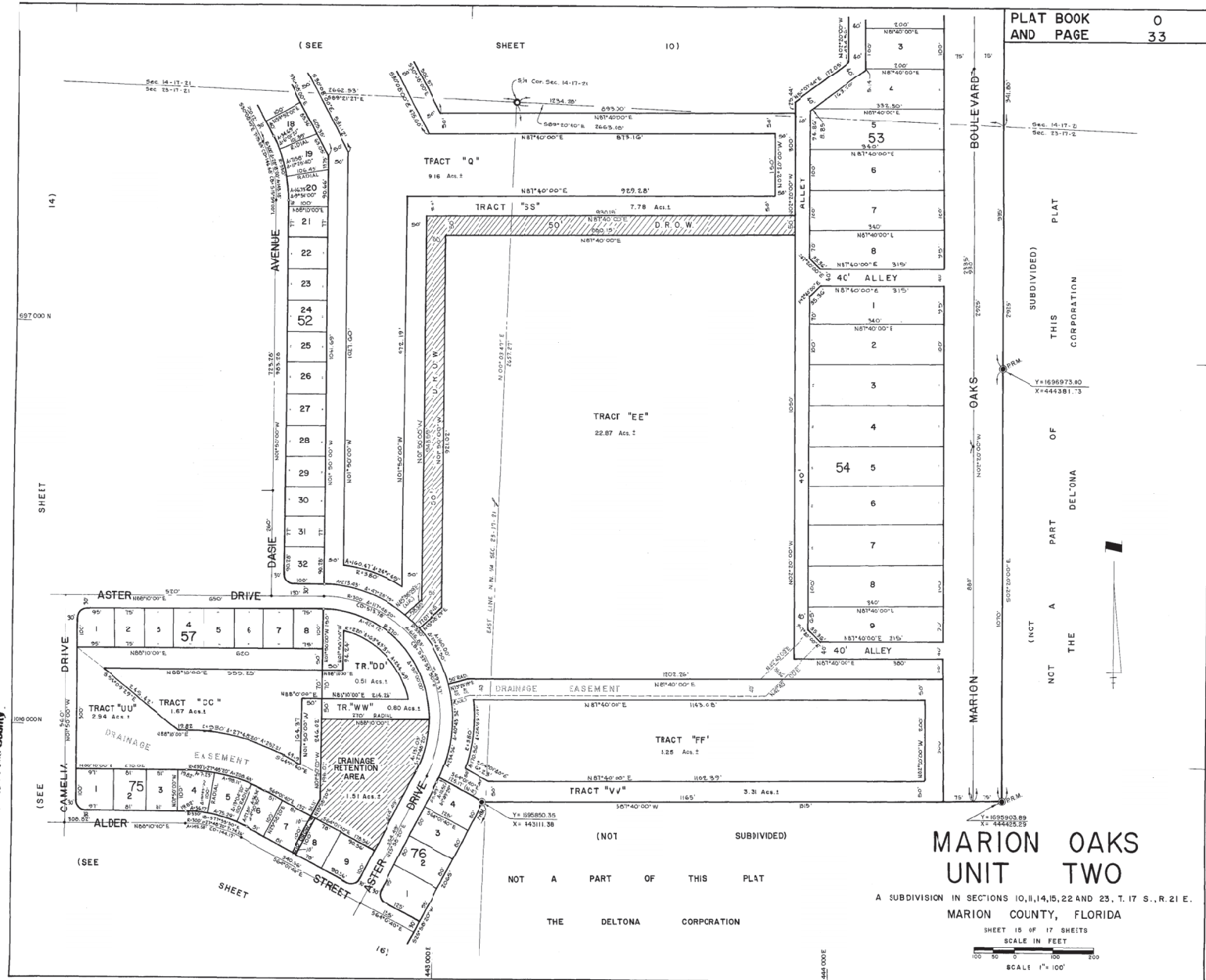
31 $\frac{2}{13-17}$



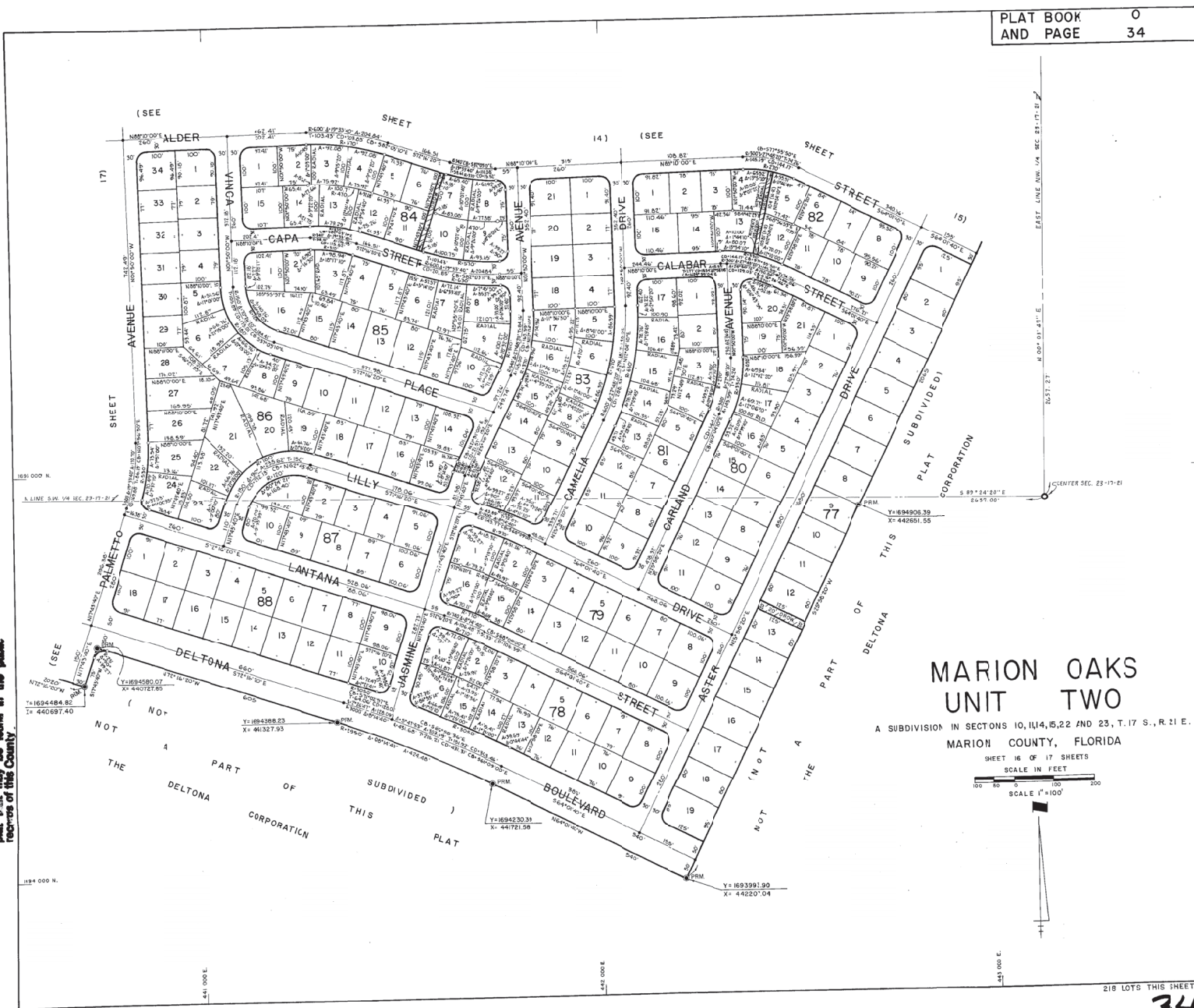
NOTICE: There may be additional resolutions that are not recorded on this list that may be found in the public records of this County.

255 LOTS THIS SHEET

32 $\frac{2}{14-17}$



NOTICE: These maps are accurate
restrictions that are not recorded on this
plat & it may be found in the public
records of this County



PLAT BOOK	0
AND PAGE	34

MARION OAKS UNIT TWO

A SUBDIVISION IN SECTIONS 10, 11, 14, 15, 22 AND 23, T. 17 S., R. 21 E.
MARION COUNTY, FLORIDA

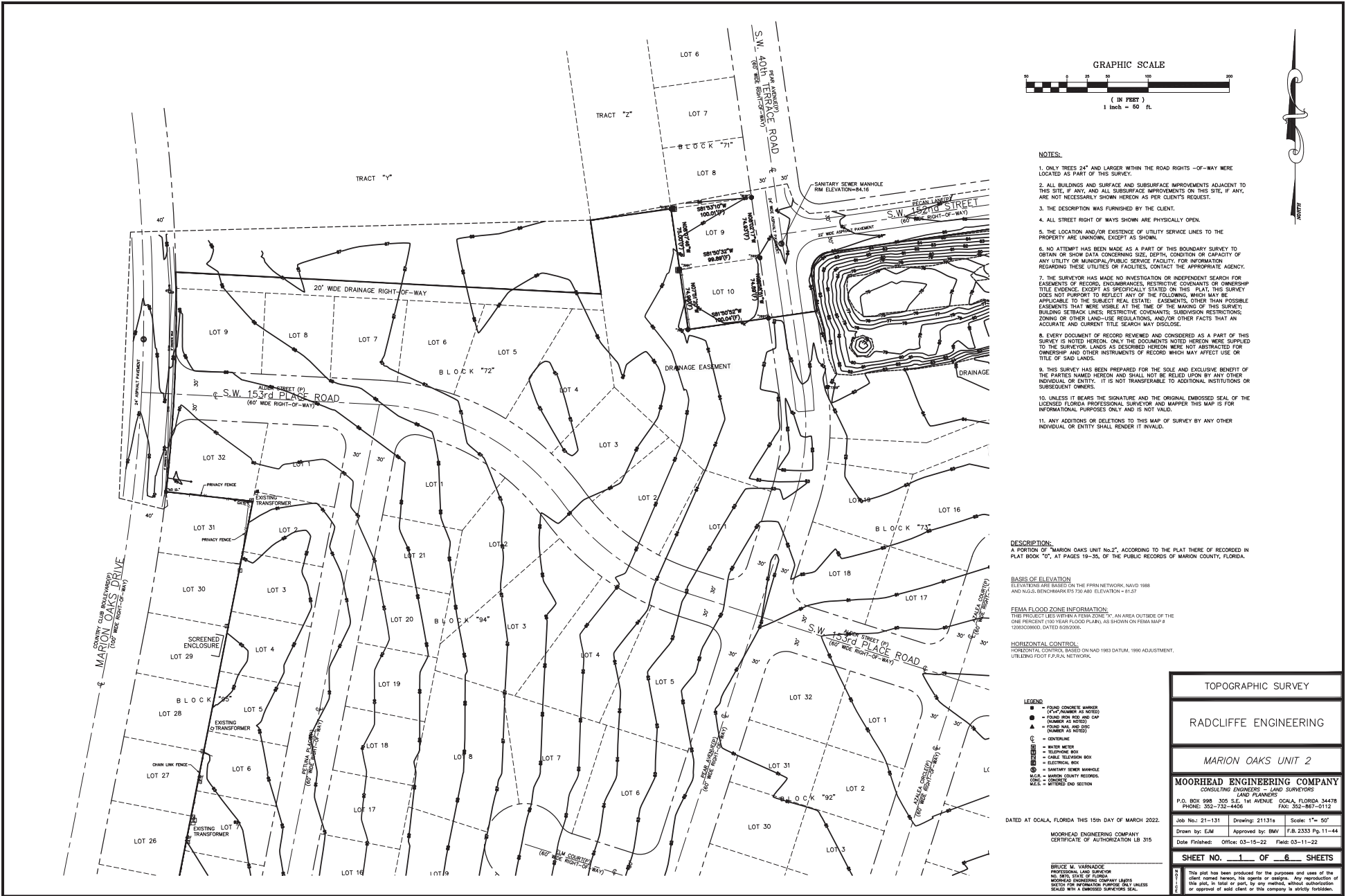
SHEET 16 OF 17 SHEETS
SCALE IN FEET
1" = 100'

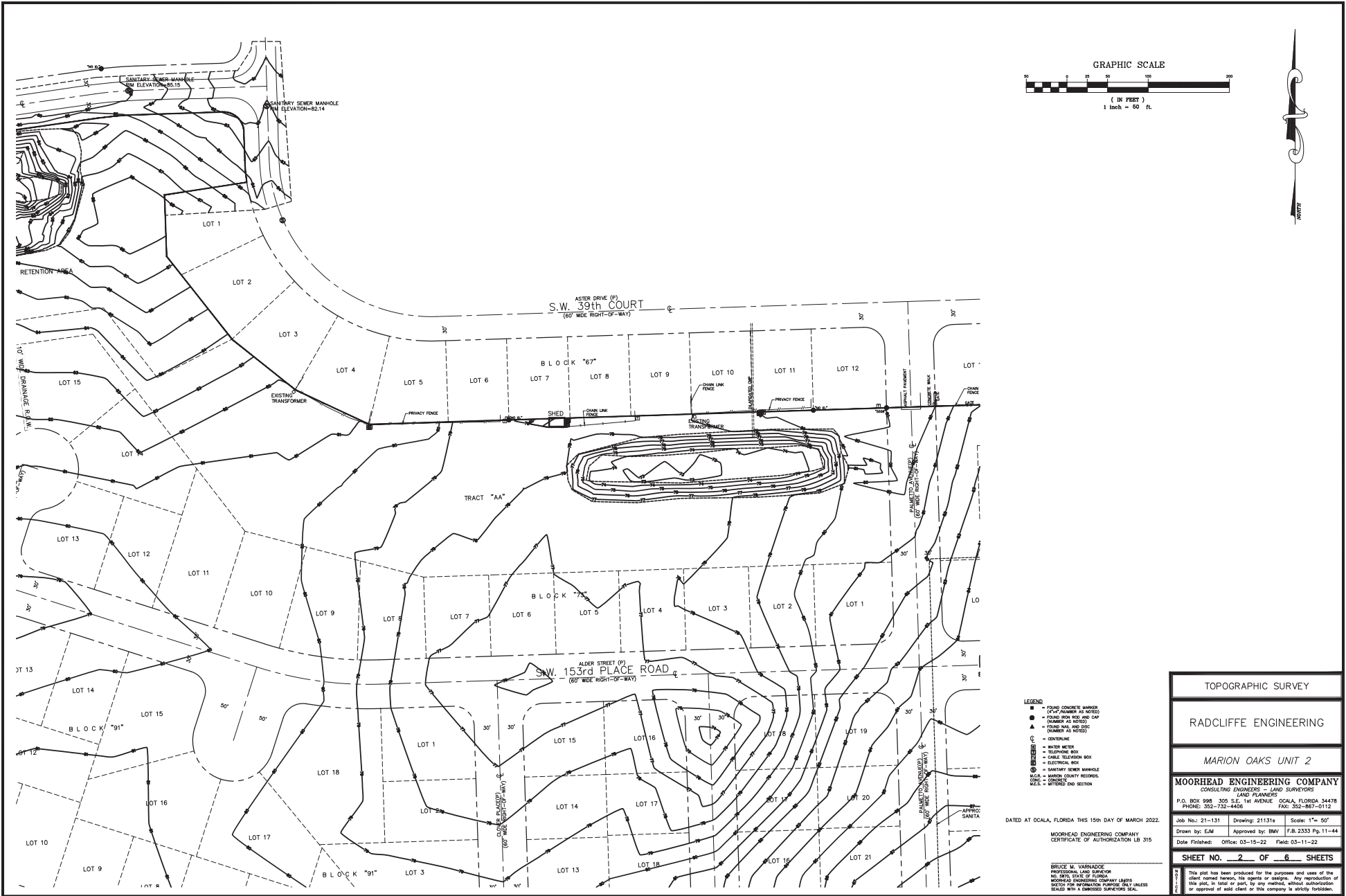
218 LOTS THIS SHEET

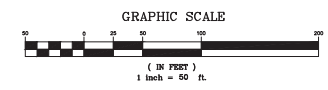
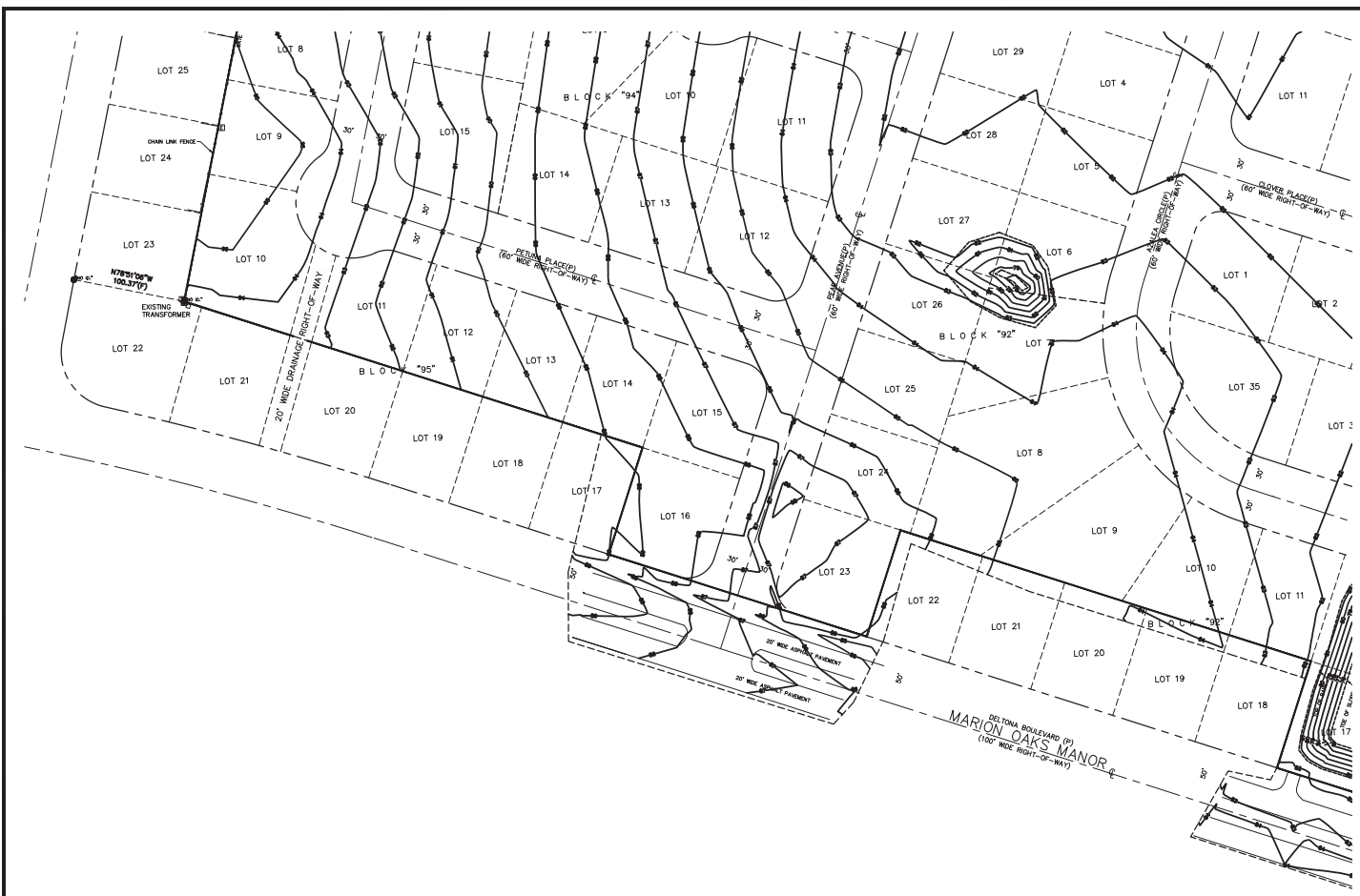
34 16-17

NOTICE: There may be additional restrictions that are not shown on this plat that may be found in the public records of this County









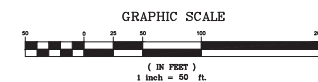
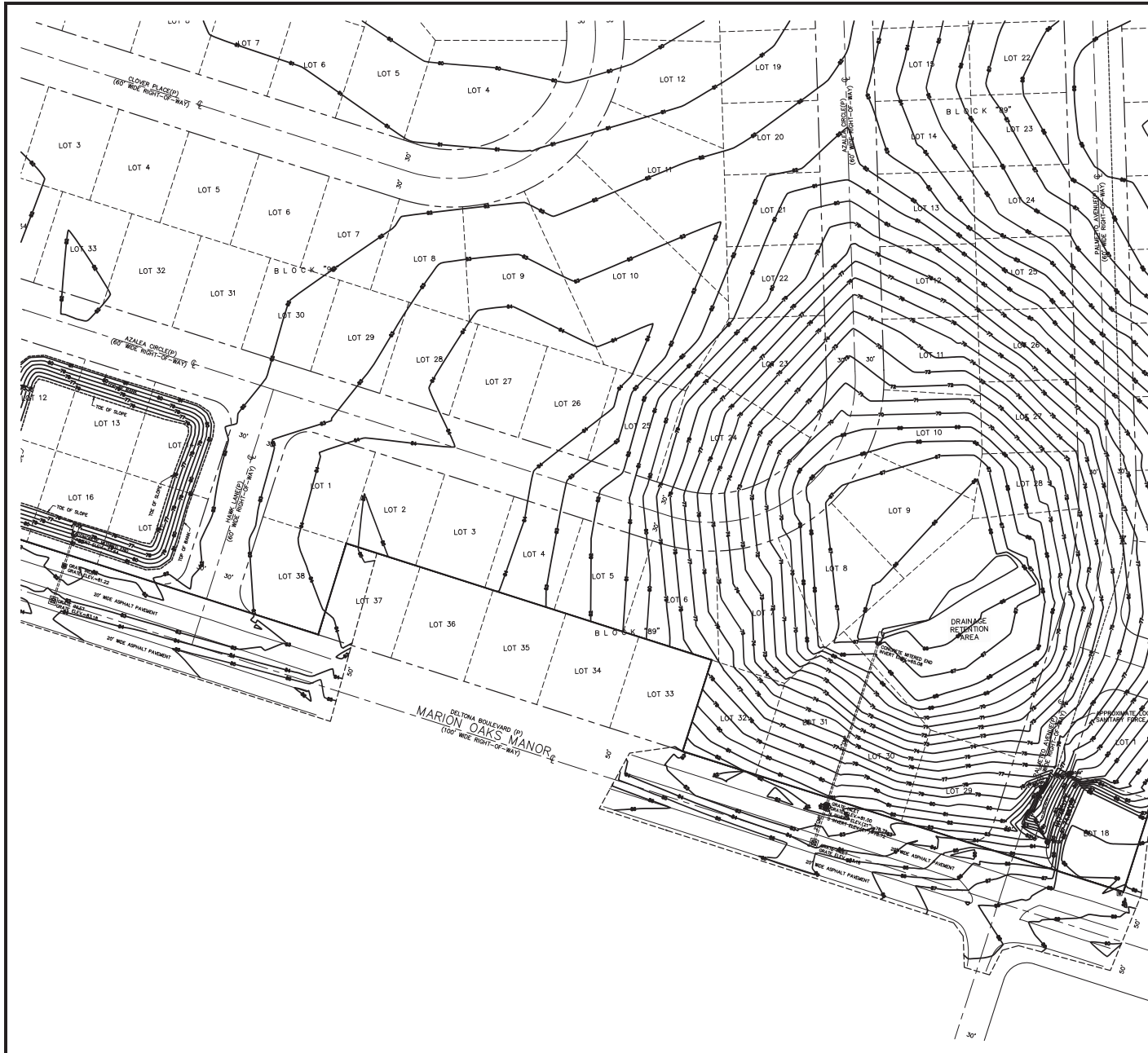
- LEGEND**
- FOUND CONCRETE MARKER (C/F NUMBER AS NOTED)
 - FOUND IRON ROD AND CAP (NUMBER AS NOTED)
 - ▲ FOUND IRON ROD END (NUMBER AS NOTED)
 - CENTERLINE
 - WATER METER
 - TELEPHONE BOX
 - CABLE TELEVISION BOX
 - ELECTRICAL BOX
 - SANITARY SEWER MANHOLE
 - ⊙ HATCH COUNTY RECORDS
 - CONCRETE
 - INTERRED END SECTION

DATED AT OCALA, FLORIDA THIS 15th DAY OF MARCH 2022.

MOORHEAD ENGINEERING COMPANY
CERTIFICATE OF AUTHORIZATION LB 315

BRUCE M. VARNADOE
PROFESSIONAL LAND SURVEYOR
NO. 8870, STATE OF FLORIDA
MOORHEAD ENGINEERING COMPANY LICENSE
SECTION FOR INFORMATION PURPOSES ONLY UNLESS
SEALED WITH A SURVEYED SURVEYOR'S SEAL.

TOPOGRAPHIC SURVEY		
RADCLIFFE ENGINEERING		
GLEN AIRE SUBDIVISION MARION OAKS UNIT 2		
MOORHEAD ENGINEERING COMPANY CONSULTING ENGINEERS — LAND SURVEYORS LAND PLANNERS P.O. BOX 998 305 S.E. 1st AVENUE OCALA, FLORIDA 34478 PHONE: 352-732-4406 FAX: 352-867-0112		
Job No.: 21-131	Drawing: 21131a	Scale: 1"= 50'
Drawn by: EJM	Approved by: BMV	F.B. 2333 Pg. 11-44
Date Finished: Office: 03-15-22	Field: 03-11-22	
SHEET NO. 4 OF 6 SHEETS		
This plot has been produced for the purposes and use of the client named herein, his agents or assigns. Any reproduction of this plot, in total or part, by any method, without authorization or approval of said client or this company is strictly forbidden.		



- LEGEND**
- FOUND CONCRETE WALL (C/W NUMBER AS NOTED)
 - FOUND BOLT END AND CAP (NUMBER AS NOTED)
 - ▲ FOUND BOLT END (NUMBER AS NOTED)
 - CENTERLINE
 - WATER METER
 - TELEPHONE BOX
 - CABLE TELEVISION BOX
 - ELECTRICAL BOX
 - SANITARY SEWER MANHOLE
 - MARION COUNTY RECORDS
 - CONCRETE
 - INTERIOR END SECTION

DATED AT OCALA, FLORIDA THIS 15th DAY OF MARCH 2022.

MOORHEAD ENGINEERING COMPANY
CERTIFICATE OF AUTHORIZATION LB 315

BRUCE M. VARNADOE
PROFESSIONAL LAND SURVEYOR
NO. 8870, STATE OF FLORIDA
MOORHEAD ENGINEERING COMPANY, LICENSE
SECTION FOR INFORMATION PURPOSES ONLY UNLESS
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TOPOGRAPHIC SURVEY	
RADCLIFFE ENGINEERING	
MARION OAKS UNIT 2	
MOORHEAD ENGINEERING COMPANY CONSULTING ENGINEERS - LAND SURVEYORS LAND PLANNERS	
P.O. BOX 998 305 S.E. 1st AVENUE OCALA, FLORIDA 34478 PHONE: 352-732-4406 FAX: 352-867-0112	
Job No.: 21-131	Drawing: 21131a Scale: 1"= 50'
Drawn by: EJM	Approved by: BMV F.B. 2333 Pg. 11-44
Date Finished: 03-15-22	Field: 03-11-22
SHEET NO. 5 OF 6 SHEETS	
This plot has been produced for the purposes and uses of the client named herein, his agents or assigns. Any reproduction of this plot, in total or part, by any method, without authorization or approval of said client or this company is strictly forbidden.	





Marion County

Development Review Committee

Agenda Item

File No.: 2024-16105

Agenda Date: 8/5/2024

Agenda No.: 6.2.

SUBJECT:

Farm Credit Building Addition - Waiver Request to Major Site Plan in Review

5075 NW Blitchton RD Ocala

Project #2023080063 #31389 Parcel #21585-001-00

Davis Dinkins Engineering

LDC 2.12.8. - Current boundary and topographic survey

CODE states current boundary and topographic survey (one-foot contour intervals extending 100 feet beyond the project boundary) based upon accepted vertical datum. Surveys will be less than 12 months old and accurately reflect current site conditions, meeting standards set forth in Ch. 5J-17 FAC. Alternate topographic data may be accepted if pre-approved by the Marion County Land Surveyor.

APPLICANT requests waiver as no significant changes have been made since field work was completed for survey in late 2022.

LDC 6.8.6.D - Buffers

CODE states buffers may consist of landscaping, buffer walls, fencing, berms, or combinations thereof which work cohesively to achieve the intent of buffering.

APPLICANT requests waiver to utilize existing vegetation on northern boundary as existing new is requested.

This item is at the discretion of the County Engineer, or their designee. A deviation request is under review.

LDC 6.11.4.B(2) - Cross Access

CODE states cross access shall be provided and constructed for all commercial, industrial, and multi-family residential development on arterial and collector roads unless it is determined by the County Engineer to not be practical or reasonable due to adjacent features, specific type of development, or the potential development of the adjacent property.

APPLICANT states the site to the east is developed and does not provide cross access and the site to the west is proposed self-storage with drainage proposed on the SE portion preventing connection.

LDC 6.12.12.A, B, & C - Sidewalks

CODE states A. Sidewalks shall be provided in the Urban Area, Rural Activity Centers, and

Specialized Commerce Districts along arterial, collector, and major local streets where these streets adjoin the project and minimally along one side of the internal streets. Sidewalks shall be constructed with all-weather surfaces and shall meet Americans with Disabilities Act, Florida Building Code, and FDOT Design Standards. B. Sidewalks outside the right-of-way and independent of the street system are encouraged as an alternative to sidewalks parallel to a roadway, provided equivalent pedestrian needs are met. C. The sidewalk system shall provide connectivity between existing and proposed developments.

APPLICANT states US 27 is an FDOT section without sidewalks in this location and this was discussed with staff during conceptual review.

August 2, 2024

PROJECT NAME: FARM CREDIT BUILDING ADDITION

PROJECT NUMBER: 2023080063

APPLICATION: MAJOR SITE PLAN #31389

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the NPDES permit or NOI prior to construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide a copy of the District permit prior to construction.
- 3 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Additional Stormwater comments
STATUS OF REVIEW: INFO
REMARKS: If you have questions or would like to discuss the stormwater review comments, please contact Alexander Turnipseed at (352) 671-8376 or at alexander.turnipseed@marionfl.org.
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$1,000..00 + (\$10.00 x total site acreage)
STATUS OF REVIEW: INFO
REMARKS: 4/10/24-fee due with resubmittal
- 5 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 4/10/24-add waivers if requested in future
- 6 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.21.2.A - Multi-phase Major Site Plans may include a separate sheet showing independent, stand alone phasing and shall not be subject to a separate Master Plan application
STATUS OF REVIEW: INFO
REMARKS:
- 7 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Legal Documents
STATUS OF REVIEW: INFO
REMARKS:
- 8 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be

issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider

STATUS OF REVIEW: INFO

REMARKS: MCU; expansion of building requires connection to MCU's closest water main by offsite extension north of parcel along N US Hwy 27, approx 340' away. Total extension distance to cover parcel per LDC Sec 6.14.2.A(3) is 723'. Existing main is 16"; extension shall be designed to serve development needs based on hydraulic calcs of both buildings. Both buildings required to connect. Existing well can remain for irrigation only.

10 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider

STATUS OF REVIEW: INFO

REMARKS: MCU closest sewer is 2300' away - currently too far to require connection. City of Ocala has sewer main available within 724' - if connection to the City of Ocala Utility system is made, parcel will be required to annex into the City on the City's timeline. It is not recommended to 'split' utility providers.

11 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Total Flow

STATUS OF REVIEW: INFO

REMARKS: 473gpd estimated based on 15gpd/100sqft of building

12 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: 2.12.6 - Location of septic systems & wells

STATUS OF REVIEW: INFO

REMARKS: Existing well to be disconnected from building, if used for irrigation it must be at least 50' from any septic systems

If no longer using well apply for abandonment permit through the Department of Health in Marion County

13 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Additional Health comments

STATUS OF REVIEW: INFO

REMARKS: Per utilities comments connection to City of Ocala sewer may be required. If central sewer is not available then apply for septic system permit through the Department of Health in Marion County.

14 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements

STATUS OF REVIEW: INFO

REMARKS: Setback information provided on cover page, however staff will need to see setbacks of structures from property lines on plan set.

15 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering

STATUS OF REVIEW: INFO

REMARKS: Buffering along northern boundary will require a waiver, staff would be supportive as this area is largely treed.

16 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.19 - Provide dimensions and location of all existing site improvements; dimensions and location for all proposed site improvements with all setbacks

STATUS OF REVIEW: INFO

REMARKS: See additional comment regarding setbacks of existing and proposed building being displayed on plan set.

17 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Major Site Plan

STATUS OF REVIEW: INFO

REMARKS:

Sec. 2.18.1.I - Show connections to other phases.

Sec.2.19.2.H – Legal Documents

Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.

Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)

For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."

Sec. 6.3.1.B.2 – Required Right of Way Dedication

For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec. 6.3.1.D.3 - Cross Access Easements

For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."

Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)

"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."

Sec. 6.3.1.C.2 – Utility Easements

"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:

1. "[All stormwater and drainage easements as shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction and maintenance of such facilities."

2. "[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3. When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) –

If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

- 18 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.12.8 - Topographical Contours
STATUS OF REVIEW: NO
REMARKS: Survey should be no older than 12 months. Staff would be willing to support a waiver
- 19 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.2.A(11)(a) - Construction Entrance
STATUS OF REVIEW: NO
REMARKS: Please provide details for a construction entrance for the site
- 20 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas
STATUS OF REVIEW: NO
REMARKS: Please provide a signed and sealed karst analysis.
- 21 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.12 - Operation and Maintenance
STATUS OF REVIEW: NO
REMARKS: An operation and maintenance manual is required for all projects. This is a standalone document from the plans and calculations. If you need an example of O&M documents that have been approved in the past, contact the stormwater department. The O&M manual will need to have the following certification on the cover: "I hereby certify that I, my successors, and assigns shall perpetually operate and maintain the stormwater management system and associated elements in accordance with the specifications shown herein and on the approved plans." This certification must be signed by the current property owner or their authorized representative. We used the State of Florida Sunbiz website to verify agents/member/officers of business entities. If the owner is an out of state organization we will need to see articles of incorporation/organization to verify the authority of the individual signing the certifications. For property ownership, we use the Marion County Property Appraiser's website. If you need an example contact the stormwater department.
- 22 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.
STATUS OF REVIEW: NO
REMARKS: After all stormwater comments are resolved, please upload a digitally signed and sealed drainage report/letter. A hard copy signed and sealed report can be submitted if desired.
- 23 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.11.4.B - Cross access
STATUS OF REVIEW: NO
REMARKS: 7/30/24 - Refer to previous comment regarding cross access requirement. Contact Cheryl Weaver in the Right-of-Way Office at 352-671-8679 to obtain easement forms and for recording the easement.
4/22/24 - A 24' wide paved cross access easement is required parallel to US 27 and extending to the east and west property lines.
- 24 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 6.12.12 - Sidewalks
STATUS OF REVIEW: NO
REMARKS: 7/30/24 - Please refer to previous comment regarding sidewalk requirement at this location.
4/22/24 - Sidewalk is required along US 27 with connections onto the site.

- 25 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 6.14.2.A(1) - Letter of Availability and Capacity (w/Location Map of water and/or sewer as app) from provider
STATUS OF REVIEW: NO
REMARKS: EoR's 7/25/24 response states utility connections pending further discussion RE: annexation; as a result, the majority of MCU's comments cannot be cleared until a connection determination is made & will remain as originally entered until water & sewer provider established. Subject to additional comments after resubmittal & utility connection response.
ORIGINAL COMMENT: If the City of Ocala Utility water/sewer connection is going to be pursued, provide a letter from the City with the resubmittal. All utility connections and reviews will be deferred to the City (not part of the Co's Dev Rev process).
- 26 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Central Sewer
STATUS OF REVIEW: NO
REMARKS:
- 27 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: Available Area
STATUS OF REVIEW: NO
REMARKS: 100,000+sqft of open area
If installing a septic system show location on site plan.
- 28 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 2.12.16/6.5 - [EALS or EALS-ER provided?]
STATUS OF REVIEW: NO
REMARKS: Please provide environmental assessment or exemption.
- 29 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: 6.5 & 6.6 - Habitat Preservation/Mitigation Provided?
STATUS OF REVIEW: NO
REMARKS:
- 30 DEPARTMENT: ENGSUR - SURVEY REVIEW
REVIEW ITEM: 2.12.8 - Provide current boundary and topographic survey less than one year old
STATUS OF REVIEW: NO
REMARKS: Please update survey.
- 31 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: 6.8.6 - Buffers
STATUS OF REVIEW: NO
REMARKS: Waiver required for north buffer - staff supports



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 31389

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 07/01/24 Parcel Number(s): 21585.001.00 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: FARM CREDIT BUILDING ADDITION Commercial ☒ Residential ☐
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): MARCUS A. BOONE
Signature: [Signature]
Mailing Address: 11903 SOUTHERN BOULEVARD #200 City: WEST PALM BEACH
State: FL Zip Code: 33411 Phone # 561.855.3066
Email address: mboone@farmcreditfl.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): DAVIS DINKINS ENGINEERING, P.A. Contact Name: DAVIS DINKINS
Mailing Address: 125 NE 1ST AVE, STE 2 City: OCALA
State: FL Zip Code: 34470 Phone # 352.854.5961
Email address: davis@dinkinsengineering.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____
Reason/Justification for Request (be specific): _____

DEVELOPMENT REVIEW USE:

Received By: Email 7/25/24 Date Processed: 7/26/24 BM Project # 2023080063 AR # 31389

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____

Revised 6/2021

Empowering Marion for Success

marionfl.org



Marion County Board of County Commissioners

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Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) 2.12.8 CURRENT BOUNDARY & TOPOGRAPHIC SURVEY

Reason/Justification for Request (be specific): NO SIGNIFICANT CHANGES HAVE BEEN MADE SINCE FIELD WORK WAS COMPLETED FOR SURVEY IN LATE 2022.

Section & Title of Code (be specific) 6.8.6 BUFFERS

Reason/Justification for Request (be specific): A WAIVER TO UTILIZE EXISTING VEGETATION ON NORTHERN BOUNDARY AS EXISTING NEW IS REQUESTED.

Section & Title of Code (be specific) 6.11.4.B CROSS ACCESS

Reason/Justification for Request (be specific): THE SITE TO THE EAST IS DEVELOPED AND DOES NOT PROVIDE CROSS-ACCESS AND THE SITE TO THE WEST IS PROPOSED SELF-STORAGE WITH DRAINAGE PROPOSED ON THE SE PORTION PREVENTING CONNECTION.

Section & Title of Code (be specific) 6.12.12 - SIDEWALKS

Reason/Justification for Request (be specific): US 27 IS A F.D.O.T SECTION WITHOUT SIDEWALKS IN THIS LOCATION AND THIS WAS DISCUSSED WITH STAFF DURING CONCEPTUAL REVIEW.

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

FARM CREDIT OF FLORIDA

MAJOR SITE PLAN MARION COUNTY, FLORIDA

GENERAL NOTES:

- ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE MARION COUNTY LAND DEVELOPMENT CODE AND "UTILITY MANUAL" AS APPLICABLE. ANY WORK WITHIN THE FOOT RIGHT OF WAY SHALL CONFORM TO THE FOOT STANDARD PLANS INDEX (CURRENT EDITION).
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL BY BOTH THE PROJECT ENGINEER, AND THE OFFICE OF THE COUNTY ENGINEER.
- BUILDING SHALL BE HANDICAP ACCESSIBLE PER AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (LATEST EDITION).
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND COVER OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCY TO THE PROJECT ENGINEER. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS. CAUTION IS ADVISED PRIOR TO DIGGING.
- TYPE II SALT FENCE SHALL BE INSTALLED AS SHOWN ON THESE PLANS PRIOR TO ANY CONSTRUCTION, MAINTAINED DURING THE LIFE OF THE PROJECT, AND REMOVED FOLLOWING COMPLETION OF CONSTRUCTION.
- THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 48 HOURS OF EACH OCCURRENCE.
- ALL DRAINAGE FACILITIES AND STORM STRUCTURES MUST BE BUILT PRIOR TO CONSTRUCTION OF ANY IMPERVIOUS SURFACES.
- IF UNSATURATED MATERIAL IS ENCOUNTERED WITHIN THE PROPOSED PARKING LOT, TWO (2) FEET OF UNDERCUT BELOW THE PROPOSED STABILIZED SUBGRADE, TOGETHER WITH SUSTAINABLE BACKFILL MATERIAL, (OR GEOTECHNICAL ENGINEER'S RECOMMENDATION) IS RECOMMENDED. THE CONTRACTOR SHOULD PROVIDE A BAY PRICE IN HIS BIDDING, AND HE SHALL VERIFY THE PROJECT ENGINEER WHEN UNSATURABLE MATERIAL IS ENCOUNTERED. BEFORE PROCEEDING WITH ANY WORK RELATED TO UNSATURABLE MATERIAL, THE CONTRACTOR IS ADVISED TO CONTACT A LICENSED GEOTECHNICAL ENGINEER TO DETERMINE THE SUITABILITY OF THE MOUNTAIN SOIL AND THE AREA OF UNDERCUT THAT IS REASONABLY REQUIRED.
- AUTOMATIC PAVEMENT SHALL BE 1 1/2" THICK F.D.O.T. SP-17.5 ON 8" EMERGENCY BASE (MIN. MAX. DENSITY, 100 LBS) WITH PRIME CONT. FILL WITH (0.1) (0.1) (0.1) ON 12" (F.D.O.T. TYPE B) STABILIZED SUBGRADE (MIN. MAX. DENSITY, 40 LBS). CONSTRUCTION REQUIREMENTS OF THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SHALL GOVERN.
- MINIMUM STRENGTH FOR ANY CONCRETE ON SITE SHALL BE 3000 P.S.I. AT 28 DAYS UNLESS INDICATED OTHERWISE ON THESE PLANS.
- ANY DISTURBED ON-SITE AREAS LEFT UNPAVED SHALL BE RESTORED AND SOODED, SEEDED AND MULCHED, OR LANDSCAPED (AS APPLICABLE). ALL SOODED AREA SHALL BE UNDERCUT 2" PRIOR TO INSTALLATION.
- IF A SHOWER SHOULD FORM ON THIS SITE, ALL APPLICABLE RETAINMENT PRECEDESSES SHALL BE FOLLOWED AS OUTLINED IN FLORIDA SWM CHANNEL REPAIR DETAIL SHOWN HEREON. ALSO, MARION COUNTY AND S.W.M.D. SHALL BE NOTIFIED IMMEDIATELY.
- DAVIS DINKINS ENGINEERING, P.A. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ON-SITE SAFETY DURING CONSTRUCTION.
- THE ELECTRICAL SHALL COORDINATE WITH ELECTRIC SERVICE PROVIDER ANY MODIFICATIONS TO ELECTRIC SERVICE. ANY SLEEVING REQUIREMENTS SHALL BE COORDINATED WITH THE SITE CONTRACTOR.
- THERE ARE NO WETLANDS ON THIS SITE.
- AN AS-BUILT SURVEY SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR AND PROVIDED TO THE PROJECT ENGINEER FOR HIS USE IN CERTIFYING TO THE COMPLETION OF THE PROJECT PRIOR TO E.O. ALL AS-BUILT SHALL COMPLY WITH CURRENT LOC. SECTION 614.8.
- THE CONTRACTOR MUST OBTAIN A PERMIT FROM THE COUNTY RIGHT-OF-WAY DIVISION PRIOR TO COMMENCEMENT OF WORK WITHIN THE COUNTY RIGHT-OF-WAY.
- A PERMIT MUST BE OBTAINED FROM THE MARION COUNTY PERMITTING DIVISION PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY.
- MARION COUNTY UTILITIES PERSONNEL ARE TO INSPECT ANY WORK PERFORMED ON OR AROUND EXISTING MARION COUNTY UTILITIES INFRASTRUCTURE. A PRE-CONSTRUCTION MEETING IS REQUIRED TO BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. IF THE PRE-CONSTRUCTION MEETING IS NOT COMPLETED, ANY WORK MAY BE HALTED. TO SCHEDULE, CONTACT CONSTRUCTION OFFICE AT (352)357-4163.
- COPIES OF ALL RELATED PERMIT APPLICATIONS AND ISSUED PERMITS SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEWER FOR THE MARION COUNTY UTILITIES DEPARTMENT.
- THIS PROJECT IS LOCATED WITHIN THE BLUEBELT SECONDARY PROTECTION ZONE.
- THIS SITE IS NOT LOCATED IN AN ENVIRONMENTALLY SENSITIVE OVERLAY ZONE (ESOS).
- THIS FARM HAS NOT DESIGNATED A 100-YEAR, 24-HOUR FLOOD ZONE ON THIS SITE. THE SITE IS IN FLOOD ZONE A.
- SIGNAGE AND STRIPING NOTES:
 - PAVED PARKING SPACES AND ISLANDS SHALL BE PAINTED WITH 6" WHITE STRIPES.
 - ANY STRIPING WITHIN THE RIGHT OF WAY SHALL BE THERMOPLASTIC. ALL WORK IS TO BE IN ACCORDANCE WITH F.D.O.T. STANDARDS.
 - ALL PROPOSED STOP, STREET, ADVISORY, AND OTHER SIGNAGE TO BE NEW UNLESS INDICATED OTHERWISE ON THESE PLANS.
 - SIGNS AT PROPERTY EXITS AND SIGNS IN RIGHT OF WAY TO BE CONSTRUCTED WITH DIAMOND GRADE REFLECTIVE SHEETING. OTHER PRIVATE SIGNS TO BE CONSTRUCTED WITH HIGH INTENSITY REFLECTIVE SHEETING.
 - PRIVATE STOP SIGNS AND SIGNS WITHIN COUNTY RIGHT OF WAY ARE TO BE INSTALLED ON SQUARE POSTS (14 FEET LONG, 14 GAUGE, 4 INCH DIA). SIGN POSTS WITHIN F.D.O.T. RIGHT OF WAY TO BE IN ACCORDANCE TO FOOT STANDARD PLANS INDEX #700.
 - ALL PRIVATE SIGN POSTS (OTHER THAN STOP SIGN POSTS) TO BE U-CANAL GALVANIZED STEEL 2x6x1/2 BREAKAWAY POSTS.
 - ALL SIGNS SHALL HAVE 7" OF CLEARANCE FROM BOTTOM OF SIGN TO FINISH GRADE.
 - PAVE ALL AREAS OF CURB AND/OR SIDEWALK TRANSITIONS FROM PAVEMENT TO 4-INCH WITH "SAFETY YELLOW" ALONG TRANSITION.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), LATEST EDITION.
- ANY AND ALL SIGNAGE WILL REQUIRE ADDITIONAL PERMITTING (BY OTHERS).
- ANY FIRE APPLIANCES MUST COMPLY WITH THE FLORIDA FIRE PROTECTION CODE, AND SHALL BE FLOW TESTED AND COLOR CODED AS REQUIRED. HYDRANTS ON PUBLIC WATER MAINS TO BE FACTORY RATED RED. PRIVATE HYDRANTS TO BE FACTORY RATED YELLOW. ALL PUBLIC AND PRIVATE HYDRANTS SHALL HAVE THE CAPS PAINTED PER NFPA 291. ALL FLOW TESTS SHALL BE TESTED PER NFPA 291 BY A THIRD PARTY CONTRACTOR AND WITNESSED BY A MARION COUNTY FIRE INSPECTOR. PRIVATE HYDRANTS SHALL BE MAINTAINED BY THE BUILDING OWNER AND SHALL BE ANNUALLY TESTED ANNUALLY BY A CERTIFIED THIRD PARTY COMPANY WITH THE ANNUAL TESTING RECORDS PROVIDED TO MARION COUNTY FIRE INSPECTOR.
- CONTRACTOR TO COORDINATE LOCATION OF KNOX BOXES WITH FIRE MARSHAL PRIOR TO E.O.
- BUILDING SHALL COMPLY WITH THE IN BUILDING PUBLIC SAFETY MINIMUM RADIO SIGNAL STRENGTH REQUIREMENTS. THE LOCATION WILL NEED TO HAVE AN INSPECTION FROM TO TEST THE STRENGTH OF THE SIGNAL AND IF DEEMED NECESSARY ADD EQUIPMENT WHICH ALLOWS THE BUILDING TO MEET THE MINIMUM POLICES. THE BUILDING MUST HAVE A PASSING RADIO TEST PRIOR TO CALLING FOR THE FINAL FIRE INSPECTION OF THE BUILDING. ANY INSTALLATION OF EQUIPMENT MUST BE DONE UNDER A PERMIT AND BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL.

CONCURRENCY DEFERRAL NOTE:

THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RECEIVED ANY PUBLIC HEARING NOTICE TO BE HELD PRIOR TO THE PROCEEDING. THE PROJECT IS SUBJECT TO DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROJECT HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

OWNER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM A SUCCESSFUL, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

MR. MARCUS BOONE, CEO
FARM CREDIT OF FLORIDA
11903 SOUTHERN BOULEVARD #200
WEST PALM BEACH, FL 33411
(561) 955-3066

DATE



48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-432-4770
IT'S THE LAW IN FLORIDA

IMPORTANT!!

PRIOR TO CONSTRUCTION, CONTRACTOR IS TO LOCATE ALL UTILITIES, INCLUDING 10FT-DEPT. TO VERIFY LOCATION AND INVERTS AND CONTACT PROJECT ENGINEER WITH LOCATION INFORMATION. IT MAY BE NECESSARY TO REMOVAL, MODIFY, AND/OR RELOCATE EXISTING UTILITY SYSTEMS TO CONTINUE PROVIDING SERVICE TO EXISTING BUILDING AND FACILITIES. COORDINATION OF ANY TEMPORARY SERVICE INTERRUPTIONS TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

IMPERATIVE:

IT IS THE SURVEYOR'S AND CONTRACTOR'S RESPONSIBILITY TO HAVE THE MOST CURRENT PLAN PRIOR TO AND DURING CONSTRUCTION.

INDEX OF SHEETS:

SHEET	DESCRIPTION
C1	MAJOR SITE PLAN - COVER
C2	MAJOR SITE PLAN - F.D.O.T.
C3	MAJOR SITE PLAN - LANDSCAPE/UTILITY
C4	MAJOR SITE PLAN - GRADING/DRAINAGE
C5	MAJOR SITE PLAN - S.W.F.P.A.
C6	MAJOR SITE PLAN - DETAILS
TE-1	TREE REMOVAL PLAN (BY MICHAEL PAPE AND ASSOCIATES, P.A.)
L1	LANDSCAPE PLAN (BY MICHAEL PAPE AND ASSOCIATES, P.A.)
IR-1	IRRIGATION PLAN (BY MICHAEL PAPE AND ASSOCIATES, P.A.)
UTS-1	PHOTOMETRICS PLAN (BY MICHAEL PAPE AND ASSOCIATES, P.A.)
S1	BOUNDARY & TOPOGRAPHIC SURVEY (BY R.M. BARNHALL, INC.)

DESCRIPTION:

PER WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 4669, PAGE 652 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

COMMENCEMENT AT THE SE CORNER OF THE NE 1/4 OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, THENCE S.89°49'24"W, 644.92 FEET; THENCE N.03°16'00"E, 38.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE NORTHEASTLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 27; THENCE ALONG AND WITH SAID RIGHT-OF-WAY LINE, N.62°29'45"W, 376.00 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, N.02°17'50"W, 413.27 FEET; THENCE N.85°41'12"E, 539.30 FEET; THENCE S.07°10'00"W, 591.45 FEET TO THE POINT OF BEGINNING, EXCEPT ADDITIONAL RIGHT-OF-WAY AS PER O.A. BOOK 1018, PAGE 345, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

SURVEY NOTICE:

SEE SEPARATE SURVEY BY R.M. BARNHALL, INC. FOR BEARINGS & DISTANCES, MONUMENTATION, AND STATE PLANE COORDINATES.

GENERAL STATEMENT:

THE CHARACTER AND INTENDED USE OF THESE PLANS IS FOR THE CONSTRUCTION OF A BUILDING ADDITION TOGETHER WITH ALL REQUIRED IMPROVEMENTS SHOWN HEREON.

SITE DATA:

PINCEL ID# :21585-001-00
ZONING :B-1
FUTURE LAND USE :COMMERCIAL
PROPOSED USE :FINANCIAL OFFICE
LAND OWNER/APPLICANT/DEVELOPER :MR. MARCUS BOONE, CEO
FARM CREDIT OF FLORIDA
11903 SOUTHERN BOULEVARD #200
WEST PALM BEACH, FL 33411
(561) 955-3066
SITE LOCATION :5075 NW BLITCHTON RD, OCALA, FL 34482
LOT WIDTH :VARIES
SETBACKS :FRONT= 40' SIDE= 10' REAR= 5'
SITE/PROJECT AREA :1,169,224 S.F. (2.69 ACRES)
EXISTING IMPERVIOUS AREA :1,154,644 S.F. (26.28)
PROPOSED BUILDING AREA :2,147 S.F. (0.10)
PROPOSED TOTAL IMPERVIOUS AREA :1,225,430 S.F. (28.10)
PROPOSED OPEN AREA :1,143,794 S.F. (26.10)
(INCLUDING U.P.A.)

PARKING CALCULATIONS:

PARKING REQUIRED :16,316 S.F. OFFICE @ 2.5 SPACE / 1,000 S.F.= 616 SPACES
PROPOSED STANDARD PARKING SPACES := 26 SPACES
PROPOSED CONCRETE HANDICAP SPACES := 2 SPACES
TOTAL = 26 SPACES

TRAFFIC IMPACT STATEMENT:

BASED ON ITE TRIP GENERATION MANUAL, 11th EDITION

ESTIMATED PROPOSED TRAFFIC:

BASED ON A.S.D. S.F. OF SMALL OFFICE BUILDING (CODE 713)

TRIPS PER DAY	ON PEAK HOUR
CODE 712	91
TOTAL	91
ENTERING	8
EXITING	12

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE PREPARED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED, AND FURTHERMORE THAT THESE PLANS MEET THE APPLICABLE REQUIREMENTS OF THE S.W.F.P.A. TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVIS L. DINKINS, P.E.
FL LICENSE NO. 60058

DATE

IF SOLELY SIGNED AND SEALED BY THE ENGINEER, THIS PLAN IS VALID FOR THE STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 60058. THIS PLAN HAS BEEN SOLELY SIGNED AND SEALED BY DAVID L. DINKINS ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

2	PER COUNTY & S.W.F.M.D. REVIEW	07-10-24	
1	PERMITTING ISSUE	04-05-24	
NO	REVISION	DATE	
DESIGN:	D.D./J.S.	DRAW:	S.D.U.
CHECK:	D.L.D.		

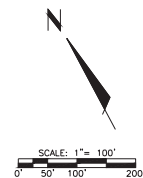
DAVIS DINKINS
ENGINEERING, P.A.
CERTIFICATE OF AUTHORIZATION #28150

125 NE 1st AVENUE
SUITE 2
OCALA, FL 34470
PHONE: (352) 854-5961

IMPORTANT NOTE:
PRIOR TO CONSTRUCTION IN THE
R/W, THE FINAL PLANS AND PERMIT
MUST BE APPROVED BY F.D.O.T.



48 HOURS BEFORE YOU DIG
1-800-432-4770
IT'S THE LAW IN FLORIDA



125 NE 1st AVENUE
SUITE 200
OCALA, FL 34471
PHONE: (352) 854-5961

**DAVIS DANKINS
ENGINEERING, P.A.**
CERTIFICATE OF AUTHORIZATION #28150

2	PER COUNTY & HIGHWAY REVIEW	07-10-24	DATE
1	PERMITTING ISSUE	04-05-24	DATE
NO	REVISION		
NO	DESIGN D.D./J.S. DRAMP. S.C.U.		CHECK: D.L.D.

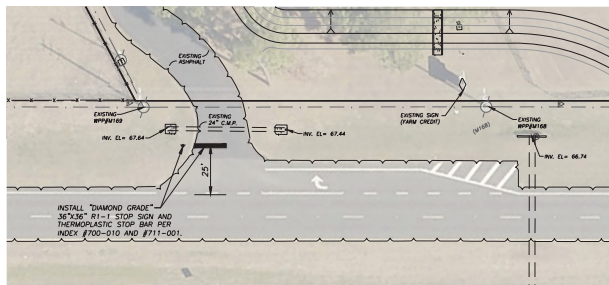
MAJOR SITE PLAN - F.D.O.T.

FARM CREDIT OF FLORIDA

MARION COUNTY, FLORIDA

F.D.O.T. GENERAL NOTES:

- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR UTILITY LOCATION PRIOR TO CONSTRUCTION.
- ALL F.D.O.T. RIGHTS-OF-WAYS SHALL BE RESTORED, AT A MINIMUM, TO THE CONDITION WHICH EXISTED PRIOR TO ANY WORK, IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, EROSION AND STORMWATER CONTROLS, IF REQUIRED, SHALL BE INSTALLED BEFORE ANY ROAD WORK, AND IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO THE ROAD OR TO THE UTILITY LOCATIONS. THE F.D.O.T. AFTER PROVIDING NOTICE AND AN OPPORTUNITY FOR THE PERMITTEE TO RESTORE THE FACILITY, WILL REPAIR THE RIGHTS-OF-WAY AND SUBMIT AN AFFIDAVIT OF COST TO THE PERMITTEE FOR REIMBURSEMENT OR TO THE STATE'S ATTORNEY OFFICE FOR COLLECTION.
- CHAPTER 354, FLORIDA STATUTES, REQUIRES THE PERMITTEE, PRIOR TO ANY EXCAVATION OR DEMOLITION ACTIVITIES, TO NOTIFY THE ONE-CALL SYSTEM, (ALSO CALLED SUNSHINE STATE ONE-CALL). THIS IS TO BE DONE NOT LESS THAN 5 WORK MORE THAN 5 BUSINESS DAYS BEFORE BEGINNING. THE PHONE NUMBER FOR SUNSHINE STATE ONE-CALL, INC. IS 1-800-432-4770.
- ALL DISTURBED AREAS WITHIN F.D.O.T. RIGHT-OF-WAY MUST BE RESTORED WITH ADJACENT BROWN SOIL, WEED FREE.
- AT SUCH LOCATIONS WHERE F.D.O.T. SIGNS, REFLECTORS, OR OTHER STRUCTURES WILL INTERFERE WITH PROPOSED CONSTRUCTION, THE PERMITTEE WILL NOTIFY THE LOCAL MAINTENANCE OR RESIDENT ENGINEER 48 HOURS IN ADVANCE OF STARTING WORK. ALL SIGNS AND REFLECTORS THAT REQUIRE RELOCATION OR REPLACEMENT AS A RESULT OF PERMITTEE'S WORK WILL BE RELOCATED OR REPLACED BY THE PERMITTEE.
- CALL SUNSHINE UTILITIES FOR LOCATION SERVICE PRIOR TO CONSTRUCTION (800-432-4770).
- TRAFFIC CONTROL THROUGH WORK ZONE SHALL BE AS SHOWN IN F.D.O.T. STANDARD PLANS INDEX #102. THERE SHALL BE NO LANE CLOSURES FROM - PM TO - PM EASTBOUND, AND NO LANE CLOSURES FROM - AM TO - AM WESTBOUND.
- ALL STRIPING WITHIN F.D.O.T. RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD PLANS INDEX #711 WITH LEAD FREE THERMOPLASTIC.
- ALL SIGNAGE IS TO BE NEW UNLESS STATED OTHERWISE. SIGNS AND SIGN POSTS TO BE IN ACCORDANCE WITH F.D.O.T. STANDARD PLANS INDEX #706.
- PAVED REFLECTIVE PAVEMENT MARKERS ARE REQUIRED IN ACCORDANCE WITH F.D.O.T. STANDARD PLANS INDEX #706, BUT ARE NOT SHOWN FOR CLARITY PURPOSES.
- CONFLICTING STRIPING TO BE REMOVED BY HYDROBLASTING.
- ALL CONCRETE WITHIN FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY THAT IS TO BE REMOVED WILL NEED TO BE SAWCUT AND REMOVED FROM THE CLOSEST CONTROL JOINT.
- ANY NECESSARY EROSION CONTROL SHALL BE PER THE S.W.P.P.P.
- ALL CONSTRUCTION WITHIN THE DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST DESIGN STANDARDS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE UTILITY ACCOMMODATION MANUAL (UAM).
- ALL MATERIALS INSTALLED WITHIN THE F.D.O.T. RIGHT-OF-WAY SHALL BE LIMITED TO THOSE ON THE F.D.O.T. QUALIFIED PRODUCTS LIST OR APPROVED PRODUCT LIST OF TRAFFIC CONTROL SIGNALS AND DEVICES.
- THE POSTED SPEED LIMIT IS 45 MPH.
- ALL CONCRETE WITHIN F.D.O.T. RIGHT-OF-WAY SHALL BE AN APPROVED F.D.O.T. MIX DESIGN OF 3,000 PSI MINIMUM.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT A MINIMUM OF TWO (2) BUSINESS DAYS PRIOR TO ANY LANE CLOSURES OR BEGINNING ANY CONSTRUCTION WITHIN THE F.D.O.T. RIGHT-OF-WAY.
- CONTACT CITY OF OCALA SIGNAL DEPARTMENT 48 HOURS PRIOR TO WORKING WITHIN 500 FEET OF THE SIGNALIZED INTERSECTIONS, AT 352-516-6707.
- FUTURE PHASE(S) OF CONSTRUCTION MAY REQUIRE MODIFICATION OF F.D.O.T. PERMIT TOGETHER WITH RECORDING OF THE CROSS-ACCESS EASEMENT OF REQUIRED, AND MAY ALSO REQUIRE A TRIP DISTRIBUTION STUDY INCLUDING "U"-TURN MOVEMENTS.



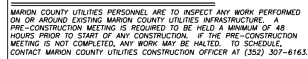
GRADING DETAIL
SCALE: 1" = 30'

NOT VALID UNLESS EITHER DIGITALLY SIGNED AND SEALED, OR PHYSICALLY SIGNED, DATED AND SEALED WITH PROFESSIONAL ENGINEER'S SEAL BELOW:

DAVIS L. DANKINS, P.E.
FL LICENSE NO. 60008
DATE: 07-10-24
I, DAVID L. DANKINS, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 60008, HAVE REVIEWED THE PROJECT AND HAVE BEEN DIGITALLY SIGNED AND SEALED HEREON. I, DAVID L. DANKINS, ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THEY ARE SIGNED AND SEALED WITH THE SIGNATURE OF THE PROFESSIONAL ENGINEER.

SHEET **C2** OF 6



SHEET C3 OF 6

MARION COUNTY, FLORIDA

DRAINAGE CALCULATIONS:

RAINFALL (100-YEAR, 24-HOUR): TYPE "X"
HYDROLOGIC SOIL TYPE: TYPE "X"

WATERSHED CALCULATIONS:

PRE-DEV.	POST-DEV.	CN
WATERSHED AREA (A) 132.288	132.288	100
WATERSHED AREA (A) 8,633	18,420	100
AREA IMPERVIOUS (A) 3,916	3,916	100
OPEN SPACE TYPE "X" (A) 128,685	174,962	30.0
WATERSHED CN 42.71	46.88	
VOLUME (CU) 36,422	46,504	
POST MINUS PRE (CU) 10,082		

WATER QUALITY CALCULATION:

0.5" OF RUNOFF FROM WATERSHED: 5,921 C.F.
TREATMENT VOLUME REQUIRED: 5,921 C.F.

POST-CONDITION WATERSHED STORAGE:

ELEV.	AREA (SQ)	VOLUME (CU)
75.00	15,048	12,985
69.00	11,026	18,107
65.00	7,214	5,267
67.00	5,916	

D.R.A. VOLUME (C.F.) = 27,619 **

DRAINAGE NARRATIVE:

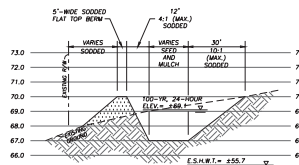
FARM CREDIT OF FLORIDA IS A +/- 4 ACRE SITE LOCATED IN MARION COUNTY, FLORIDA. THE EXISTING SITE IS DEVELOPED AND HEAVILY WOODED. THE SITE GENERALLY SLOPES TOWARD THE EXISTING R/W. THE PROPOSED DEVELOPMENT WILL CONSIST OF A BUILDING EXPANSION, SODIUM, AND PAVED PARKING. PROPOSED IMPROVEMENTS INCLUDING TO +/- 5.22 ACRES OF NEW IMPERVIOUS AREA, STORMWATER FROM THE PROPOSED DEVELOPMENT WILL BE DIRECTED TO AN EXISTING DRAINAGE RETENTION AREA (DRA). GENERALLY BY SHEET FLOW AND EXISTING SITE DRAINAGE. THE STORMWATER FACILITY IS SIZED TO ACCOMMODATE THE POST-LESS THE PRE-CONDITION RUNOFF FROM THE 100-YEAR, 24-HOUR STORM EVENT. THE POST-CONDITION RUNOFF RATE AND VOLUME IS LESS THAN THE PRE-CONDITION RATE AND VOLUME. STORMWATER QUALITY IS PROVIDED IN THE PROPOSED DATA.

IMPORTANT!!

PRIOR TO CONSTRUCTION, CONTRACTOR IS TO LOCATE ALL UTILITIES, INCLUDING SPT-DOES TO VERIFY LOCATION AND INVERTS AND CONTACT PROJECT ENGINEER WITH LOCATION INFORMATION. IT MAY BE NECESSARY TO REMOVE, MODIFY, AND/OR RELOCATE EXISTING UTILITY SYSTEMS TO CONTINUE PROVIDING SERVICE TO EXISTING BUILDING AND FACILITIES. COORDINATION OF ANY TEMPORARY SERVICE INTERRUPTIONS TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

NOTES TO PAVING/SITE CONTRACTOR:

- ADHERE TO GRADES SHOWN FOR HANDICAP SPACES, WHICH SHOULD NOT EXCEED 1:50 OR 2:08 SLOPE IN ANY DIRECTION. SEE GRADES FOR ELEVATIONS.
- ADHERE TO GRADES SHOWN FOR CONCRETE SIDEWALKS WHICH SHOULD NOT EXCEED OR 2:08 (1:50) CROSS SLOPE, OR 5:08 (1:20) RUNNING SLOPE.
- ADHERE TO GRADES SHOWN FOR CONCRETE RAMPS WHICH SHOULD NOT EXCEED OR 2:08 (1:50) CROSS SLOPE, OR 8:33% (1:12) RUNNING SLOPE.
- ADHERE TO GRADES SHOWN FOR CONCRETE LANDINGS WHICH SHOULD NOT EXCEED OR 2:08 (1:50) SLOPE IN ANY DIRECTION.



CROSS SECTION 'A'-A'

NOT TO SCALE

D.R.A. CONSTRUCTION NOTES:

THE FOLLOWING CONSTRUCTION PROCEDURES ARE ADVISABLE TO AVOID POTENTIAL IMPACTS TO THE RETENTION AREA. REFER TO CONSTRUCTION PRACTICES. CONTRACTOR TO REFER TO APPLICABLE WATER MANAGEMENT DISTRICT PERMIT INFORMATION MANUAL FOR ADDITIONAL INFORMATION.

- INITIALLY EXCAVATE AND ROUGH GRADE THE RETENTION BASIN WITHIN 12 INCHES OF THE BASIN BOTTOM AND SOIL SLOPES. (DISCOUNT) DO NOT OVER-EXCAVATE ANY PORTION OF THE RETENTION BASIN.
- AFTER THE AREA CONTRIBUTING TO THE BASIN HAS BEEN STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHOULD BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL SHOULD BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ANY ACCUMULATED SLETS, CLIPS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL ARE REMOVED. THE EXCAVATED MATERIAL SHOULD BE UTILIZED OR DISPOSED OF.
- THE ENTIRE BASIN BOTTOM SHOULD BE DEEP RAKED AND LOOSENED FOR OPTIMAL INFILTRATION.
- THE FINAL STABILIZATION OF THE BASIN SHOULD BE DONE PER THE CONSTRUCTION PLANS.

SOIL TEST RESULTS: P-X

TESTED BY: GEOTECH, INC.
TEST DATE: JANUARY 24, 2024

TEST HOLE P-1 (GROUND EL. = ±68.9)

0" - 16" BROWN FINE SAND (SP)
16" - 24" YELLOWISH BROWN CLAYEY SAND (SC)
24" - 240" YELLOW BROWN AND GREY CLAYEY SAND (SC)

FIELD HORIZONTAL PERMEABILITY @ APPROX. 5' = 28.6 FEET/DAY
FIELD VERTICAL PERMEABILITY @ APPROX. 5' = 21.5 FEET/DAY
ESTIMATED SEASONAL HIGH WATER TABLE @ APPROX. 17.0 FEET
CONFINING LAYER GREATER THAN DEPTH DRILLED

TEST HOLE P-2 (GROUND EL. = ±69.3)

0" - 144" BROWN FINE SAND (SP)
144" - 162" YELLOWISH BROWN AND GREY CLAYEY SAND (SC)
162" - 240" GREY AND YELLOWISH BROWN SLIGHTLY SANDY CLAY (CH)

FIELD HORIZONTAL PERMEABILITY @ APPROX. 5' = 80.8 FEET/DAY
FIELD VERTICAL PERMEABILITY @ APPROX. 5' = 22.9 FEET/DAY
ESTIMATED SEASONAL HIGH WATER TABLE @ APPROX. 12.0 FEET
CONFINING LAYER @ APPROX. 13.5 FEET

TEST HOLE P-3 (GROUND EL. = ±69.0)

0" - 108" BROWN FINE SAND (SP)
108" - 126" YELLOWISH BROWN CLAYEY SAND (SC)
126" - 186" YELLOWISH BROWN AND GREY CLAYEY SAND (SC)
186" - 240" GREY AND YELLOWISH BROWN SLIGHTLY SANDY CLAY (CH)

FIELD HORIZONTAL PERMEABILITY @ APPROX. 5' = 11.9 FEET/DAY
FIELD VERTICAL PERMEABILITY @ APPROX. 5' = 20.1 FEET/DAY
ESTIMATED SEASONAL HIGH WATER TABLE @ APPROX. 13.0 FEET
CONFINING LAYER GREATER THAN DEPTH DRILLED

TEST HOLE P-4 (GROUND EL. = ±69.0)

0" - 132" BROWN FINE SAND (SP)
132" - 156" YELLOWISH BROWN CLAYEY SAND (SC)
156" - 240" GREY AND YELLOWISH BROWN SLIGHTLY SANDY CLAY (CH)

FIELD HORIZONTAL PERMEABILITY @ APPROX. 5' = 11.9 FEET/DAY
FIELD VERTICAL PERMEABILITY @ APPROX. 5' = 20.1 FEET/DAY
ESTIMATED SEASONAL HIGH WATER TABLE @ APPROX. 13.0 FEET
CONFINING LAYER GREATER THAN DEPTH DRILLED

TEST HOLE R-1 (GROUND EL. = ±72.4)

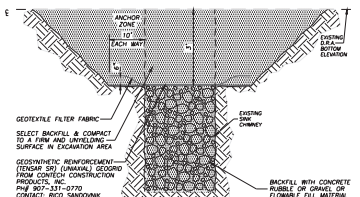
0" - 72" BROWN FINE SAND (A-3)

TEST HOLE R-2 (GROUND EL. = ±71.5)

0" - 72" BROWN FINE SAND (A-3)

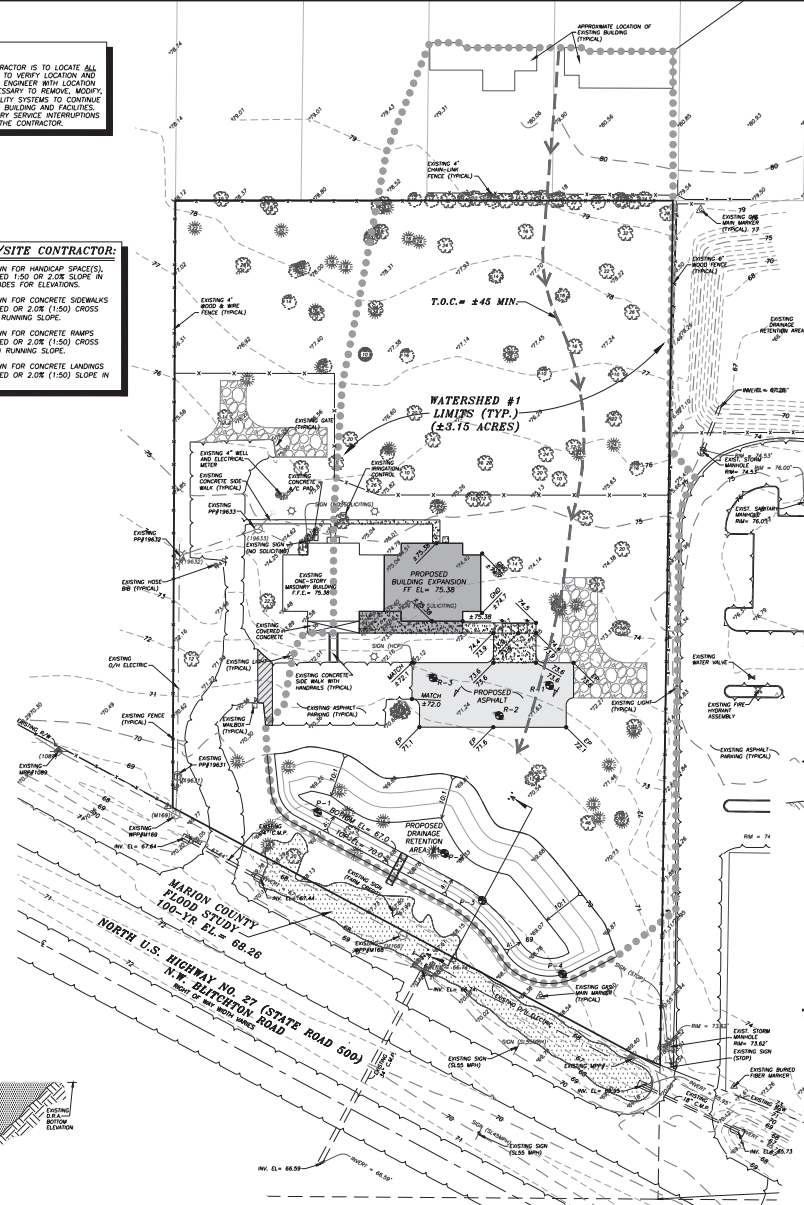
TEST HOLE R-3 (GROUND EL. = ±71.9)

0" - 72" BROWN FINE SAND (A-3)



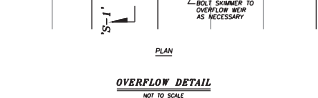
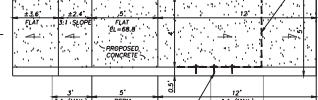
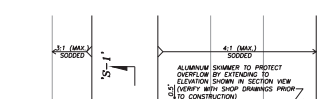
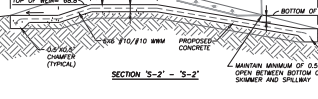
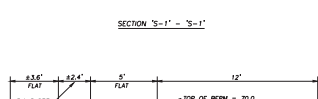
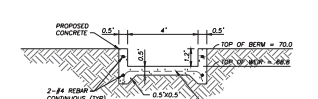
TYPICAL SINK CHIMNEY REPAIR DETAIL

PER DEVO SEERHMAN, PH.D., P.E.



GRADING LEGEND:

- PROPOSED RIDGE
- PROPOSED SWALE
- EXISTING ELEVATIONS (SPOT SHOTS)
- EXISTING ELEVATIONS (AS APPLICABLE)
- POST-CONDITION FLOW ARROW
- EXISTING CONTOURS (AS LABELED)
- PROPOSED CONTOURS (AS LABELED)
- SLOPE LABEL



OVERFLOW DETAIL

NOT TO SCALE

MAJOR SITE PLAN - GRADING/DRAINAGE

FARM CREDIT OF FLORIDA

MARION COUNTY, FLORIDA

125 NE. 1st Avenue
Gainesville, FL 32601
PHONE: (352) 854-5961
CERTIFICATE OF AUTHORIZATION #28190

NO.	REVISION	DATE	CHECKED
2	PER COUNTY & SWFWMD REVIEW	07-10-24	
1	PERMITTING ISSUE	04-09-24	
1	DESIGN	03-22-24	

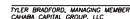
NOT VALID UNLESS EITHER DIGITALLY SIGNED AND SEALED OR ORIGINALLY SIGNED, SEALED AND SEALED WITH PROFESSIONAL ENGINEER'S SEAL BELOW:

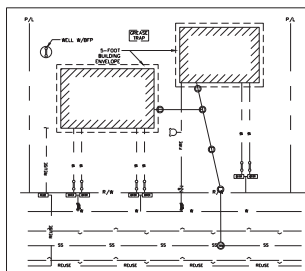
DAVID L. DANNING, P.E.
FL LICENSE NO. 100508

DATE: 07-10-24
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DAVID L. DANNING ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED ON ANY ELECTIONS COPIES.

SHEET C4 OF 6





NOTES:

1. ALL LOCATIONS AND DEPT. APPROVALS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
2. ALL LOCATIONS AND DEPT. APPROVALS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
3. ALL LOCATIONS AND DEPT. APPROVALS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
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8. ALL LOCATIONS AND DEPT. APPROVALS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
9. ALL LOCATIONS AND DEPT. APPROVALS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
10. ALL LOCATIONS AND DEPT. APPROVALS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.

MAINTENANCE / INSPECTION DATA

CITY (NAME) / BUILDING DEPT. INSPECTS	DATE	REMARKS

CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION

WATER, SEWER, AND SEWER SYSTEM CONSTRUCTION, INSPECTION, AND CONFORMANCE NOTES.

UNDERGROUND WATER, SEWER, AND SEWER SYSTEMS: CONSTRUCTION OF THESE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

SEWER SYSTEM:

CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, TOWNSHIP, WATER, AND SEWER SYSTEMS.

WATER SYSTEM:

CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, TOWNSHIP, WATER, AND SEWER SYSTEMS.

SEWER SYSTEM:

CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, TOWNSHIP, WATER, AND SEWER SYSTEMS.

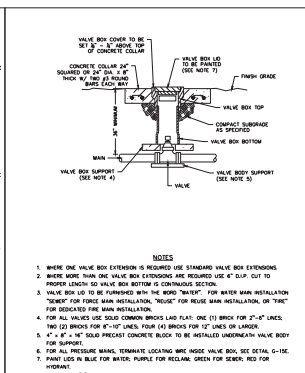
WATER SYSTEM:

CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, TOWNSHIP, WATER, AND SEWER SYSTEMS.

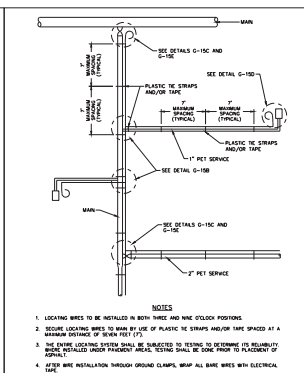
SEWER SYSTEM:

CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, TOWNSHIP, WATER, AND SEWER SYSTEMS.

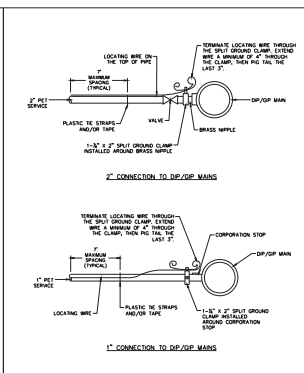
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



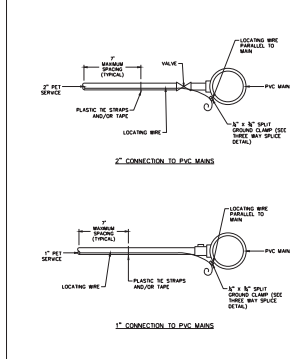
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



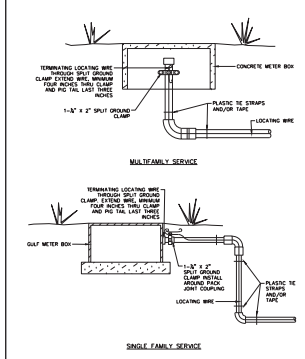
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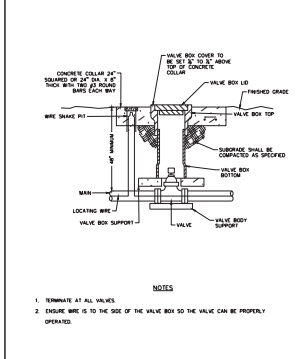
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



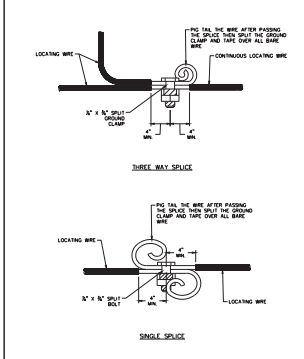
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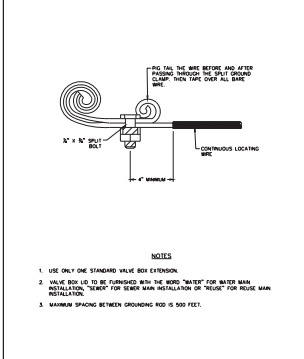
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



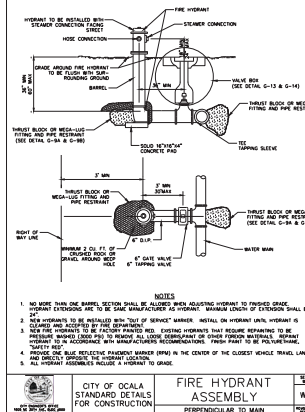
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



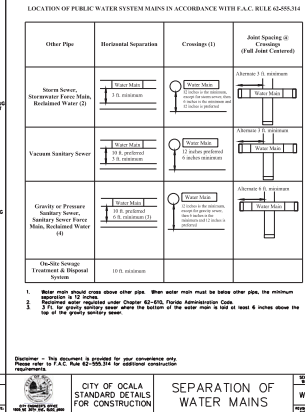
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



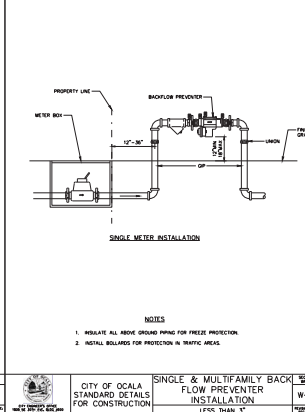
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



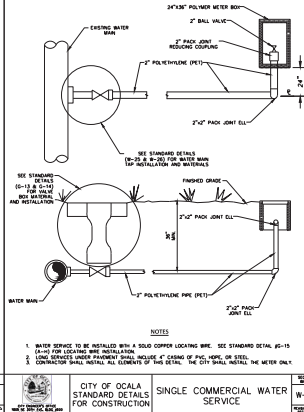
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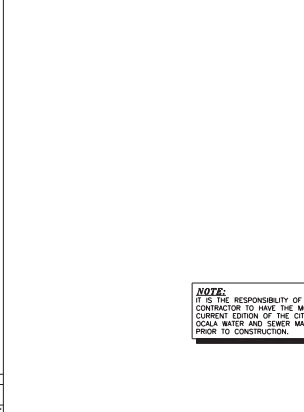
CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION



CITY OF OCALA STANDARD DETAILS FOR CONSTRUCTION

125 NE. 1st Avenue
Ocala, FL 34703
PHONE: (352) 854-5961
CERTIFICATE OF AUTHORIZATION #28150

DATE 07-10-24
REVISION 04-09-24
NO. 1
DESIGN D.B./J.S. (DRAWN: S.O.U.)
CHECK D.L.D.

MAJOR SITE PLAN - DETAILS
FARM CREDIT OF FLORIDA
MARION COUNTY, FLORIDA

NOT VALID UNLESS EITHER DIGITALLY SIGNED AND SEALED, OR PHYSICALLY SIGNED AND SEALED WITH PROFESSIONAL ENGINEER'S SEAL, BELOW:

DAVID L. DAWSON, P.E.
FL LICENSE NO. 96058

DATE: 07-10-24
I HEREBY CERTIFY THAT THE DESIGN AND CONSTRUCTION OF THE PROJECT HAS BEEN REVIEWED AND APPROVED BY ME, A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF FLORIDA, AND THAT I AM A MEMBER OF THE FLORIDA SOCIETY OF PROFESSIONAL ENGINEERS.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED, AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

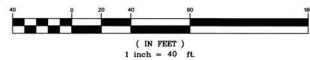
SHEET C6 OF 6

SECTION 4, TOWNSHIP 15 SOUTH, RANGE 21 EAST MARION COUNTY, FLORIDA

- LEGEND** UNLESS OTHERWISE NOTED
- CENTERLINE OF RIGHT OF WAY
 - CHORD BEARING
 - OFFICIAL RECORDS OF MARION COUNTY
 - REGULAR PARKING SPACE COUNT
 - CORRESPONDING SCHEDULE B-2 ITEM
 - FOUND 5/8" IRON ROD & CAP - F.D.O.T.
 - SET 5/8" IRON ROD & CAP - LB 5091
 - FOUND 4" x 4" CONCRETE MONUMENT - NO I.D.
 - SET 4" x 4" CONCRETE MONUMENT - LB 5091
 - FOUND 8" OCTAGONAL CONCRETE MONUMENT
 - FOUND NAIL & DISC
 - SET NAIL & DISC - LB 5091
 - FOUND 1" IRON PIPE
 - FOUND RAILROAD SPIKE
 - FIELD MEASUREMENT
 - DEED DIMENSION
 - CALCULATED DIMENSION
 - DRAINAGE MANHOLE
 - STORM DRAINAGE GRATE
 - CURB INLET GRATE
 - YARD DRAIN
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - SEWER VALVE
 - GREASE MANHOLE
 - WOOD POWER POLE
 - METAL LIGHT POLE
 - CONCRETE POWER POLE
 - ELECTRIC TRANSFORMER
 - ELECTRIC BOX
 - ELECTRIC METER
 - CITY ANCHOR
 - SPOT/GROUND LIGHT
 - TELEPHONE VAULT
 - TELEPHONE BOX
 - TELEPHONE CABLE MARKER
 - TELEPHONE MANHOLE
 - CABLE BOX
 - SATELLITE DISH
 - FIBER OPTIC CABLE MARKER
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - BACKFLOW PREVENTOR
 - IRRIGATION CONTROL VALVE
 - HOSE BIBB
 - WELL
 - MONITORING WELL
 - FIRE DEPARTMENT CONNECTION
 - GAS METER
 - GAS VALVE
 - GAS LINE MARKER
 - AIR CONDITIONER PAD
 - METAL REFLECTOR POST
 - BOLLARD
 - KEY PAD
 - MAILBOX
 - SIGN
 - TRAFFIC SIGNAL CONTROL BOX
 - CONCRETE TRAFFIC SIGNAL BOX
 - TRAFFIC SIGNALIZATION MAST ARM
 - FLAG POLE
 - POLYVINYL CHLORIDE
 - REINFORCED CONCRETE PIPE
 - CORRUGATED METAL PIPE
 - HIGH DENSITY POLYETHYLENE
 - AERIAL ELECTRIC
 - OVERHEAD TRAFFIC SIGNALIZATION
 - UNDERGROUND TELEPHONE LINE
 - UNDERGROUND FIBER OPTICS
 - UNDERGROUND WATER LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND SANITARY SEWER LINE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND FORCEMAIN
 - FINISH FLOOR ELEVATION
 - SPOT ELEVATION
 - SPOT ELEVATION - SIDE OF CURB
 - BENCHMARK/CONTROL POINT
 - BROKEN LINE; NOT DRAWN TO SCALE
 - DENOTES ASPHALT

- TREE LEGEND**
(SIZE DENOTED INSIDE SYMBOL)
- CAMPHOR
 - CEDAR
 - CHERRY
 - CHINA BERRY
 - GRAPE MYRTLE
 - CYPRESS
 - DOGWOOD
 - ELM
 - HICKORY
 - HOLLY
 - MAGNOLIA
 - MAPLE
 - MISC.
 - OAK
 - PALM
 - PECAN
 - PINE
 - SWEETGUM

GRAPHIC SCALE



COPYRIGHT © SEPTEMBER, 2022

DESCRIPTION:

PER WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 4669, PAGE 652 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA:

COMMENCE AT THE SE CORNER OF THE NE 1/4 OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE S.89°49'24"W. 644.92 FEET; THENCE N.00°16'00"E. 89.95 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 27; THENCE ALONG AND WITH SAID RIGHT-OF-WAY LINE, N.62°29'45"W. 376.88 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, N.00°17'50"W. 413.27 FEET; THENCE N.89°24'12"E. 339.20 FEET; THENCE S.00°16'00"W. 591.45 FEET TO THE POINT OF BEGINNING, EXCEPT ADDITIONAL RIGHT-OF-WAY AS PER O.R. BOOK 1018, PAGE 340, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

NOTES:

- DATE OF FIELD SURVEY: JUNE 29, 2022.
- SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
- UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED.
- PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
- BEARINGS AND STATE PLANE COORDINATES DEPICTED HEREON ARE GRID, WEST FLORIDA ZONE, NAD-83 (CORSS96) EPOCH=2002.0000, BASED ON TRIMBLE VIRTUAL REFERENCE STATION NETWORK AND REFERENCED TO CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0009.
- VERTICAL DATUM BASED ON CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0009 WITH AN ELEVATION OF 70.98' NAVD-88.
- ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
- ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND THAT THE SURVEY IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE.

9/8/2022
SIGNATURE DATE

TRAVIS P. BARRINEAU, F.S.M. - LS 6897
OF R.M. BARRINEAU & ASSOCIATES, INC.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL, RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

BOUNDARY & TOPOGRAPHIC
SURVEY FOR:

FLORIDA FEDERAL LANDBANK,
FLCA

REFERENCES:
F.B. 652, PGS. 17-18

J.O.# 22117

DWG.# 22117

SHT 1 OF 1

FILE: 54-1715-421

**R.M. BARRINEAU
& ASSOCIATES, INC.**
PROFESSIONAL SURVEYORS & MAPPERS
FLORIDA LICENSE NO. 1715-421
PHONE: 352.281.1111 • FAX: 352.281.1112
WWW.RMBARRINEAU.COM
REGISTERED AS BARRINEAU & ASSOCIATES, INC. (CORPORATE) - CERTIFICATE OF AUTHORIZATION NO. 1806
TRAVIS P. BARRINEAU, F.S.M. - LS 6897

SCALE: 1" = 40'

CHECKED: T.P.B.
APPROVED: T.P.B.
REVISED: T.P.B.
DRAWN: S.W.M.

NO. REVISIONS BY DATE



Marion County

Development Review Committee

Agenda Item

File No.: 2024-16106

Agenda Date: 8/5/2024

Agenda No.: 6.3.

SUBJECT:

Nextran Ocala - Standalone Waiver Request to Access Management for Previously Approve Major Site Plan

7398 NW 44th Ave Ocala

Project #2021070099 #31795

Parcel #13160-001-00, 13160-002-00, 13166-003-00 & 13166-001-00

Kimley-Horn & Associates

The Major Site Plan was previously approved on 5/22/23 subject to a condition a final hold be placed relative to the easement.

LDC 6.11.4.C(2) - Access management

CODE states Access to adjacent lands. Access to adjacent platted lands shall be provided at selected points, as approved by the County, by extending an existing or proposed street to the subdivision boundary.

APPLICANT requests to reconsider the requirement to provide public ingress/egress access easement for NW 73rd Place and remove all inspection/certificate of occupancy holds. See attached project information letter.

August 2, 2024

PROJECT NAME: NEXTRAN OCALA

PROJECT NUMBER: 2021070099

APPLICATION: DRC WAIVER REQUEST #31795

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: LDC 6.11.4.C(2) - Access management
STATUS OF REVIEW: INFO
REMARKS: N/A

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: LDC 6.11.4.C(2) - Access management
STATUS OF REVIEW: INFO
REMARKS: DENY.

This project site is the expanded parking lot for the commercial use to the north. The driveway is being off-set from the current driveway location to NW 44th Avenue at the northeast corner of the site. Years ago, when Joe Brown obtained a commercial rezoning for the property to the west, it was noted there was a historic easement(s) for ingress/egress for the properties to the west that runs directly along the north boundary of the site – the “NW 73rd Place” show on the survey. The new driveway will be “outside” the historic easement alignment as the driveway shifts south.

The suggestion and resulting alternative condition with the LUCURR review remarks was to provide for a public ingress/egress easement over where the driveway deviates from the historic alignment to provide for owners to the west to have continued access along the revised driveway – as otherwise, in the future, this owner or a future owner could attempt to prohibit/obstruct access on the new driveway – potentially forcing the owners to the west to have to reassert their historic easement, so then we end up with the “new” driveway immediately adjoining the “old” access point because the new plan does not “terminate” the old easements – resulting in potential safety hazards, etc. as we would not be in a position to refuse/prohibit their historic access in its record location.

As the material below notes, this has been part of a “conditional approval” since the end of May 2023 – in reference to the lack of a response to the initial comments (end of Jan 2023) when this project began review in September 2022, over a year ago – and now this is an issue...

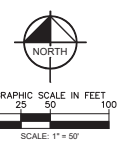
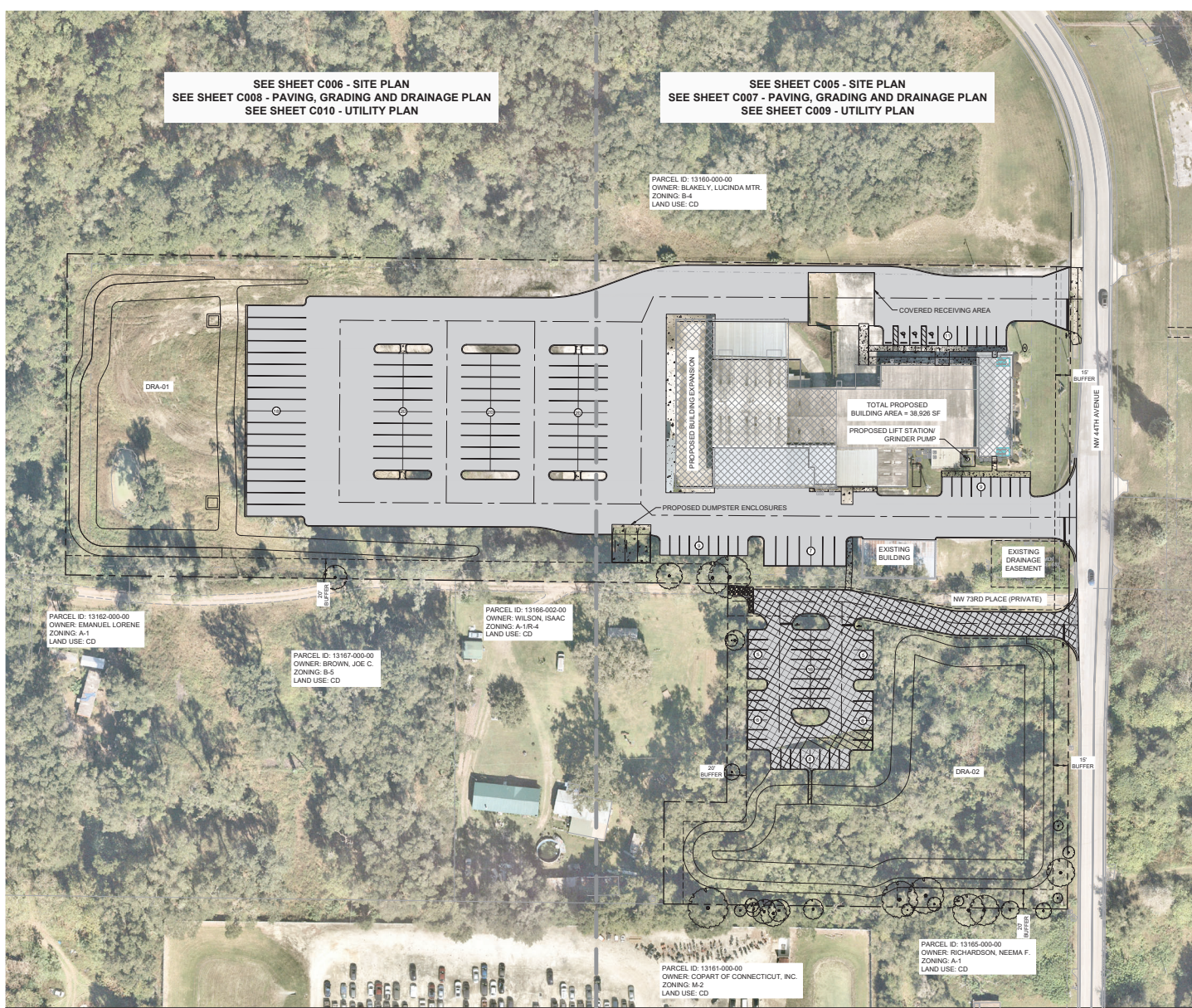
I believe this functionally comes down to the developer can’t “shut down” the historic access and eliminate the driveway without some form of documentation that shows the parties to the west still have access – either by agreeing to move it (which admittedly would be challenging I presume) or by providing an alternative public I/E easement (simple and direct).

3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: LDC 6.11.4.C(2) - Access management
STATUS OF REVIEW: INFO
REMARKS: DEFER TO OCE
ACREAGE: 10.87
FLU: CD
ZONING: B-4 & B-5

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: LDC 6.11.4.C(2) - Access management
STATUS OF REVIEW: INFO
REMARKS: APPROVED

- 5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION
REVIEW ITEM: LDC 6.11.4.C(2) - Access management
STATUS OF REVIEW: INFO
REMARKS: n/a
- 6 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: LDC 6.11.4.C(2) - Access management
STATUS OF REVIEW: INFO
REMARKS: APPROVED - 911 Management is ok with the relocation of the easement as shown on the Major Site Plan for Nextran Ocala (AR 28502). If the easement is ever relocated to another location other than proposed be aware that it could result in the road name being changed as well as all the addresses along the easement being changed.
- 7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: LDC 6.11.4.C(2) - Access management
STATUS OF REVIEW: INFO
REMARKS: N/A
- 8 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: LDC 6.11.4.C(2) - Access management
STATUS OF REVIEW: INFO
REMARKS: Defer to Traffic
- 9 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: LDC 6.11.4.C(2) - Access management
STATUS OF REVIEW: INFO
REMARKS: APPROVED - This easement is not needed for the benefit of the general public. The developer has ensured access is maintained with the design of the site. If a need does arise for an easement, it is best handled privately. The parcels immediately to the west that access through NW 73rd Place also have a second access on NW 49th Avenue that leads out to SR 326. The County Attorney's Office has reviewed this and concurs.

Printed By: Trister, Thomas Sheet: Nxt-Kha Layout: C004 MASTER SITE PLAN April 04, 2023 03:45:51pm K:\OCA_OVA\CA099002-Nextran Ocala\CA099002\004 MASTER SITE PLAN.dwg
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PAVEMENT LEGEND

- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET C011)
- HEAVY DUTY PAVEMENT (SEE DETAIL SHEET C011)
- CONCRETE PAVEMENT (SECTION PROVIDED UNDER BUILDING PLANS)
- CONCRETE SIDEWALK (SEE DETAIL SHEET C011)

SITE DATA TABLE

PARCEL IDENTIFICATION NUMBERS	13162-001-00 13162-002-00 13162-003-00 13162-004-00
TOTAL SITE BOUNDARY	10.62 ACRES
FLOOD ZONE	X-AE S.A.
FEMA PANEL	12080314E
FUTURE LAND USE	COMMERCIAL DISTRICT ZONING
BUCKET REQUIREMENT	15 FEET (TYPE C)
ABUTTING RIGHT-OF-WAY (EAST)	0 FEET
ABUTTING SAME USE (NORTH)	0 FEET
ABUTTING SAME USE (WEST)	0 FEET
ABUTTING SFR (SOUTH)	20 FEET (TYPE B)
MAXIMUM BUILDING HEIGHT	50 FEET
BUILDING SETBACKS	
FRONT	40 FEET
SIDE	10 FEET
REAR	25 FEET
PARKING REQUIREMENTS	
SERVICE STATION - 3 SPACES PER BAY AND WORK AREA	
OFFICE - 2.5 SPACES PER 1,000 SQ. FT. GFA	
BUILDING (15 BAYS, 12,000 SQ. FT. OFFICE)	
TOTAL SPACES REQUIRED	75
STANDARD SPACES (10'X20') PROVIDED	72
TOTAL IMPERVIOUS AREA PERCENTAGE	51.6 %
UNACCESSIBLE SPACES REQUIRED	3
VAN ACCESSIBLE SPACES PROVIDED	3
TRUCK SPACES (12'X30') PROVIDED	48
TRUCK SPACES (12'X60') PROVIDED	16

SURFACE DATA TABLE

TOTAL IMPERVIOUS AREA	238,156 SF
TOTAL IMPERVIOUS AREA PERCENTAGE	51.6 %
TOTAL OPEN SPACE	123,283 SF
TOTAL OPEN SPACE PERCENTAGE	28.4 %

NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND C.I.A.A.
- PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED MARCH 10, 2022, BY PRECISE LAND SURVEYING, INC.
- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% (1:50).
- MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2% (1:50).
- MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:50) IN ANY DIRECTION.

CALL 2 BUSINESS DAYS BEFORE YOU DIG IT'S THE LAW! DIAL 811

Kimley»Horn

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1700 W. 17TH STREET, SUITE 200
ORLANDO, FL 32803
WWW.KIMLEY-HORN.COM REGISTRY NO. 38106

MASTER SITE PLAN

NEXTRAN OCALA
PREPARED FOR
NEXTRAN CORPORATION
MARION COUNTY
FLORIDA

SHEET NUMBER
C004

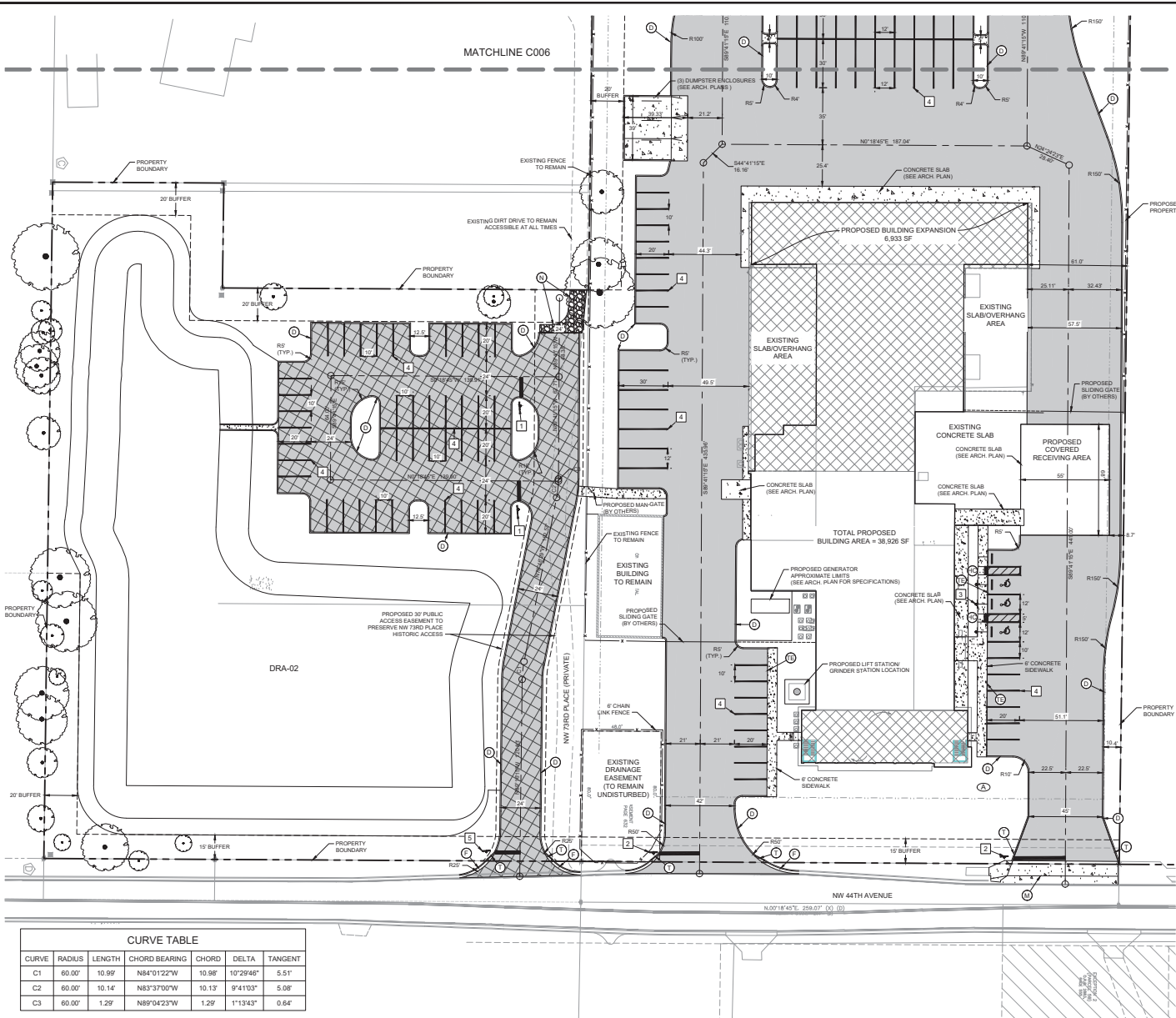
DATE
BY
REVISIONS

DESIGNED BY KHA
DRAWN BY DCC
CHECKED BY SUJ

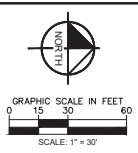
SCALE AS SHOWN
DATE APRIL 2023
PROJECT 042995002
LICENSED PROFESSIONAL STEWART L. HILL, P.E.
FLORIDA LICENSE NUMBER 79410

Printed By: Trister, Thomas Sheet: Site Plan Layout: C005 SITE PLAN April 04, 2023 04:16:44pm K:\LOCAL\CA\042999002-Nextran Ocala\CA\PlanSheet\C005 SITE PLAN.dwg

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CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	60.00'	10.99'	N84°01'22"W	10.98'	10°29'46"	5.51'
C2	60.00'	10.14'	N83°37'00"W	10.13'	9°41'03"	5.08'
C3	60.00'	1.29'	N89°04'23"W	1.29'	1°13'43"	0.64'



- PAVEMENT LEGEND**
- STANDARD DUTY PAVEMENT (SEE DETAIL SHEET C011)
 - HEAVY DUTY PAVEMENT (SEE DETAIL SHEET C011)
 - CONCRETE PAVEMENT (SECTION PROVIDED UNDER BUILDING PLANS)
 - CONCRETE SIDEWALK (SEE DETAIL SHEET C011)
- CURB LEGEND** SEE SHEET C011 FOR DETAILS
- TYPE "D" CURB
 - TYPE "F" CURB
 - CURB TRANSITION (6' LENGTH)
 - 6" WIDE THICKENED EDGE SIDEWALK
 - ACCESSIBLE CURB RAMP (PER FOOT INDEX NO. S22-002)
 - NO CURB, EXTEND LIMEROCK BASE 6" BEYOND PAVEMENT
 - CONCRETE DRIVEWAY PER FOOT INDEX S22-003 (M 13)
- SIGN AND PAVEMENT MARKING LEGEND**
- 30" STOP SIGN (R1-1) WITH 24" WHITE STOP BAR
 - 30" STOP SIGN (R1-1) WITH 24" WHITE STOP BAR
 - HANDICAP SPACES PER FLORIDA'S ACCESSIBILITY CODE WITH SIGNS AND WHEEL STOPS (SEE SHEETS C011 FOR DETAILS)
 - WHITE STRIPS
 - 30" STOP SIGN (R1-1) WITH 24" WHITE STOP BAR (THERMO) AND STREET NAME SIGN
- NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, SLOPE FINISH, SIDEWALKS, EXIST PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED MARCH 10, 2022, BY FREECE LAND SURVEYING, INC.
 - REFER TO ARCH. PLANS FOR PYLON AND/OR MONUMENT SIGNS.
 - REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 - MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.00% (1:20).
 - MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1:50).
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% (1:50) IN ANY DIRECTION.
 - THE COMMERCIAL SOLID WASTE IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF PERMANENT ELECTRIC SERVICE.
 - PUBLIC ACCESS ON NW 73RD PLACE TO REMAIN OPEN THROUGHOUT THE DURATION OF THE PROJECT. SHOULD CLOSURE OF NW 73RD PLACE BE REQUIRED AT ANY TIME DURING CONSTRUCTION, THE CONTRACTOR MUST COORDINATE WITH MARION COUNTY OFFICE OF THE COUNTY ENGINEER AND 9-11 MANAGEMENT.
 - ALL STRIPING SHALL BE PAINTED, UNLESS OTHERWISE NOTED.



Kimley-Horn

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1700 E. 77TH AVENUE, SUITE 200
DENVER, CO 80231
WWW.KIMLEY-HORN.COM REGISTRY NO. 26108

SITE PLAN

NEXTRAN OCALA
PREPARED FOR
NEXTRAN CORPORATION
MARION COUNTY, FLORIDA

REVISIONS

NO.	DATE	BY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT INFORMATION

PROJECT NO.	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
042999002	APRIL 2023	AS SHOWN	STEWART L. HILL, P.E.	DISC	DISC

FLORIDA LICENSE NUMBER: 79410

SHEET NUMBER
C005

W. JAMES GOODING III
ROBERT W. BATSEL, JR.
ROBERT W. BATSEL
JAMES T. HARTLEY
KENNETH H. MACKAY IV



1531 SE 36th Avenue
Ocala, Florida 34471
Phone: 352.579.1290
Direct: 352.579.6580
Fax: 352.579.1289
jgooding@lawyersocala.com

ATTORNEYS AT LAW

July 17, 2024

All By Email Only

Steven Cohoon, P.E., County Engineer
Christopher Ziegler, P.E. County Traffic Engineer
Office of the County Engineer
412 SE 25th Avenue
Ocala, FL 34471

Thomas Schwartz, Esq.
Assistant County Attorney
Marion County
601 SE 25th Avenue
Ocala, FL 34471

RE: Nextran – Major Site Plan # 28502 – Access Easement

Dear Steven, Chris and Tom:

This will follow-up on our meeting at County Engineering on June 25, 2024, concerning the above matter.

Based on the outcome of that meeting, my client's engineer, Stewart Hill, PE, is requesting the Development Review Committee to readdress its prior requirement that my client grant an easement to permit the continued use of NW 73rd Place. I believe the DRC meeting will be Monday, July 22, 2024.

Because the issue is fairly complicated, and there are so many moving parts, I am providing a fairly lengthy discussion. I am suggesting that Stewart including this letter in the DRC application.

Specifically:

1. So that you can better understand this, I have attached the following documents:
 - 1.1. My email to Cheryl Weaver of May 16, 2023 and the documents that were enclosed therein including May 16, 2023 DRC Informational Letter.
 - 1.2. A revised Agreement Concerning Public Ingress and Egress Easement, together with a redline comparing it to the version I emailed to Cheryl last year, specifically addressing Tom's comments as set forth in paragraph 6.3 of this letter.
2. The parcels that my client owns, and that are the subject of the prior DRC approval, are bisected by a dirt road designated as NW 73rd Place.
 - 2.1. Although the road has a street sign and name, the County has indicated that it does not constitute public right of way.
 - 2.2. On the other hand, neighboring property owners have been using the road for years and thus, DRC encouraged my client to accommodate its use.

- 2.3. My client did so by adjusting the alignment southwards (to avoid an existing drainage facility).
- 2.4. The DRC requested more, however, as set forth in the attached May 16, 2023 letter. Specifically:
- 5 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Additional Planning Items:
STATUS OF REVIEW: INFO
REMARKS: 5/16/23 - CONDITIONAL APPROVAL: Subject to no final inspection / certificate of occupancy unless and until the adjusting easement is completed and recorded in the public records. Contract OCE-Property Management for final review coordination regarding the easement.
PRIOR COMMENT: 1/23/23 - Remark acknowledged by applicant's response; however, no documentation or information was provided as response states applicant's legal counsel is working to address the comment. This remark remains unsatisfied
PRIOR COMMENT: Staff understands that historic access provisions/easements are in place related to NW 73rd Place. The proposed plan appears to accommodate the continuation of that access; however, the alignment is adjusted south at the intersection with NW 44th Avenue. Legal record documentation must be provided that the parties agree to the adjusted location must be provided, or alternatively the owner may convey a general public ingress/egress access easement, similar to a cross access easement, to correspond to the revised access location.
- 2.5. To comply with this requirement, I prepared a proposed Agreement Concerning Public Ingress and Egress Easement and, on May 16, 2023, emailed it to Cheryl Weaver pursuant to the attached email. Apparently, however, the process derailed and the Easement was never reviewed or approved.
- 2.6. We found out about this a month or so ago when the County started withholding inspections on our project and promptly scheduled the meeting that we had with you on June 25, 2024.
3. At the risk of misstating your positions at the meeting, I would summarize them as follows:
- 3.1. Steven indicated that he thought that this was a private matter and did not know why we were granting the easement.
- 3.2. Chris indicated that he thought a private, not a public, easement should be provided.
- 3.3. Tom indicated that, if the easement was provided, he had a problem with the provisions of paragraph 3 providing for assumption of risk, release and indemnification.
- 3.4. I will address each of your comments separately.
4. Steven, in many ways I agree with you but feel obligated to point out that historically, Marion County has required historic access means to be preserved. I believe the most recent example of this involved property contiguous to the BMW dealership.
- 4.1. Essentially, I believe that the County Commission does not want for the County to be in a position of approving development that interferes with access. Thus, there is nothing new about this requirement.
- 4.2. Further, my client, partially because of the prior DRC requirement, designed its project to provide the access.

- 4.3. Finally, it is clearly a requirement of DRC and thus, until that obligation is removed, my client is required to provide the easement.
- 5. Chris, there are a couple of problems with this being a private easement:
 - 5.1. We do not know the names of the persons who utilize the road, nor can they be easily determined.
 - 5.2. The DRC requirement was for a public easement, “similar to a cross-access easement.” The County routinely requires the latter and they are public easements.
- 6. Tom, I do not believe that the language you are concerned about should concern the County:
 - 6.1. It is essentially added in an effort to protect my client against a use of its property by others who, at best, do not have a clear right to use the road.
 - 6.2. It does not directly involve the County but rather only focuses on persons who are using the road. I have further revised the document, however, and are attaching it and a redline; as you can see, I have made it clear that the County has no liability based on activities of others.
 - 6.3. As the grantor of an easement that benefits people, the County should permit my client to include language that tries to protect it from claims by persons using the road.
 - 6.4. Thus, if my client is going to be required to grant this easement, I believe that the County should accept this language.

I look forward to seeing you at DRC on Monday, July 22, 2024. If you have any questions in advance, please let me know.

Sincerely,

GOODING & BATSEL, PLLC

/s/ Jimmy Gooding /s/

W. James Gooding III

WJG/ban

cc: Mr. Stewart Hill
Mr. Jon Pritchett
Mr. Terry Miller
Mr. Trey Wilson
Mr. Thomas Trexler
(All by email only)

Trexler, Thomas

From: Jimmy Gooding <JGooding@lawyersocala.com>
Sent: Tuesday, May 16, 2023 6:13 PM
To: cheryl.weaver@marionfl.org
Cc: Hill, Stewart; Terry Miller; Jon Pritchett; Thomas G. Wilson III; Trexler, Thomas
Subject: Netran - Easement
Attachments: DRC Info Letter 28502.PDF; Public Ingress Egress Easement JG 4-17-23.DOCX

Cheryl:

Re the attached DRC comments:

1. Attached is the Easement they are discussing.
2. I can't tell from the Comments if they are saying YOU are reviewing, LEGAL is reviewing, or BOTH.
3. If it's you and you have any questions, please give me a call.
4. If it's legal, do you know who over there is handling it?

Thanks.

W. James Gooding III
Gooding & Batsel, PLLC
1531 SE 36 Ave.
Ocala, FL. 34471
Direct: 352-579-6580
Main Line: 352-579-1290
Cell: 352-812-6221
Fax: 352-579-1289
jgooding@lawyersocala.com

This internet message may contain information that is privileged, confidential, and exempt from disclosure. It is intended for use only by the person to whom it is addressed. If you have received this in error, please: (1) do not forward or use this information in any way; and (2) contact me immediately. Thank you.

PR: E

Record and return to:
Development Review Division
Marion County Transportation Department
412 SE 25th Avenue
Ocala, FL 34471

This instrument prepared by:
W. James Gooding III
Gooding & Batsel, PLLC
1531 SE 36th Avenue
Ocala, FL 34471

PID No: 13166-003-00 (Portion)

Doc Stamps: \$.70¹

Rec: \$

AGREEMENT CONCERNING PUBLIC INGRESS AND EGRESS EASEMENT

THIS AGREEMENT CONCERNING PUBLIC INGRESS AND EGRESS EASEMENT is made this _____, ~~2023~~2024, by and between:

- Nextran Corporation, a Florida corporation, whose mailing address is P.O. Box 2880, Jacksonville, FL 32209 (“Nextran”); and
- Marion County, a political subdivision of the State of Florida, whose mailing address is 601 SE 25th Avenue, Ocala, Florida 34471-2626, its successors and assigns (“County”).

WHEREAS:

- A. Nextran owns certain real property (the “Parent Tract”) described on the attached **Exhibit A**.
- B. A private road known generally as “NW 73rd Place” (the “Road”) exists on a portion of the Parent Tract and extends west beyond the boundary of the Parent Tract. The Road has been used by the public for a number of years without the benefit of any right of way, deed, easement or other legal right permitting such use.
- C. Nextran has applied to County for approval of certain development plans, applications or permits for the development of the Parent Tract (collectively the “Permits”).
- D. Nextran has constructed or is constructing a driveway (the “Driveway”) within a portion of the Parent Tract (such portion being the Easement Area as defined in paragraph 1).
- E. County has required, as a condition of approval of the Permits, Nextran to grant an Easement (as defined in paragraph 1), to County and the public to permit the use of the Driveway to access the remainder of the Road that exists beyond the western boundary of the Parent Tract.

NOW THEREFORE, in consideration of the foregoing (which is incorporated herein by reference), and other good and valuable consideration, the receipt and sufficiency are hereby acknowledged, the parties hereby agree as follows:

¹ This instrument evidences a conveyance of an easement for no monetary consideration to satisfy a condition of governmental approval of a development plans, applications or permits. The value of the easement is uncertain. Thus, only nominal documentary excise taxes are owed.

1. **Grant.** Nextran hereby grants to County, its successors and assigns, a perpetual non-exclusive public easement and right of way (collectively, the “Easement”) for vehicular and pedestrian access upon, over and across the portion of the Parent Tract that is more particularly described in the attached **Exhibit B** (the “Easement Area”), to have and to hold the same unto County, its successors and assigns forever. Nextran will defend the title to the Easement Area against all persons claiming by, through or under Nextran, but none other.
2. **Purpose.**
 - 2.1. The purpose of the Easement is to establish a legal right for the public to use the Driveway within the Easement Area pursuant to the terms and conditions set forth herein. The Easement is granted only to such extent; that is, the Easement does not grant the public any rights except concerning the Driveway located on the portion of the Parent Tract within the Easement Area.
 - 2.2. The Easement granted herein does not include the right to park, store vehicles, or for the passage by vehicles larger than cars and light trucks.
 - 2.3. The Easement granted herein does not include the right to construct or maintain utilities.
 - 2.4. By virtue of the grant of Easement, it is no longer necessary for any member of the public to utilize those portions of the Road that are located on the Parent Tract but outside of the Easement Area. Therefore, Nextran may block access to such portions of the Road, reconfigure them, and otherwise use them as Nextran desires.
3. **No Representations; Assumption of Risk; Release; Indemnification.** Any person utilizing the Easement, Driveway or Road within the Easement Area (in each case, a “User”), including any person walking on, driving a vehicle on, riding as a passenger in a vehicle on, or otherwise utilizing the Easement Area, Driveway or Road within the Easement Area, shall, by virtue of such use, be deemed to have acknowledged and agreed to the following:
 - 3.1. Nextran makes no representations or warranties concerning the Easement, Driveway or Road of any kind (except concerning the warranty of title contained in paragraph 1).
 - 3.2. Each User assumes all liability in connection with such User’s use of the Easement, Driveway, or Road and acknowledges that such User does so at its own initiative, risk and responsibility.
 - 3.3. Each User automatically and without further action releases, and shall be deemed to have released, Nextran, its current and former agents, employees, officers, shareholders, parent companies, affiliates, subsidiaries, successors, and assigns, (individually and collectively, the “Released Parties”), from all liabilities, claims, actions, causes of action, demands, rights, damages, costs, loss of services, expenses and compensation whatsoever, known or unknown, now existing or hereafter acquired (individually and collectively the “Claims”) which any such User now has or which may hereafter accrue, on account of or in any way growing out of such User’s use of, or presence on, the Easement Area, Driveway or Road, or incurred on the Parent Tract. This specifically includes, without limitation, any such Claims which arise out of the negligence of any of the Released Parties.
 - 3.4. Each User automatically and without further action agrees to hold the Released Parties, harmless from, and indemnify the Released Parties against, any and all Claims whatsoever incurred arising out of such User’s use of or presence on, the Easement Area, Driveway or Road.

- 3.5. EACH USER WAIVES ITS RIGHT TO JURY TRIAL PURSUANT TO PARAGRAPH 5.3.

3.6. The foregoing provisions of this paragraph 3 concern Users only. County is not liable for any obligation of any other User under such provisions including, without limitation, the indemnification provisions of paragraph 3.4.

4. Additional Provisions Concerning Easement.

- 4.1. The Easement is non-exclusive.
- 4.2. To the extent that it does not unreasonably interfere with the purposes of the Easement or diminish the rights of County, its successors and assigns, and the general public hereunder, Nextran, for itself and its successors and assigns, hereby reserves the right to: (a) use the Easement Area for any lawful purpose, (b) grant additional easements and licenses to others over, across, and under the Easement Area, (c) construct and install improvements within the Easement Area, including, but not limited to, driveways, roadways, entrances, sidewalks, landscaping, and other horizontal or vertical improvements, and (d) construct and install roof overhangs, other similar uses and other minor encroachments from Nextran's adjacent property which may encroach into the Easement Area so long as such vertical construction, including overhangs, is at least twelve (12) feet above grade.
- 4.3. Nextran has no affirmative obligation to construct any additional sidewalks or other improvements pursuant to the terms of this Agreement other than the Driveway, it being the intention that the Easement rights granted herein shall permit only the use of the Driveway within the Easement Area.
- 4.4. Nextran reserves the right to make, from time to time and at its own expense, any change, modification or alteration of the Driveway and any other improvements constructed or installed in the Easement Area provided that (a) the accessibility of the Driveway for vehicular traffic is not permanently restricted or hindered, (b) the use of the Driveway for vehicular traffic is not materially and adversely affected, and (c) such actions by Nextran are taken in accordance with applicable laws.
- 4.5. Upon reasonable prior written notice to County, Nextran shall have the right to relocate the Easement Area and the Driveway now or hereafter located within the Easement Area, at Nextran's sole expense, and in accordance with applicable laws. Any such relocation of the Easement Area shall be evidenced by an amendment to this Agreement executed by Nextran and County and recorded in the public records of Marion County, Florida.
- 4.6. Nextran may encumber the Easement Area with a mortgage and related security documents; provided, however, any such mortgage and related security documents shall be subordinate to the Easements granted in this Agreement.

5. Miscellaneous.

- 5.1. All provisions of this Agreement, including the benefits and burdens, shall run with the title to the Easement Area and are binding upon and inure to the benefit of the heirs, successors, and assigns of Nextran.
- 5.2. This Agreement shall be construed, interpreted, and controlled according to the laws of the State of Florida, without giving effect to principles of conflict of laws, except where specifically pre-empted by Federal law. The parties agree that venue with respect to any

state or federal litigation in connection with this Agreement shall lie exclusively in Marion County, Florida.

- 5.3. EACH PARTY AND ANY USER AS SET FORTH IN PARAGRAPH 3.5, HEREBY COVENANTS AND AGREES THAT IN ANY LITIGATION, SUIT, ACTION, COUNTERCLAIM, OR PROCEEDING, WHETHER AT LAW OR IN EQUITY, WHICH ARISES OUT OF CONCERNS, OR RELATES TO THIS AGREEMENT, ANY AND ALL TRANSACTIONS CONTEMPLATED HEREUNDER, THE PERFORMANCE HEREOF, OR THE RELATIONSHIP CREATED HEREBY, WHETHER SOUNDING IN CONTRACT, TORT, STRICT LIABILITY, OR OTHERWISE, TRIAL SHALL BE TO A COURT OF COMPETENT JURISDICTION AND NOT TO A JURY. EACH PARTY HEREBY IRREVOCABLY WAIVES ANY RIGHT IT MAY HAVE TO A TRIAL BY JURY. ANY PARTY MAY FILE AN ORIGINAL COUNTERPART OR A COPY OF THIS AGREEMENT WITH ANY COURT, AS WRITTEN EVIDENCE OF THE CONSENT OF THE PARTIES HERETO OF THE WAIVER OF THEIR RIGHT TO TRIAL BY JURY. NEITHER PARTY HAS MADE OR RELIED UPON ANY ORAL REPRESENTATIONS TO OR BY THE OTHER PARTY REGARDING THE ENFORCEABILITY OF THIS PROVISION.
- 5.4. The grant of the Easement under paragraph 1 of this Agreement is expressly conditioned upon, and is not severable from, the effectiveness of paragraphs 2 and 3 of this Agreement. Therefore, in the event that any provision of paragraph 2 or 3 is hereafter held to be invalid, illegal, or otherwise not enforceable by Nextran, its heirs, successors or assigns, the grant of the easement in paragraph 1 of this Agreement shall be deemed terminated and the rights granted under paragraph 1 of this Agreement may no longer be used by County or the public. Upon such occurrence, Nextran may record an instrument in the public records acknowledging that the Easement has been terminated, which shall be conclusive.
- 5.5. This instrument shall constitute the final and complete expression of the agreement between the parties relating to the subject matter of this Agreement.
- 5.6. This Agreement may not be amended, modified, altered, or changed in any respect whatsoever, except by an amendment in writing duly executed by the parties hereto and recorded in the Public Records of Marion County, Florida.

[signatures on following pages]

IN WITNESS WHEREOF, Nextran and County have caused these presents to be executed in their respective names, as of the day and year first above written.

Nextran Corporation, a Florida corporation

Witness Signature

By: _____
Jon W. Pritchett as President

Witness Printed Name

Print Witness Address: _____

Witness Signature

Witness Printed Name

Print Witness Address: _____

STATE OF FLORIDA
COUNTY OF UNION

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this ____ day of _____, ~~2023~~2024, by Jon W. Pritchett as President of Nextran Corporation, a Florida corporation, on behalf of the Company.

Notary Public, State of Florida
Name: _____
(print or type)

Commission Number:
Commission Expires:

Notary: Check one of the following:

____ Personally known OR
____ Produced Identification (if this box is checked, fill in blank below).
Type of Identification Produced: _____

COUNTY

MARION COUNTY, FLORIDA, a political
subdivision of the State of Florida, by its Board of
County Commissioners

By: _____
~~Craig Curry~~ Michelle Stone as Chair

ATTEST:

Gregory C. Harrell, Clerk of Court and
Comptroller

For use and reliance of Marion County only,
approved as to form and legal sufficiency:

Matthew Guy Minter, County Attorney

STATE OF FLORIDA

COUNTY OF _____

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐
online notarization, this _____ day of _____, 2020, by _____, as
_____ for _____, a _____.

Notary Public, State of Florida

Name: _____

(Please print or type)

Commission Number: _____

Commission Expires: _____

Notary: Check one of the following:

____ Personally known OR

____ Produced Identification (if this box is checked, fill in blanks below).

Type of Identification Produced: _____

**EXHIBIT A
PARENT TRACT**

PID# 13160-001-00 (PARCEL 1)

The South 330 feet of the East 660 feet of the North 1/2 of the Northwest 1/4 of Section 22, Township 14 South, Range 21 East, Marion County, Florida. LESS AND EXCEPT The East 25.00 feet thereof.

PID# 13160-002-00 (PARCEL 2)

The West 396 feet of the East 1056 feet of the South 330 feet of the North 1/2 of the Northwest 1/4 of Section 22, Township 14 South, Range 21 East, Marion County, Florida.

PARCEL 1 AND PARCEL 2 COMBINED BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.W. CORNER OF THE N.W. 1/4 OF THE N.E. 1/4 OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE N.89°14'51"W., ALONG THE SOUTH BOUNDARY OF THE NORTH 1/2 OF THE N.W. 1/4 OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 21 EAST, A DISTANCE OF 25.00 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF N.W. 44TH AVENUE, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE N.89°14'51"W., ALONG SAID SOUTH BOUNDARY, A DISTANCE OF 1031.03 FEET TO A POINT ON THE WEST BOUNDARY OF THE EAST 1056 FEET OF THE SOUTH 330 FEET OF THE NORTH 1/2 OF THE N.W. 1/4 OF SAID SECTION 22; THENCE N.00°18'45"E., ALONG SAID WEST BOUNDARY, 330.01 FEET TO A POINT ON THE NORTH BOUNDARY OF THE SOUTH 330 FEET OF THE NORTH 1/2 OF THE N.W. 1/4 OF SAID SECTION 22; THENCE S.89°14'51"E., ALONG SAID NORTH BOUNDARY, A DISTANCE OF 1031.03 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF N.W. 44TH AVENUE; THENCE S.00°18'45"W., ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 330.01 FEET TO THE POINT OF BEGINNING.

PID# 13166-003-00 (PARCEL 5)

THE EAST 1/2 OF THE NORTH 1/4 OF THE SE 1/4 OF THE NW 1/4 EXCEPT THE SOUTH 105 FEET OF THE EAST 439.7 FEET OF THE NORTH 1/2 OF THE NORTH 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 21 EAST; EXCEPT THE EAST 25 FEET FOR ROAD, AND EXCEPT THE WEST 220.13 FEET AND EXCEPT THE WEST 64.34 FEET OF THE NORTH 225 FEET OF THE EAST 439.87 FEET AND EXCEPT COMMENCE AT THE NE CORNER OF THE NE 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 21 EAST; THENCE PROCEED WEST ALONG THE QUARTER QUARTER SECTION A DISTANCE OF APPROXIMATELY 381.53 FEET TO THE NE CORNER OF THAT PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 1152, PAGE 330 FOR A POINT OF BEGINNING; THENCE PROCEED SOUTH APPROXIMATELY 225 FEET TO THE BOUNDARY LINE OF THAT PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 626 PAGE 690; THENCE PROCEED EAST ALONG THE NORTH BOUNDARY OF THAT PROPERTY 193.6 FEET; THENCE PROCEED NORTH APPROXIMATELY 225 FEET TO A POINT 193.6 FEET EAST, ALONG THE QUARTER QUARTER SECTION LINE, OF THE POINT OF BEGINNING; THENCE PROCEED WEST ALONG THE QUARTER QUARTER SECTION LINE TO THE POINT OF BEGINNING.

AND

COMMENCE AT THE NE CORNER OF THE NE 1/4 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 21 EAST; THENCE PROCEED WEST ALONG THE QUARTER QUARTER SECTION A DISTANCE OF APPROXIMATELY 381.53 FEET TO THE NE CORNER OF THAT PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 1152, PAGE 330 FOR A POINT OF BEGINNING; THENCE PROCEED SOUTH APPROXIMATELY 225 FEET TO THE BOUNDARY LINE OF THAT PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 626 PAGE 690; THENCE PROCEED EAST ALONG THE NORTH BOUNDARY OF THAT PROPERTY 193.6 FEET; THENCE PROCEED NORTH APPROXIMATELY 225 FEET TO A POINT 193.6 FEET EAST, ALONG THE QUARTER QUARTER SECTION LINE, OF THE POINT OF BEGINNING; THENCE PROCEED WEST ALONG THE QUARTER QUARTER SECTION LINE TO THE POINT OF BEGINNING

PID# 13166-001-00 (PARCEL 6)

The South 105.00 feet of the East 439.87 feet of the North 1/2 of the Northeast 1/4 of the SE 1/4 of the NW 1/4 of Section 22, Township 14 South, Range 21 East, Marion County, Florida. Less and Except that part conveyed for right of way in Official Records Book 836, page 121.

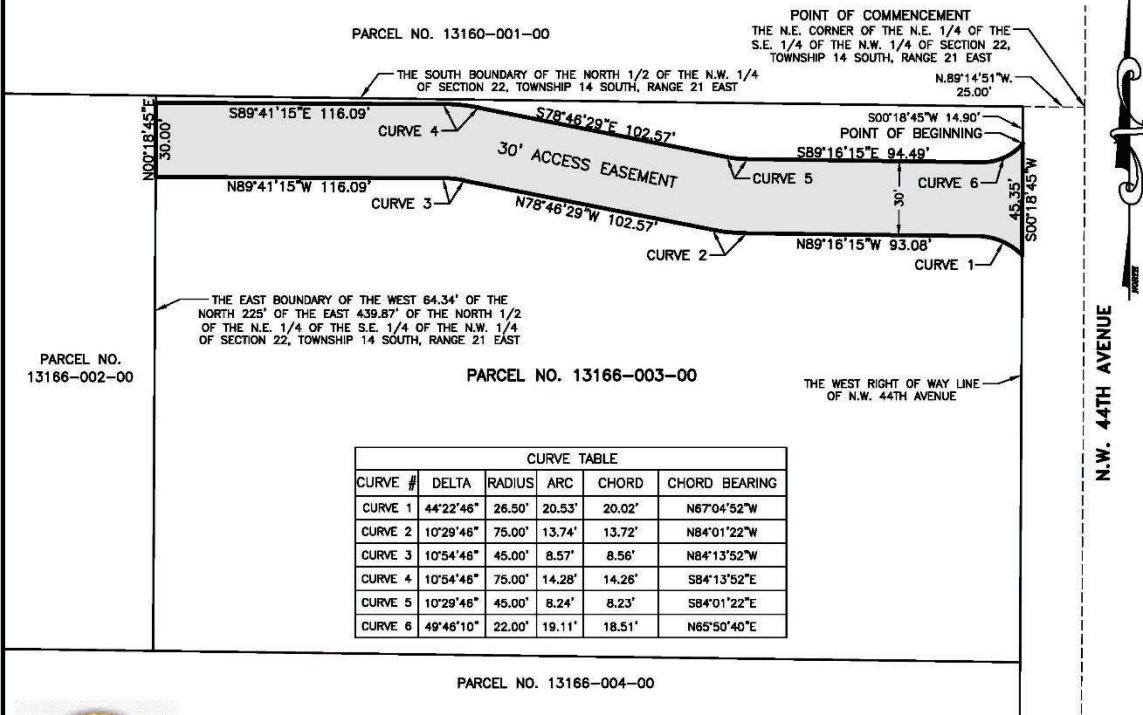
EXHIBIT B EASEMENT AREA

SKETCH OF DESCRIPTION FOR: NEXTRAN CORPORATION

SHEET 1 OF 1

DESCRIPTION: (30 FOOT ACCESS EASEMENT)

COMMENCE AT THE N.E. CORNER OF THE N.E. 1/4 OF THE S.E. 1/4 OF THE N.W. 1/4 OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 21 EAST; THENCE N.89°14'51"W., ALONG THE SOUTH BOUNDARY OF THE NORTH 1/2 OF THE N.W. 1/4 OF SAID SECTION 22, 25.00 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF N.W. 44TH AVENUE (WIDTH VARIES); THENCE S.00°18'45"W., ALONG SAID WEST RIGHT OF WAY LINE, 14.90 FEET TO THE POINT OF BEGINNING. THENCE S.00°18'45"W., ALONG SAID WEST RIGHT OF WAY LINE, 45.35 FEET TO A POINT OF CUSP WITH A 26.50 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY, HAVING A CHORD BEARING AND DISTANCE OF N.67°04'52"W. 20.02 FEET; THENCE DEPARTING SAID WEST RIGHT OF WAY LINE, NORTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 44°22'46", A DISTANCE OF 20.53 FEET TO THE POINT OF TANGENCY; THENCE N.89°16'15"W., 93.08 FEET TO THE POINT OF CURVATURE OF A 75.00 FOOT RADIUS CURVE, CONCAVE NORTHERLY, HAVING A CHORD BEARING AND DISTANCE OF N.84°01'22"W. 13.72 FEET; THENCE WESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 10°29'46", A DISTANCE OF 13.74 FEET TO THE POINT OF TANGENCY; THENCE N.78°46'29"W., 102.57 FEET TO THE POINT OF CURVATURE OF A 45.00 FOOT RADIUS CURVE, CONCAVE SOUTHERLY, HAVING A CHORD BEARING AND DISTANCE OF N.84°13'52"W. 8.56 FEET; THENCE WESTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 10°54'46", A DISTANCE OF 8.57 FEET TO THE POINT OF TANGENCY; THENCE N.89°41'15"W., 116.09 FEET TO A POINT ON THE EAST BOUNDARY OF THE WEST 64.34 FEET OF THE NORTH 225 FEET OF THE EAST 439.87 FEET OF THE NORTH 1/2 OF THE N.E. 1/4 OF THE S.E. 1/4 OF THE N.W. 1/4 OF SAID SECTION 22; THENCE N.00°18'45"E., ALONG SAID EAST BOUNDARY, 30.00 FEET; THENCE DEPARTING SAID EAST BOUNDARY, S.89°41'15"E., 116.09 FEET TO THE POINT OF CURVATURE OF A 75.00 FOOT RADIUS CURVE, CONCAVE SOUTHERLY, HAVING A CHORD BEARING AND DISTANCE OF S.84°13'52"E. 14.26 FEET; THENCE EASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 10°54'46", A DISTANCE OF 14.28 FEET TO THE POINT OF TANGENCY; THENCE S.78°46'29"E., 102.57 FEET TO THE POINT OF CURVATURE OF A 45.00 FOOT RADIUS CURVE, CONCAVE NORTHERLY, HAVING A CHORD BEARING AND DISTANCE OF S.84°01'22"E. 8.23 FEET; THENCE EASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 10°29'46", A DISTANCE OF 8.24 FEET TO THE POINT OF TANGENCY; THENCE S.89°16'15"E., 94.49 FEET TO THE POINT OF CURVATURE OF A 22.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY, HAVING A CHORD BEARING AND DISTANCE OF N.65°50'40"E. 18.51 FEET; THENCE NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 49°46'10", A DISTANCE OF 19.11 FEET TO THE POINT OF BEGINNING.



SURVEYOR'S CERTIFICATION:

THIS SKETCH WAS PREPARED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE ESTABLISHED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, FOR A SKETCH OF DESCRIPTION.

DATE

STATE CERTIFIED SDVBE

NOTE: THIS IS NOT A SURVEY

GLEN H. PREECE, JR., P.S.M. - LS 5427



BELLWETHER PROFESSIONAL PARK
2201 S.E. 30TH AVENUE, SUITE 102
OCALA, FL 34471
PHONE: (352) 351-0091
FAX: (352) 351-0093 FAX
EMAIL: glen@plsinc.us

(LICENSED BUSINESS NO. 7389)

DATE OF SKETCH: MARCH 22, 2023

DRAWN:	G.H.P.	REVISIONS	BY	DATE
CHECKED:	G.H.P.			
FILE INFO:				
22-14-21				
SCALE: 1" = 60'	COPYRIGHT © 2023	JOB ORDER# 12-121 ACCESS EASEMENT		

Summary report: Litera Compare for Word 11.8.0.56 Document comparison done on 7/17/2024 11:47:42 AM	
Style name: JG-Default	
Intelligent Table Comparison: Active	
Original filename: P:\JG\Nextran\North 44th\County\Public Ingress Egress Easement JG 4-17-23.DOCX	
Modified filename: P:\JG\Nextran\North 44th\County\Public Ingress Egress Easement JG 7-17-24.DOCX	
Changes:	
<u>Add</u>	21
Delete	8
Move From	0
<u>Move To</u>	0
<u>Table Insert</u>	0
Table Delete	1
<u>Table moves to</u>	0
Table moves from	0
Embedded Graphics (Visio, ChemDraw, Images etc.)	0
Embedded Excel	0
Format changes	0
Total Changes:	30



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

May 16, 2023

KIMLEY-HORN & ASSOCIATES
STEWART HILL
101 E SILVER SPRINGS BLVD 400
OCALA, FL 34470

SUBJECT: DRC INFORMATIONAL LETTER
PROJECT NAME: NEXTRAN OCALA
PROJECT #2021070099
APPLICATION: MAJOR SITE PLAN #28502

Dear Stewart,

The above referenced project was reviewed by Development Review staff and the following comments are for your review. You need not reply to the comments, and if the comments have been previously completed, simply disregard. Your plan will be scheduled for approval by the Development Review Committee on May 22, 2023. This item will be scheduled and attendance is required. Please be present by 9:00 am.

- 1 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI
STATUS OF REVIEW: INFO
REMARKS: Please provide copy of NPDES Permit or NOI before construction.
- 2 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: Copy of District Permit (County Interest)
STATUS OF REVIEW: INFO
REMARKS: Please provide copy of District Permit before construction.
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval
STATUS OF REVIEW: INFO
REMARKS: 7/26/22 - Add waivers if requested in the future - WM
- 4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: Additional Development Review Comments
STATUS OF REVIEW: INFO
REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development

Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

- 5 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: Additional Planning Items:
STATUS OF REVIEW: INFO
REMARKS: 5/16/23 - CONDITIONAL APPROVAL: Subject to no final inspection / certificate of occupancy unless and until the adjusting easement is completed and recorded in the public records. Contract OCE-Property Management for final review coordination regarding the easement.
PRIOR COMMENT: 1/23/23 - Remark acknowledged by applicant's response; however, no documentation or information was provided as response states applicant's legal counsel is working to address the comment. This remark remains unsatisfied.
PRIOR COMMENT: Staff understands that historic access provisions/easements are in place related to NW 73rd Place. The proposed plan appears to accommodate the continuation of that access; however, the alignment is adjusted south at the intersection with NW 44th Avenue. Legal record documentation must be provided that the parties agree to the adjusted location must be provided, or alternatively the owner may convey a general public ingress/egress access easement, similar to a cross access easement, to correspond to the revised access location.
- 6 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW
REVIEW ITEM: Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: 4.25.23 Easement submitted; being reviewed by Legal.
IF APPLICABLE:
Sec. 2.18.1.I - Show connections to other phases.
Sec.2.19.2.H – Legal Documents
Legal documents such as Declaration of Covenants and Restrictions, By-Laws, Articles of Incorporation, ordinances, resolutions, etc.
Sec. 6.3.1.B.1 – Required Right of Way Dedication (select as appropriate)
For Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated for the use and benefit of the public."
Sec. 6.3.1.B.2 – Required Right of Way Dedication
For Non-Public Streets. "[All streets and rights-of-way shown on this plat or name specifically if less than all] are hereby dedicated privately to the [entity name]. All public authorities and their personnel providing services to the subdivision are granted an easement for access. The Board of County Commissioners of Marion County, Florida, shall have no responsibility, duty, or liability whatsoever regarding such streets. Marion County is granted an easement for emergency maintenance in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."
Sec. 6.3.1.D.3 - Cross Access Easements
For Cross Access Easements. "All parallel access easements shown on this plat are hereby dedicated for the use and benefit of the public, and maintenance of said easements is the responsibility of [entity name]."
Sec. 6.3.1.C.1 - Utility Easements (select as appropriate)
"[All utility easements shown or noted or name specifically if less than all] are dedicated [private or to the public] for the construction, installation, maintenance, and operation of utilities by any utility provider."
Sec. 6.3.1.C.2 – Utility Easements
"[All utility tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."
Sec.6.3.1.D(c)(1)(2)(3) - Stormwater easements and facilities, select as appropriate:
1."[All stormwater and drainage easements as shown or noted or name specifically if less than all] are

dedicated [private or to the public] for the construction and maintenance of such facilities."

2."[All stormwater management tracts or identify each tract as appropriate] as shown are dedicated [private or to the public] for the construction and maintenance of such facilities."

3.When any stormwater easement and/or management tract is not dedicated to the public or Marion County directly, the following statement shall be added to the dedication language: "Marion County is granted the right to perform emergency maintenance on the [stormwater easement and/or management tract, complete accordingly] in the event of a local, state, or federal state of emergency wherein the declaration includes this subdivision or an emergency wherein the health, safety, or welfare of the public is deemed to be at risk."

Sec.6.3.1.D(f) – If a Conservation Easement is required the following shall be provided: "A conservation easement [as shown or on tract and identify the tract, complete accordingly] is dedicated to [the Board of County Commissioners of Marion County, Florida or entity name, if not Marion County] for the purpose of preservation of [listed species, habitat, Karst feature and/or native vegetation, complete accordingly]."

Feel free to contact us at (352) 671-8686 or DevelopmentReview@marionfl.org with questions.

Sincerely,

Your Development Review Team
Office of the County Engineer



Marion County

Development Review Committee

Agenda Item

File No.: 2024-16107

Agenda Date: 8/5/2024

Agenda No.: 6.4.

SUBJECT:

Union Corrugating - Waiver Request to a Major Site Plan

490 Oak Rd Ocala

Project #2016120025 #31768 Parcel #9014-0044-01

Moorhead Engineering Company

LDC 2.21.1.A(1) Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests a waiver as the existing site was developed in 1971 as a manufacturing facility. The building has been connected to both Marion County water and sanitary utilities, the building has a fire sprinkler system that is connected to Marion County water system as well. All stormwater runoff has been accounted for and drains to two different county WRA's. The proposed 3375 square feet warehouse will have on site water retention area for it.

July 22, 2024

PROJECT NAME: UNION CORRUGATING

PROJECT NUMBER: 2016120025

APPLICATION: DRC WAIVER REQUEST #31768

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: N/A

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Defer to Stormwater.

3 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: APPROVED - MCU water & sewer customer - no issues with waiver request.

4 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: CONDITIONAL APPROVAL subject to working with Stormwater staff under the following conditions: 1) The applicant must provide stormwater control of the additional runoff from the impervious coverage at the 100-year, 24-hour storm from the proposed project. 2) A permit/inspection hold will be in effect until a sketch of the proposed stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that stormwater controls and all disturbed areas must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

The applicant owns a 6.49 -acre parcel (9014-0044-01) and according to the MCPA, there is approximately 117,309 sf existing impervious area on-site. The applicant is proposing to add 3,375 sf for a storage building. The total existing and proposed impervious area is 120,684 sf. The site will be approximately 111,684 sf over the allowed 9,000 sf per the Marion County LDC. The applicant has stated the existing overage is being captured by DRAs 7323 & 7403. The applicant has proposed the addition of a DRA to capture the runoff from the proposed 3,375 storage building, however no dimensions have been provided. There is Flood Prone Area on the southern corner of the property. Staff recommends approval with conditions.

5 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: RECOMMEND DENIAL - This site came through on a pre-application meeting. At that time, it was pointed out that employees appear to be parking in the grass area on the south side of the building. Staff was informed that employees don't need to park here and it will be stopped immediately. On a recent drive by, it was observed that people are still parking in the grass area. Code requires that all parking for commercial sites be paved with limited exceptions. It appears the intent is to use the grass for parking; therefore, it needs to be paved which will require greater stormwater review. There are other issues with the existing site such as unpermitted driveway access which can be addressed on a minor site plan.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

July 9, 2024

Date: ~~May 7, 2024~~ Parcel Number(s): 9014-0044-01

Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Bradley Brumback property Commercial ☒ Residential ☐
Subdivision Name (if applicable): N/A
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Store Master Funding III, LLC
Signature: *Angela Bonano*
Mailing Address: 3377 E Hartford Dr., Ste 100 City: Scottsdale
State: AZ Zip Code: 85255 Phone # 480-256-1100
Email address: customerservice@storecapital.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Moorhead Engineering Company Contact Name: Doug Iannarelli, P.E.
Mailing Address: 305 SE 1st Ave. City: Ocala
State: FL Zip Code: 34471 Phone # 352-732-4406
Email address: doug@meeco.us eplans@meeco.us

D. WAIVER INFORMATION:

Section & Title of Code (be specific): _____ Section 2.21.1.A -Major Site Plan
Reason/Justification for Request (be specific): The existing site was developed in 1971 as a manufacturing facility. The building has been connected to both Marion County water & sanitary utilities and the building has a fire sprinkler system that is connected to the Marion County water system. All stormwater runoff has been accounted for and drains to 2 different county WRAs. The proposed 3375 SF warehouse will have an on-site water retention area for it.

DEVELOPMENT REVIEW USE:

Received By: _____ Date Processed: _____ Project # _____ AR # _____

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____

MOORHEAD ENGINEERING COMPANY

305 SE 1st Avenue, Ocala, Florida 34471

Mailing Address
P.O. Box 998
Ocala, Florida 34478-0998

Phone (352) 732-4406
Fax (352) 867-0112
E-Mail dougi@meco.us

Parcel 9014-0044-01-warehouse addition **Major Site Plan waiver justification**

1. Project Description:

The proposed project is to add a 45'x75' (3375 SF) dry storage building to the existing parcel that currently has a Union Corrugating (metal roofing manufacturing) facility. The warehouse is to store metal roofing materials and will be accessed by a forklift vehicle. The site is located on parcel no. 9014-0044-01 which was originally developed in 1971.

2. Property Zoning and Land Use:

The property is 6.94 acres and is zoned M-2 and the Land Use is Commerce District.

3. Water and sanitary sewer utilities:

The manufacturing facility is currently connected to the Marion County water and sanitary sewer systems. The proposed storage building will be a dry building and will not have either water or sanitary sewer connections.

4. Fire Protection:

The existing manufacturing building on the site has a fire sprinkler system that is connected to the Marion County water system.

5. Driveway Access:

The proposed dry warehouse will be connected to an internal driveway and the site will not have any new driveway connections to a county street.

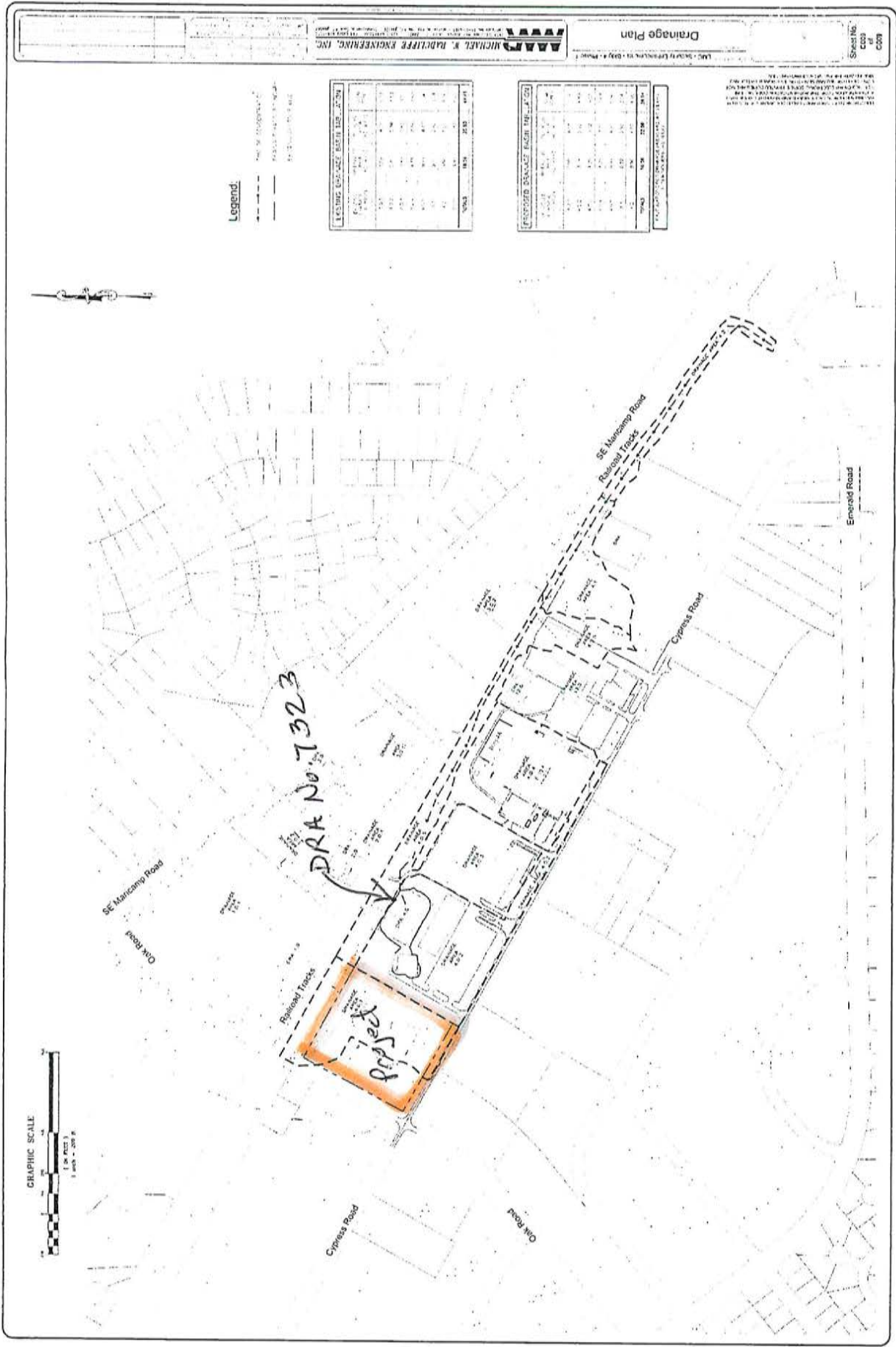
6. Drainage:

The existing site is currently permitted to discharge the stormwater runoff from the site into two existing county water retention areas, one is northeast of the site (DRA 7323) and the other is southwest of the site (DRA 7403), see the attached water shed maps. An on-site water retention area will be provided for the impervious area created by the proposed warehouse building and driveway (as required).

7. Trees

The existing site has a large area of trees (1.5 acres \pm) that will not be disturbed by this warehouse addition.

Doug Iannarelli, P.E.

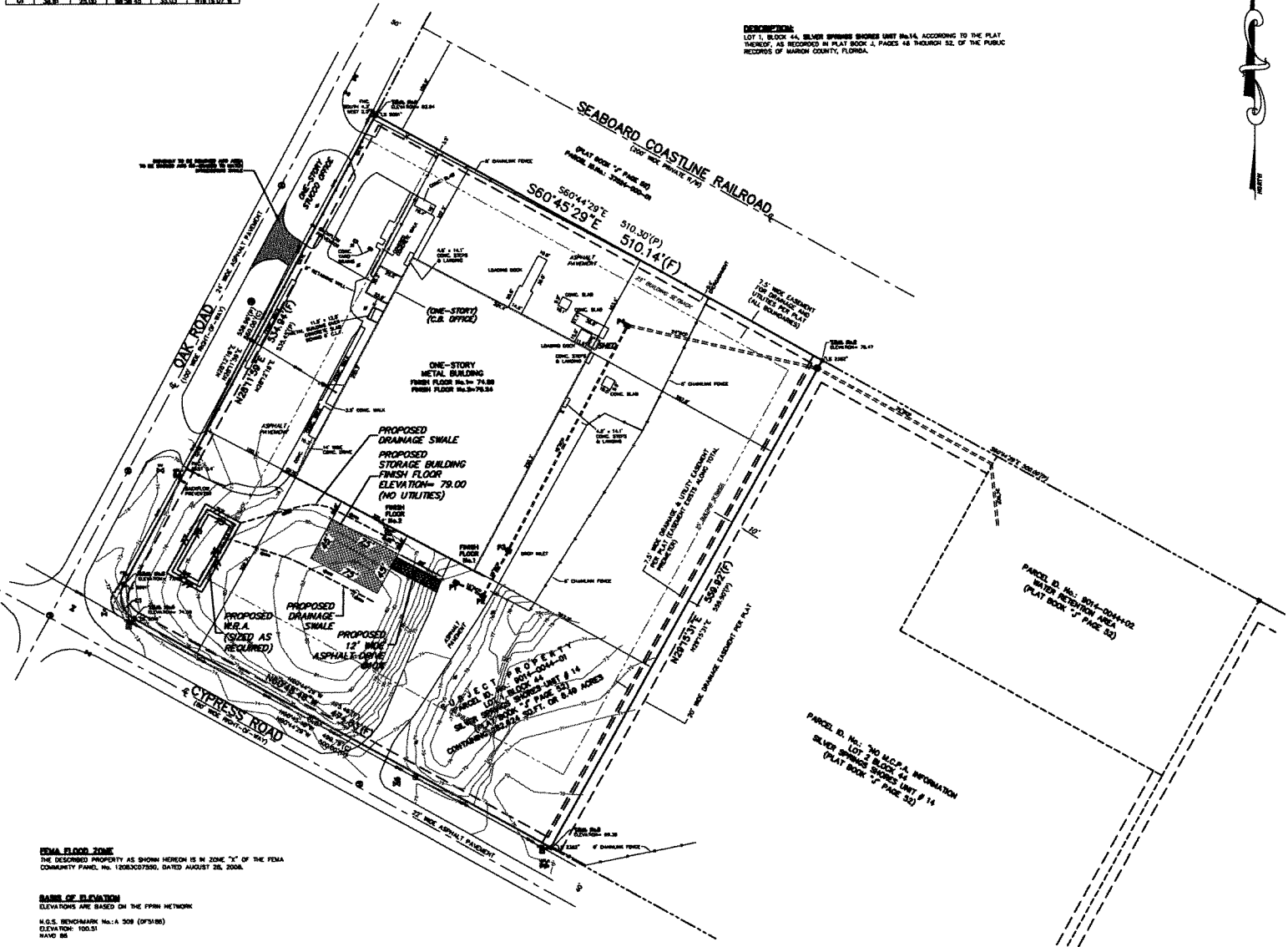
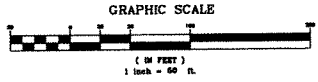


FIELD CURVE TABLE				
CURVE	LENGTH	BEARING	DELTA	CHORD
1	36.87	S60°44'29"E	35.72	510.30
2	36.87	S60°44'29"E	35.72	510.30

PLAT CURVE TABLE				
CURVE	LENGTH	BEARING	DELTA	CHORD
1	36.87	S60°44'29"E	35.72	510.30
2	36.87	S60°44'29"E	35.72	510.30

STATION	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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DESCRIPTION:
LOT 1, BLOCK 44, SILVER SPRINGS SHORES UNIT No. 14, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGES 48 THROUGH 52, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



- LEGEND**
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FEMA FLOOD ZONE
THE DESCRIBED PROPERTY AS SHOWN HEREON IS IN ZONE "X" OF THE FEMA COMMUNITY FLOOD MAP, No. 1000000000, DATED AUGUST 28, 2004.

BASE OF ELEVATION
ELEVATIONS ARE BASED ON THE CPBM NETWORK
N.G.S. BENCHMARK No. A 308 (DPS180)
ELEVATION: 100.31
NAD 83

PLAN FOR 3375 SF STORAGE BUILDING

STORE MASTER FUNDING III, LLC

SILVER SPRINGS SHORES UNIT No. 14
SECTION 22 - RICHMOND 18 SOUTH - RANGE 23 EAST

MOORHEAD ENGINEERING COMPANY
CONSULTING ENGINEERS - LAND SURVEYORS
P.O. BOX 888 305 S.E. 1st Avenue Ocala, Florida 34478
PHONE: 352-732-4408 FAX: 352-967-0112

Job No: 24-058 Drawing: 24058a Scale: 1" = 50'
Drawn by: EAF Approved by: BAF P.B. 2405 Pg. 24-48
Date Finished: 08-21-23 Filed: 08-18-23

SHEET NO. 1 OF 1 SHEETS

This plan has been prepared for the purpose and uses of the client named herein. No agents or assistants. Any reproduction of this plan, in whole or in part, for any purpose, without authorization or permission of said client, or this company is strictly prohibited.



Marion County

Development Review Committee

Agenda Item

File No.: 2024-16108

Agenda Date: 8/5/2024

Agenda No.: 6.5.

SUBJECT:

Trident Pool Taub - Waiver Request to Major Site Plan

16296 SE 83rd Ave Summerfield

Project #2024070075 #31816

Parcel #4703-040-044 Permit #2024064664

Jennifer's Permitting Service

LDC 2.21.1.A(1) - Major Site Plan

CODE states A Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests waiver as the homeowner proposes an inground pool with deck; existing impervious is 4,475 square feet on a 0.29-acre lot and the pool deck is additional 213 square feet for a total of 4,688 square feet of impervious where 4,421 square feet is allowed; Desire to work with stormwater to address the overage of 267 square feet.

August 1, 2024

PROJECT NAME: TRIDENT POOL TAUB

PROJECT NUMBER: 2024070075

APPLICATION: DRC WAIVER REQUEST #31816

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: N/A

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: CONDITIONAL APPROVAL: Subject to the following:

1. Comply OCE Stormwater Divisions conditions, and
2. Comply with applicable site development standards, particularly setbacks. (The concept plan provided indicates the pool, pool-deck, and patio will comply, but should construction adjustments occur, the final structure must maintain compliance with site development standards as noted.

NOTES: Set of four lots in Orange Blossom Hills Unit 3 forming a single eligible building site; designated Medium Residential/ Single-Family Dwelling (R-1) Zoning.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: CONDITIONAL APPROVAL: Subject to the following:

1. Comply OCE Stormwater Divisions conditions, and
2. Comply with applicable site development standards, particularly setbacks. (The concept plan provided indicates the pool, pool-deck, and patio will comply, but should construction adjustments occur, the final structure must maintain compliance with site development standards as noted.

NOTES: Set of four lots in Orange Blossom Hills Unit 3 forming a single eligible building site; designated Medium Residential/ Single-Family Dwelling (R-1) Zoning.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: APPROVED - MCU service area but outside connection distance to closest water or sewer mains at this time. Connection required within 365 days' notice of availability.

5 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: CONDITIONAL APPROVAL subject to working with Stormwater staff under the following conditions: 1) The applicant must provide stormwater control of the additional runoff from the impervious coverage at the 100-year, 24-hour storm from the proposed project. 2) A permit/inspection hold will be in effect until a sketch of the proposed stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that stormwater controls and all disturbed areas must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

The applicant owns a 0.29 -acre parcel (4703-040-044) and according to the MCPA, there is approximately 4,475 sf existing impervious area on-site. The applicant is proposing to add 213 sf for a pool deck. The total

existing and proposed impervious area is 4,688 sf. The site will be approximately 267 sf over the allowed 35% (4,421 sf) per the Marion County LDC. There is no FEMA Special Flood Hazard Areas or Flood Prone Areas on the property. The applicant has proposed a sufficient design for a French drain. Staff recommends approval with conditions.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR 31816

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7/24/2024 Parcel Number(s): 4703-040-044 Permit Number: 2024-06-4664

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Trident Pool: Taub Commercial ☐ Residential ☒
Subdivision Name (if applicable): Orange Blossom Hills Unit 3
Unit 3 Block 40 Lot 44-47 Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Jorge Patrick Taub & Storie Taub
Signature: [Signature]
Mailing Address: 102916 SE 83rd Ave City: Summerfield
State: FL Zip Code: 34491 Phone #: 706-587-6375
Email address: MRS.TAUB2016@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Jennifer's Permitting Service, LLC Contact Name: Jennifer M. Privateer
Mailing Address: 2995 SE 40th St. City: Ocala
State: FL Zip Code: 34480 Phone #: (352) 817-4988
Email address: Jenniferpermitting@yahoo.com

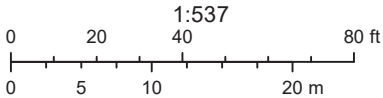
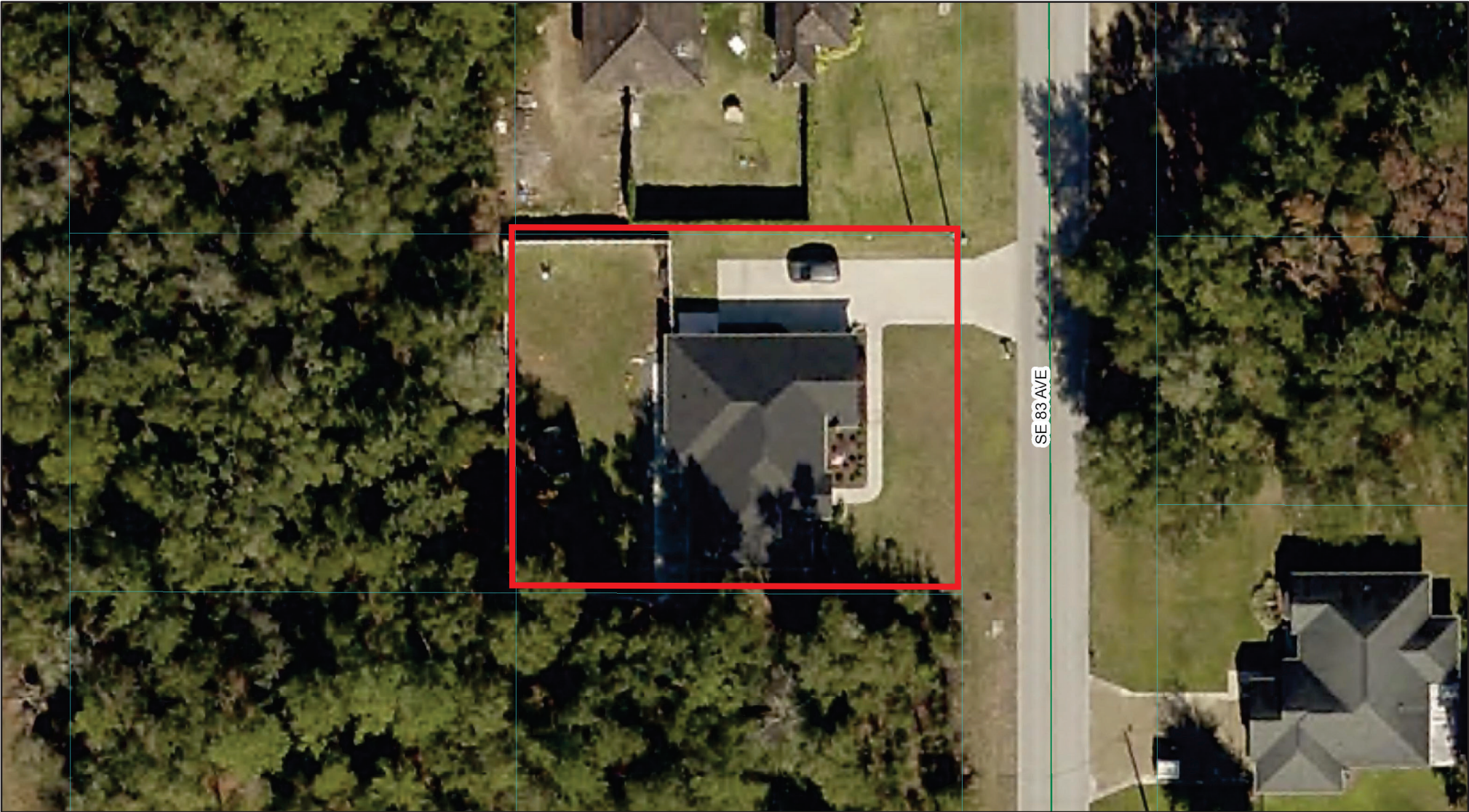
D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.21.1.A ; Waiver to a major site plan
Reason/Justification for Request (be specific): Homeowner proposes an inground pool with deck; existing impervious is 4475 sf on .29 acre lot and the pool deck is additional 213 for a total of 4688 sf of impervious where 4421 sf is allowed; Desire to work with stormwater to address the overage of 267 sf

DEVELOPMENT REVIEW USE:

Received By: Email 7/24/24 Date Processed: 7/25/24 BM Project #: 2024070075 AR #: 31816

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M.: _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____



[Map Title]

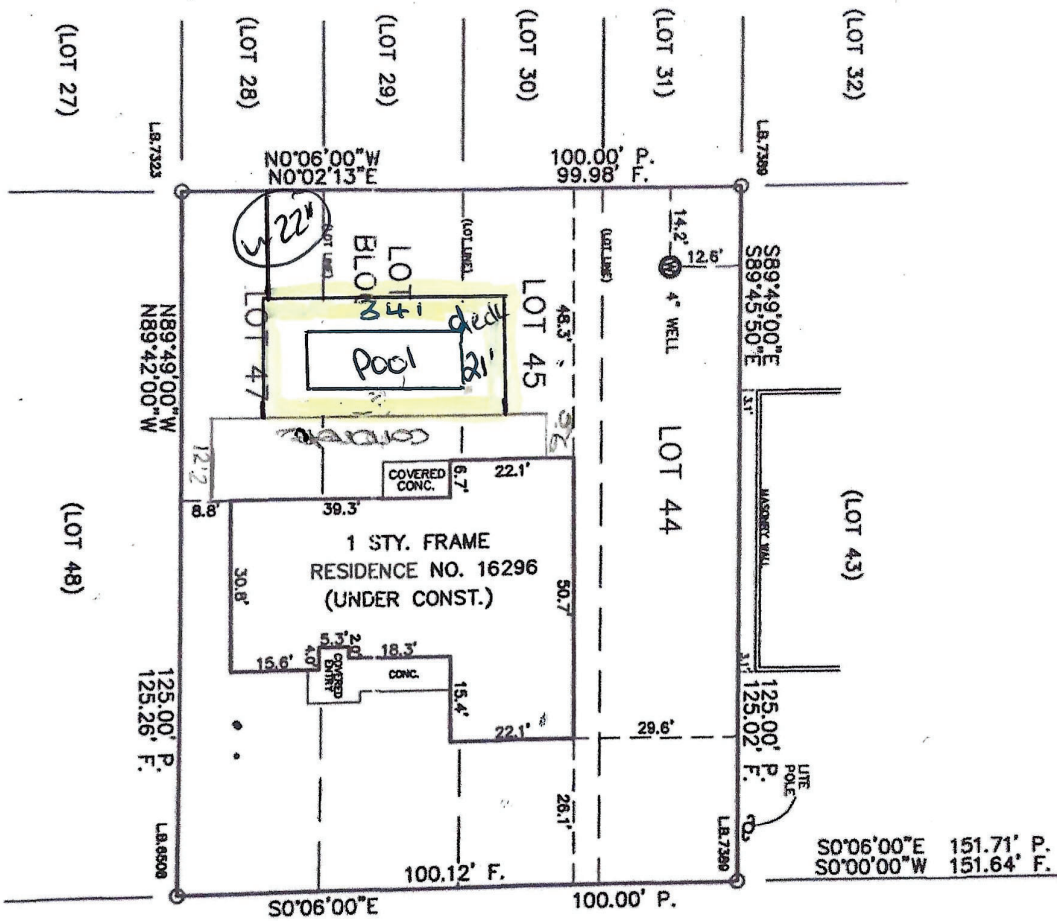
7/24/2024
Marion County Property Appraiser
Marion County, FL

DISCLAIMER: This is a work in progress. This application was compiled by the Marion County Property Appraiser's Office solely for the governmental purpose of property assessment. These are NOT surveys. Our goal is to provide the most accurate data available, however, no warranties, expressed or implied are provided with this data, its use, or interpretation. All information subject to change without notice. Use at your own risk.

9080 SE 161 LANE
SUMMERFIELD, FLORIDA 34491

352/245-5319
SCALE: 1" = 30'

FD. PLAIN C.M.
P.R.M.,P.C.P.



ASPHALT PAVEMENT

60' RIGHT-OF-WAY

S.E. 83^{RD.} AVENUE

PL-11





Marion County

Development Review Committee

Agenda Item

File No.: 2024-16109

Agenda Date: 8/5/2024

Agenda No.: 6.6.

SUBJECT:

Peterson & Smith Guard House - Waiver Request to a Major Site Plan

4747 SW 60th Ave All Units Ocala

Project #2024070066 #31801

Parcel #23834-001-02 Permit #2024051252

McLauchlin & Company

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests waiver because Peterson & Smith Equine Hospital has an approved major site plan dated 4/21/06 which shows the proposed improvements for the site (Parcel #23834-001-02).

The improvements included the main equine hospital building, several horse barns, paddocks, miscellaneous asphalt driveways, parking areas and stormwater retention ponds and structures to accommodate the planned impervious area. The attached site plan differentiates between existing and future improvements and shows the extent of the proposed scope. The overall site is 11.52 acres.

To date, not all the approved buildings on the major site plan have been built. However, all the retention ponds and stormwater structures have been built to accommodate the full approved impervious area of the site. The major site plan that was previously approved a credit of 20,737 square feet of impervious area on file with Marion County Stormwater.

The property owner is requesting approval to build a tiny receiving office that is 12-foot wide by 12-foot long (144 square feet) and add approximately 1,360 square feet of pavement to the property. These two improvements will add 1,504 square feet of impervious area to the property but will not come close to the originally approved impervious area.

We are asking for a waiver to the requirement for a revised major site plan, since these two minor improvements will not come near the already approved impervious area for which the current stormwater system is designed to accommodate. After these minor improvements are completed, there will still be 19,233 square feet of impervious that could be built for the current stormwater system that is in operation. These minor improvements are internal to the site and not visible from SW 60th Avenue. The existing facility is nicely landscaped and is sufficient for this minor request.

August 1, 2024

PROJECT NAME: PETERSON & SMITH GUARD HOUSE

PROJECT NUMBER: 2024070066

APPLICATION: DRC WAIVER REQUEST #31801

- 1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: No issue with Fire
- 2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: Defer to Stormwater.
- 3 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: 1. Comply OCE Stormwater Divisions conditions, and
2. Comply with applicable site development standards, particularly setbacks.
- 4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: APPROVED - MCU service area but water & sewer connection required with the City of Ocala Utilities. Connection will have to be demonstrated to MCU Permitting when the building permit comes through for this structure in order to pass the review and clear.
- 5 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan
STATUS OF REVIEW: INFO
REMARKS: CONDITIONAL APPROVAL. The applicant owns a 11.52 -acre parcel (23834-001-02) and according to the MCPA, there is approximately 69,380 sf existing impervious area on-site. The applicant is proposing to add 1,504 sf for an office + driveway. The total existing and proposed impervious area is 69,380 sf. The site will be approximately 61,884 sf over the allowed 9,000 sf per the Marion County LDC. The current impervious overage has been approved per ARs 897/2261 which allows for an overall total of 111,587 sf of impervious area between three drainage basins. Staff would not be opposed to a waiver to allow for this addition, however a major site plan revision would be needed prior to the construction of the future structures proposed in ARs 897/2261.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR # 31801

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7/15/2024 Parcel Number(s): 23834-001-02 Permit Number: 2024051252

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Peterson & Smith Guard House Commercial ☒ Residential ☐
Subdivision Name (if applicable): N/A
Unit Block Lot Tract

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Peterson & Smith & Matthews & Hahn & Slone PA
Signature: [Signature]
Mailing Address: 4747 SW 60th Ave City: Ocala
State: FL Zip Code: 34474 Phone # (352) 812-4240
Email address: jmade@petersonsmith.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): McLaughlin & Company Contact Name: Clayton Bratcher
Mailing Address: 3019 SW 27th Ave #102 City: Ocala
State: FL Zip Code: 34471 Phone # (352) 873-3900
Email address: cbratcher@mclaughlin.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific):
Reason/Justification for Request (be specific): See next page.

DEVELOPMENT REVIEW USE:

Received By: WALKIN CF Date Processed: 7/23/24 CF Project # 2024070066 AR # 31801

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: ESOZ: P.O.M.: Land Use: Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: Verified by (print & initial):



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code (be specific) _____

Major Site Plans: Sec. 2.21.1. - Applicability

Reason/Justification for Request (be specific): Peterson & Smith Equine Hospital has an approved major site plan dated 4/21/06 which shows the proposed improvements for the site (Parcel #23834-001-02). The improvements included the main equine hospital building, several horse barns, paddocks, miscellaneous asphalt driveways, parking areas and stormwater retention ponds and structures to accommodate the planned impervious area. The attached site plan differentiates between existing and future improvements and shows the extent of the proposed scope. The overall site is 11.52 acres.

To date, not all the approved buildings on the major site plan have been built. However, all the retention ponds and stormwater structures have been built to accommodate the full approved impervious area of the site. The major site plan that was previously approved a credit of 20,737 square feet of impervious area on file with Marion County Stormwater.

The property owner is requesting approval to build a tiny receiving office that is 12' wide x 12' long (144 square feet) and add approximately 1,360 square feet of pavement to the property. These two improvements will add 1,504 square feet of impervious area to the property but will not come close to the originally approved impervious area.

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Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

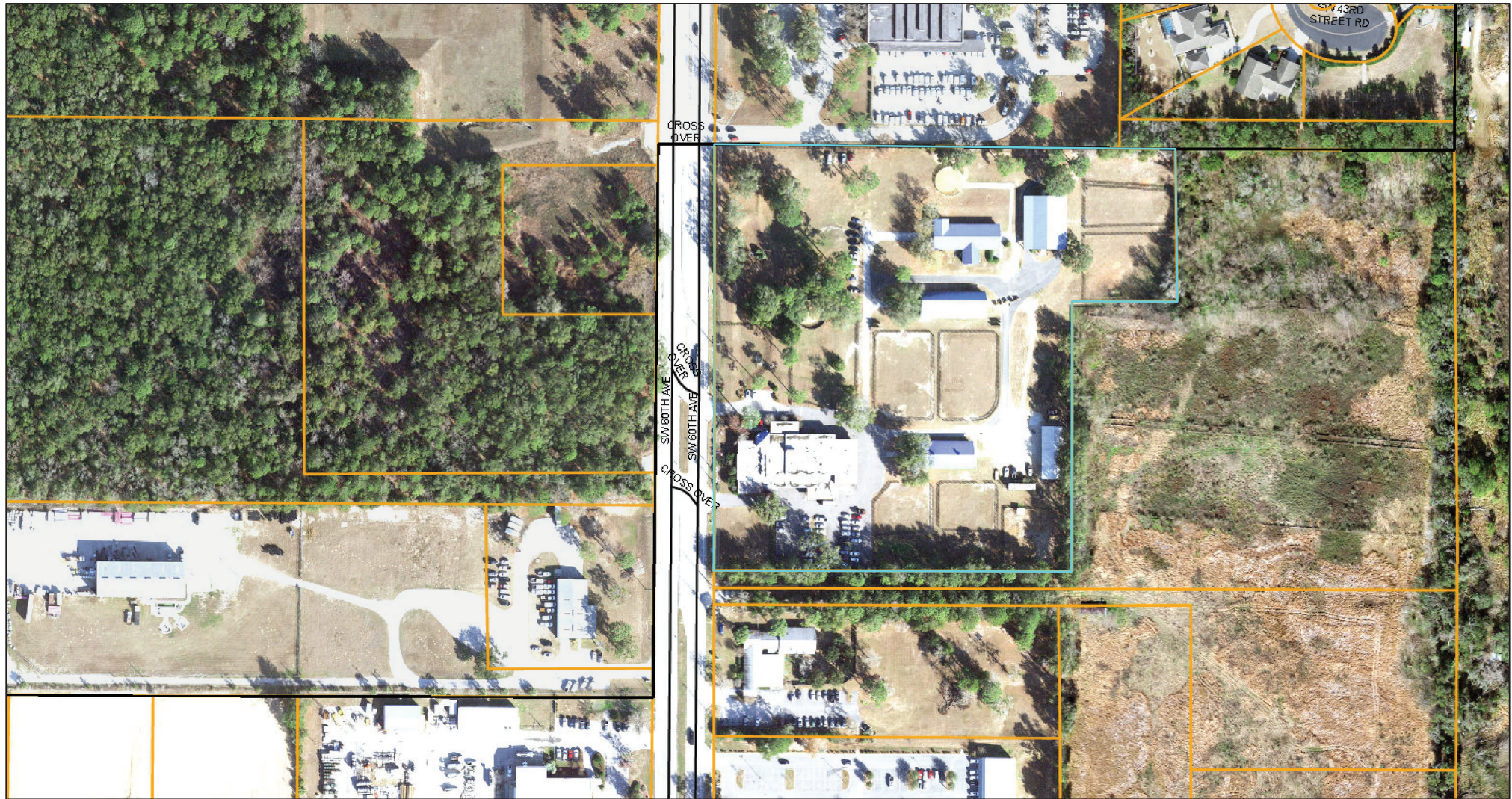
Reason/Justification for Request (be specific): _____

Section & Title of Code (be specific) _____

Reason/Justification for Request (be specific): _____



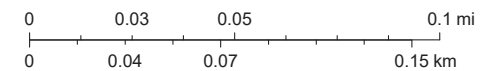
Marion County Florida - Interactive Map



7/23/2024, 8:50:30 AM

	Marion County	County Road Maintenance	Aerial 2023
	Municipalities		OCE Maintained Paved
	Parcels		Not Maintained
			Streets
			Red: Band_1
			Green: Band_2
			Blue: Band_3

1:2,257



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Marion County Board of County Commissioners

This map is provided "as is" without any warranty or representation of accuracy, timeliness, completeness, merchantability, or fitness. The user is responsible for verifying any information and assumes all risk for reliance on any information herein.



Marion County

Development Review Committee

Agenda Item

File No.: 2024-16110

Agenda Date: 8/5/2024

Agenda No.: 6.7.

SUBJECT:

Channel Innovations Relocation - Waiver Request to Major Site Plan

Project #2024070016 #31758

Parcel #9023-0475-26 Permit #2024053360

Fincher Services

Tabled on 7/29/24, applicant was not in attendance.

LDC 2.21.1.A(1) - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to the issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any of the following thresholds: (1) Collectively, all existing and proposed impervious ground coverage equals or exceeds 35 percent of the gross site area or 9,000 square feet.

APPLICANT requests a waiver to the major site plan for concrete slabs. The site will be over the allowed 35 percent (7,013 square feet) per Marion County LDC. Total proposed new impervious area - 780 square feet.

July 23, 2024

PROJECT NAME: CHANNEL INNOVATIONS RELOCATION

PROJECT NUMBER: 2024070016

APPLICATION: DRC WAIVER REQUEST #31758

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: N/A

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: Defer to OCE for impervious addition. However, the applicant need to contact Kenneth Odom at Growth Services department to discuss buffer addition on the SR 35 facing side of the subject parcel. 352-438-2620.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: DEFER TO STORMWATER

ZONING SUPPORTS THE REQUEST PROVIDED ALL REQUIRED SETBACKS ARE MET.

ACREAGE: 0.46

FLU: COM

ZONING: B-4

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: APPROVED - MCU Permitting review of building permit 2024071143 identified mandatory connection to water and sewer forcemain along SE 58th Ave. Approval of this waiver contingent upon satisfying those connections and payment of all connection fees.

5 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: LDC 2.21.1.A(1) - Major Site Plan

STATUS OF REVIEW: INFO

REMARKS: CONDITIONAL APPROVAL subject to working with Stormwater staff under the following conditions: 1) The applicant must provide stormwater control of the additional runoff from the impervious coverage at the 100-year, 24-hour storm from the proposed project. 2) A permit/inspection hold will be in effect until a sketch of the proposed stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that stormwater controls and all disturbed areas must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

The applicant owns a 0.46 -acre parcel (9023-0475-25) and according to the MCPA, there is approximately 11,256 sf existing impervious area on-site. The applicant is proposing to add 780 sf for concrete slabs. The total existing and proposed impervious area is 12,036 sf. The site will be approximately 5,023 sf over the allowed 35% (7,013 sf) per the Marion County LDC. There is no FEMA Special Flood Hazard Areas or Flood Prone Areas on the property. Staff recommends approval with conditions.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

AR #31758

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 6-27-24 Parcel Number(s): 9023-0475-26 Permit Number: 2024053360

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Channel Innovations relocation Commercial ☒ Residential ☐
Subdivision Name (if applicable): SILVER SPRINGS SHORES UNIT 23
Unit _____ Block 475 Lot 25 Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Mark E Schuster
Signature: [Signature]
Mailing Address: 8855 E Broad St City: Reynoldsburg
State: Ohio Zip Code: 43068 Phone #: 614-937-3764
Email address: mschuster@channel-innovations.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): Fincher Services LLC Contact Name: Cassidy Fincher
Mailing Address: 4855 E Broad St City: Reynoldsburg
State: Ohio Zip Code: 43068 Phone #: 352-239-3388
Email address: cassidy@fincherservicesllc.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.21.1.A Major Site Plan
Reason/Justification for Request (be specific): Applicant requests a waiver to the major site plan for concrete slabs. The site will be over the allowed 35% (7,013 sf) per Marion County LDC.

Total proposed new impervious area - 780 SqFt

DEVELOPMENT REVIEW USE:

Received By: Email 7/4/24 Date Processed: 7/8/24 CF Project #: 2024070016 AR #: 31758

ZONING USE: Parcel of record: Yes ☐ No ☐ Eligible to apply for Family Division: Yes ☐ No ☐
Zoned: _____ ESOZ: _____ P.O.M. _____ Land Use: _____ Plat Vacation Required: Yes ☐ No ☐
Date Reviewed: _____ Verified by (print & initial): _____



**Marion County
Board of County Commissioners**

Building Safety • Licensing

2710 E. Silver Springs Blvd.
Ocala, FL 34470
Phone: 352-438-2400

LIMITED POWER OF ATTORNEY

I, Mark Schuster hereby appoint Cassidy Fincher
(Owner name) (Appointee name)

To be my lawful attorney-in-fact to act for me and apply to Marion County Building Safety for a permit to perform construction, at a location described below:

Parcel no.: 9023-0475-26 Lot: _____ Block: _____

Subdivision: _____ Unit: _____

Job address: 2685 SE 58th Avenue, Ocala, FL 34480

Job description: _____

Property owner: Mark E Schuster Holding Company LLC

And to sign my name, and do all things necessary to this appointment as it pertains to Marion County Building Safety and Marion County Growth Services.

Owner: Mark E Schuster
Printed full name (First name, MI, Last name)

[Signature]
(Signature of Owner)

STATE OF OHIO, County of Licking

The foregoing instrument was acknowledged before me by means of physical presence or online notarization,
this 27th day of June 2024,

by Scott Krole
(Name of person making statement)

[Signature]
(Signature of notary public - state of Ohio)

(Print, type, or stamp commissioner's name)



Scott Krole
Notary Public, State of Ohio
Commission #: 2023-RE-859618
My Commission Expires 02/14/28

- ☒ Personally Known
☐ Produced Identification

(Type of Identification Produced)

LIC14 REV 1-25-20

Empowering Marion for Success

www.marioncountyfl.org



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation

CHANNEL INNOVATIONS CORPORATION

Filing Information

Document Number	S30137
FEI/EIN Number	59-3047691
Date Filed	02/05/1991
Effective Date	01/30/1991
State	FL
Status	ACTIVE

Principal Address

2685 SE 58th Avenue
OCALA, FL 34480

Changed: 03/24/2024

Mailing Address

2685 SE 58th Avenue
OCALA, FL 34480

Changed: 03/24/2024

Registered Agent Name & Address

Flammang, Donna
8891 Brighton Lane
Suite 112
Bonita Springs, FL 34135

Name Changed: 03/24/2024

Address Changed: 03/24/2024

Officer/Director Detail

Name & Address

Title President

Schuster, Mark E
2685 SE 58th Avenue
OCALA, FL 34480

Annual Reports

Report Year	Filed Date
2022	03/10/2022
2023	03/27/2023
2024	03/24/2024

Document Images

03/24/2024 -- ANNUAL REPORT	View image in PDF format
03/27/2023 -- ANNUAL REPORT	View image in PDF format
03/10/2022 -- ANNUAL REPORT	View image in PDF format
03/01/2021 -- ANNUAL REPORT	View image in PDF format
03/09/2020 -- ANNUAL REPORT	View image in PDF format
02/18/2019 -- ANNUAL REPORT	View image in PDF format
02/20/2018 -- ANNUAL REPORT	View image in PDF format
03/06/2017 -- ANNUAL REPORT	View image in PDF format
01/26/2016 -- ANNUAL REPORT	View image in PDF format
01/14/2015 -- ANNUAL REPORT	View image in PDF format
02/11/2014 -- ANNUAL REPORT	View image in PDF format
01/10/2013 -- ANNUAL REPORT	View image in PDF format
02/15/2012 -- ANNUAL REPORT	View image in PDF format
01/11/2011 -- ANNUAL REPORT	View image in PDF format
03/08/2010 -- ANNUAL REPORT	View image in PDF format
04/25/2009 -- ANNUAL REPORT	View image in PDF format
01/24/2008 -- ANNUAL REPORT	View image in PDF format
01/09/2007 -- ANNUAL REPORT	View image in PDF format
02/27/2006 -- ANNUAL REPORT	View image in PDF format
03/17/2005 -- ANNUAL REPORT	View image in PDF format
03/22/2004 -- ANNUAL REPORT	View image in PDF format
04/17/2003 -- ANNUAL REPORT	View image in PDF format
03/26/2002 -- ANNUAL REPORT	View image in PDF format
03/15/2001 -- ANNUAL REPORT	View image in PDF format
04/18/2000 -- ANNUAL REPORT	View image in PDF format
04/01/1999 -- ANNUAL REPORT	View image in PDF format
02/25/1998 -- ANNUAL REPORT	View image in PDF format
03/04/1997 -- ANNUAL REPORT	View image in PDF format
06/14/1996 -- ANNUAL REPORT	View image in PDF format
02/21/1995 -- ANNUAL REPORT	View image in PDF format



SE 58th Ave

Total Proposed New additional impervious area - 780 Sq Ft

Parcel 9023-6475-25
Date 6/3/24

Existing driveway - 1081 Sq Ft

Proposed Concrete Pad -
1414 Sq Ft

Added Sq ft - 333 Sq Ft

Existing concrete pad - 132 Sq Ft

Existing concrete pad - 194 Sq ft

Existing concrete pad - 333 Sq Ft

Added Sq Ft - 447 Sq Ft

Proposed Concrete Pad - 480 Sq Ft

Not crossing any property lines

*not to scale



Marion County

Development Review Committee

Agenda Item

File No.: 2024-16111

Agenda Date: 8/5/2024

Agenda No.: 6.8.

SUBJECT:

Barbara D Swoap - Waiver Request for Family Division
11375 SE 108th Terrace Rd Belleview
Project #2024030054 #31812 Parcel #39396-001-01
Jason Swoap

LDC 2.16.1.B(10) - Family Division

CODE states Family Division. A parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside of the Farmland Preservation area each new tract and the remaining parent tract must be at least one acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are low density residential property exceeding two acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be allowed to be divided more than three times as a family division. Minimum access onto a road or street shall be 40 feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision to the same family member more than once every five years shall be permitted. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process.

APPLICANT requests family division to amend a previously approved family division for 1 acre (AR# 31315) to give 3 acres to son Jason for his primary residence.

August 2, 2024

PROJECT NAME: BARBARA D SWOAP

PROJECT NUMBER: 2024030054

APPLICATION: FAMILY DIVISION WAIVER REQUEST #31812

- 1 DEPARTMENT: 911 - 911 MANAGEMENT
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED
- 2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: N/A
- 3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: 8/1/24-Defer to Zoning
- 4 DEPARTMENT: ENGDRN - STORMWATER REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: Approved. The applicant is requesting to divide the 12.56-acre subject parcel (PID 39396-001-01) into two to create a 9.56-acre parcel and a 3-acre parcel. Adjacent parcels range in size from 1.97 acres to 27.12 acres.
There appears to be approximately 10,720 sf existing impervious coverage on subject parcel. There is a FEMA Flood Zone (Zone A) and a Flood Prone Area (BFE 58.1) covering most of the property. The applicant should note that a Major Site Plan or waiver is required when either parcel is proposed to exceed 9,000 sf impervious site coverage. In addition, any fill that is brought into the FEMA flood zone or the flood prone area, the applicant will need to remove at least an equal amount of fill from the flood zone/flood prone area.
- 5 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: N/A
- 6 DEPARTMENT: ENGTRF - TRAFFIC REVIEW
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: APPROVED
- 7 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: 2.16.1.B(10) - Family Division
STATUS OF REVIEW: INFO
REMARKS: PROPOSED CONDITION - there is MCU public-available water main along SE 108th Terrace Rd. LDC 6.14.2.B(1)(a) will require a public water connection if the family division is approved, and there is a structure permitted for the new parcel. IMPORTANT NOTE: if additional structures requiring water/wastewater needs are permitted on parcel 39396-001-01, the public water connection will be required of ALL structures onsite; the well can remain for irrigation only. There is no public sewer available at this

time; defer all wastewater issues to FL Dept of Health (DOH) - this parcel is within the State's BMAP & requires improved septic tankage and conventional septic tanks will not be allowed by FL law effective 7/1/23 - DOH 352-629-0137x6.



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

APPLICATION COMPLETE

COMPLETED 7/24/24
INITIALS *[Signature]*

TENTATIVE MEETING DATES

DRC 8/05/24
P&Z PH

BCC/P&Z PH

RECEIVED

JUL 24 2024

Marion County
Growth Service

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 7-24-24 Parcel Number(s): 39396-001-01 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Swoap Family Division Commercial ☐ or Residential ☒
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Barbara Swoap Chris Swoap
Signature: *[Signature]*
Mailing Address: 4375 SE 108th Terrace Rd City: Belleview
State: FL Zip Code: 34420 Phone #: 352-598-4480
Email address: Wouho29@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): _____ Contact Name: Jason Swoap (son)
Mailing Address: 9394 SE 108th PL City: Belleview
State: FL Zip Code: 34420 Phone #: 352-537-9095
Email address: jswoap@embarqmail.com

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.16.1.B(10) - Family Division for Jason Swoap
Reason/Justification for Request (be specific): Previously heard & approved under AR # 31815 however this new waiver is to request 3 acres instead of the approved 1 acre. Also code sec 6.14.2B(1)(a) water connection - because of the distance from the roadway where the water main is to the new house is proposed to be 1,350 ft which will not provide adequate pressure for water to the house. I have also attached an estimate.

DEVELOPMENT REVIEW USE:

Received By: Chauco Date Processed: 7/24/24 Project #: 2024030054 AR #: 31812

ZONING USE: Parcel of record: Yes ☒ No ☐ Eligible to apply for Family Division: Yes ☒ No ☐

Zoned: A-1 ESOZ: yes P.O.M. 274 Land Use: Rural Plat Vacation Required: Yes ☐ No ☒

Date Reviewed: 7/24/24 Verified by (print & initial): Chauco Cristina Franco





**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

April 1, 2024

SWOAP BARBARA D
SWOAP CHRIS
11375 SE 108TH TERRACE RD
BELLEVIEW, FL 344203684

SUBJECT: **WAIVER STATUS LETTER**
PROJECT NAME: BARBARA D SWOAP
PROJECT #2024030054 APPLICATION #31315 PARCEL #39396-001-01

Dear SWOAP BARBARA D :

The following waiver for the above referenced project was reviewed by the Development Review Committee on April 1, 2024 and the decision was as follows:

LDC 2.16.1.B(10) - Division of Land

CODE states Family Division. A parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside of the Farmland Preservation area each new tract and the remaining parent tract must be at least one acre in size. In the Urban Area, only parcels of record as of January 1, 1992 which are low density residential property exceeding two acres in size may be divided for the use of immediate family members for their primary residences up to the maximum density of one dwelling unit per gross acre. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child, or grandchild. A parcel of record shall not be allowed to be divided more than three times as a family division. Minimum access onto a road or street shall be 40 feet in width and shall be provided by recorded deed or by recorded non-exclusive easement. No subdivision to the same family member more than once every five years shall be permitted. Any subdividing of a parcel of record for the purpose of family division shall follow the waiver request process. APPLICANT requests family division to deed 1 acre to son for primary residence.

APPROVED with understanding that this is an ESOS area adjacent to flood plains, the new parcel with be required to have its own well and septic, water connection will be required, nitrogen reducing system will need to be installed, and a shared easement will need to be identified

Please contact the Zoning Division of the Growth Services Department at (352) 438-2675 to complete the family division process. This waiver will expire two years after DRC approval unless execution of the family division affidavit and property transfer has occurred.

Feel free to contact the Office of the County Engineer at (352) 671-8686 or DevelopmentReview@marionfl.org should you have questions.

Sincerely,
Your Development Review Team
Office of the County Engineer

PRO PLUMBERS INC.

PROPOSAL

THREE GENERATIONS OF PLUMBING EXPERIENCE
LICENCED AND INSURED CERTIFIED PLUMBING CONTRACTOR
LIC# CFC1427444

SOLD TO

Jodi swoap
Family parcel off of.
11375 se 108th terrace rd
Bellevue fl 34420

PROPOSAL NUMBER

PROPOSAL DATE

June 21, 2024

OUR ORDER NO

YOUR ORDER NO

TERMS

SALES REP

SHIPPED VIA

F O B

PREPAID or COLLECT

QUANTITY	DESCRIPTION	UNIT PRICE	AMOUNT
	Proposed to run 1350 feet of 2 inch pvc pipe for water service at \$20 per foot total cost of labor and material \$27,000.00		
		TOTAL	27,000.00



**Marion County
Board of County Commissioners**

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

APPLICATION COMPLETE

COMPLETED
INITIALS QDW

TENTATIVE MEETING DATES

DRC
P&Z PH

4/01/24

BCC/P&Z PH

RECEIVED

MAR 19 2024

MC GROWTH SERVICES

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: _____ Parcel Number(s): 39396-001-01 Permit Number: _____

A. PROJECT INFORMATION: Fill in below as applicable:

Project Name: Barbara Swoap/Chris Swoap Commercial ☐ or Residential ☒
Subdivision Name (if applicable): _____
Unit _____ Block _____ Lot _____ Tract _____

B. PROPERTY OWNER'S AUTHORIZATION: The property owner's signature authorizes the applicant to act on the owner's behalf for this waiver request. The signature may be obtained by email, fax, scan, a letter from the property owner, or original signature below.

Name (print): Barbara Swoap Chris Swoap
Signature: Barbara Swoap
Mailing Address: 11375 SE 105th Terrace RD City: Belleview
State: FL Zip Code: 34420 Phone #: 352-598-4480
Email address: Wawho29@gmail.com

C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive all correspondence.

Firm Name (if applicable): same as above Contact Name: _____
Mailing Address: _____ City: _____
State: _____ Zip Code: _____ Phone #: _____
Email address: _____

D. WAIVER INFORMATION:

Section & Title of Code (be specific): 2.16.1.B(10) - Family Division
Reason/Justification for Request (be specific): Deed to son for primary residence

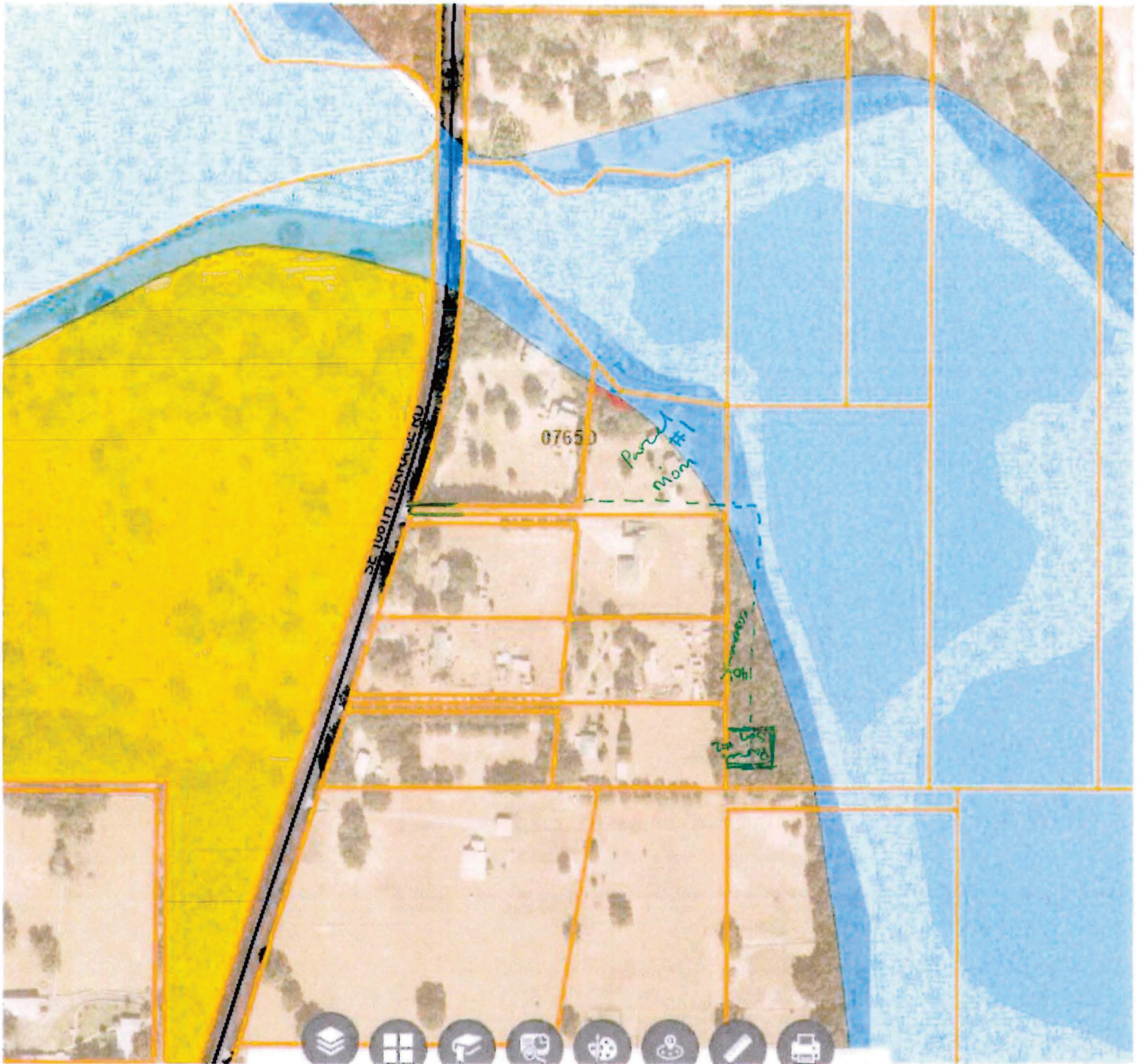
DEVELOPMENT REVIEW USE:

Received By: QDW Date Processed: 3/20/24 Project #: 2024030054 AR #: 31315

ZONING USE: Parcel of record: Yes ☒ No ☐ Eligible to apply for Family Division: Yes ☒ No ☐

Zoned: A-1 ESOZ: NA P.O.M.: 274 Land Use: Rural Plat Vacation Required: Yes ☐ No ☒

Date Reviewed: 3/19/24 Verified by (print & initial): Cynthia Gurr



MCBCC Interactive Map - Internal



3/20/2024, 12:32:02 PM

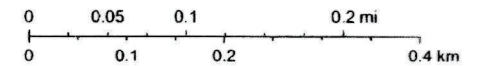
- Parcels Labels
- Parcels
- Address Points
 - Structure - Addressed
 - Structure - Confidential Address

- No Address
- Tower
- Vacant with Address
- WRA/DRA

- WELL
- Marion County
- County Road Maintenance
- OCE Maintained Paved
- Not Maintained

- Streets
- Aerial2023
- Red: Band_1
- Green: Band_2
- Blue: Band_3

1:5,733



Marion County IT GIS Team, Marion County Property Appraiser, Esri Community Maps Contributors, Marion County Property Appraiser, FDEP, OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc., METINASA, USGS, EPA, NPS.

MCBCC IT/GIS
FOR INTERNAL COUNTY USE ONLY: MAY CONTAIN CONFIDENTIAL INFORMATION. IMPROPER DISCLOSURE MAY RESULT IN CRIMINAL PENALTIES (F.S. 119.10).



Marion County

Development Review Committee

Agenda Item

File No.: 2024-16112

Agenda Date: 8/5/2024

Agenda No.: 6.9.

SUBJECT:

Portion of east 30' of Centre Street aka SE 136th Court in South Lake Weir - Road Closing / Abrogation

16180 SE 137th Ct Weirsdale

Project #2024020055 #31164 Parcel #4984-007-000

Weirsdale Presbyterian Church

On 7/15/24 this item was approved subject to an easement being granted for the southern parcel with the driveway and providing a certified survey showing that all parcels are not one lot in block six.

Applicant now requests amending the original application to seek abrogation of the original segment of SE 136th Court (formerly Centre Street), less and except the South 293 feet thereof which will maintain (along its west side) the public right of way between Blocks 6 and 7 of South Lake Weir along the entire east line of Marion County Parcel 4984-006-001 (a distance of 253 feet) and provide the minimum frontage of 40 feet to the remainder of Lot 4, Block 6, and all of Lot 6 and the south 91 feet of Lot 3, Block 7 (on its east side). My understanding from the discussions with DRC is that this would be an acceptable option to alleviate any concerns over landlocking said Lots 4 and 3 as a result of the presumed adoption of a formal resolution by the Board of County Commissioners.

Previously Applicant had requested to close road/ally/W 1/2 of road previously closed in 1956 (DB 340, page 514); complete road closure will allow petitioner to clear portions of trail road (infrequently used) encroaching onto Petitioner's property and will help prevent illegal dumping by others for which Petitioner recently received a code enforcement violation and will allow Petitioner to better secure and protect property used to conduct Boy Scout and other related activities.

February 22, 2024

PROJECT NAME: ROAD/ALLY TO BE CLOSED

PROJECT NUMBER: 2024020055

APPLICATION: ROAD CLOSING / ABROGATION #31164

1 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Road Closing

STATUS OF REVIEW: INFO

REMARKS: APPROVED

Please be aware: The road that is listed as SE 138th Court is actually SE 136th Court. The paperwork states SE 138th Court but should be listed as SE 136th Court.

2 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Road Closing

STATUS OF REVIEW: INFO

REMARKS: Approved

3 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Road Closing

STATUS OF REVIEW: INFO

REMARKS: n/a

4 DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: Road Closing

STATUS OF REVIEW: INFO

REMARKS: The Petitioner is requesting to abrogate the east 30' of Centre Street (aka SE 138th Court) between Grove Avenue and Myrtle Avenue, Map of South Lake Weir, Plat Book E, Page 37. The west ½ of the portion proposed to be closed was previously abrogated in 1956. Additionally, the Petitioner agrees to grant a utility easement to Marion County Utilities, in the event of a water system expansion from the current system.

5 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: Road Closing

STATUS OF REVIEW: INFO

REMARKS: Conditional approval so that no portion of the closing creates any land locked parcel

6 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Road Closing

STATUS OF REVIEW: INFO

REMARKS: W 30' abrogated previously by owner to the west of subject parcel. This abrogation would complete the process and will not result in any non conformance or land locked parcels.

7 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: Road Closing

STATUS OF REVIEW: INFO

REMARKS: DENIED - It appears there are several lots that will not have legal access if this closing is approved.

- 8 DEPARTMENT: ZONE - ZONING DEPARTMENT
REVIEW ITEM: Road Closing
STATUS OF REVIEW: INFO
REMARKS: Zoning approves this request based on the condition that no portion of the closing creates any land locked parcel.
- 9 DEPARTMENT: UTIL - MARION COUNTY UTILITIES
REVIEW ITEM: Road Closing
STATUS OF REVIEW: INFO
REMARKS: APPROVED - conditional to stated easement requirement and receipt and processing of easement by Property Management with cc: to MCU.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

INTERDEPARTMENTAL CORRESPONDENCE

February 13, 2024

Subject: Petition to Close and Abandon Road(s)/Alley(s)
Location: Map of South Lake Weir
Roads to be abrogated: Portion of east 30' of Centre Street aka SE 138th Court

The attached petition is scheduled to be considered by the Development Review Committee on **February 26, 2024**. If you have any questions regarding the petition, please contact Kelly Roberts at (352) 342-6324.

Right of Way and Property Management Comments:

The Petitioner is requesting to abrogate the east 30' of Centre Street (aka SE 138th Court) between Grove Avenue and Myrtle Avenue, Map of South Lake Weir, Plat Book E, Page 37. The west ½ of the portion proposed to be closed was previously abrogated in 1956. Additionally, the Petitioner agrees to grant a utility easement to Marion County Utilities, in the event of a water system expansion from the current system



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave.
Ocala, FL 34471
Phone: 352-671-8686
Fax: 352-671-8687

Application for Road(s) / Alley(s) Closing

Chapter 336 F.S. provides that before any such road(s) shall be closed and vacated, or before any right or interest of the county or public in any land delineated on any recorded map or plat as a road(s) shall be renounced and disclaimed, the commissioners shall hold a public hearing, and shall publish notice thereof, one time, in a newspaper of general circulation in such county at least 2 weeks prior to the date stated therein for such hearing. After such public hearing, any action of the commissioners, as herein authorized, shall be evidenced by a resolution duly adopted and entered upon the minutes of the commissioners. The proof of publication of notice of public hearing, the resolution as adopted, and the proof of publication of the notice of the adoption of such resolution shall be recorded in the deed records of the county.

All information must be typed or legibly written

1. APPLICANT INFORMATION:

Date: August 20, 2023

Applicant: Weirsdale Presbyterian Church

Address: PO Box 269

City: Weirsdale State: Florida Zip Code: 32195-0269

Agent / Contact: Kaye J. Boyer (Property Committee Chair on behalf of Weirsdale Presbyterian Church)

Address: PO Box 527

City: Weirsdale State: Florida Zip Code: 32195-0527

Phone Number: 352.821.2536 Fax Number: N/A

Cell Number: 352.816.4857 E-mail: katiesdaisies@aol.com

2. PROPERTY INFORMATION:

Road(s) / Alley(s) to be closed: E 30' of Centre St (SE 138 Ct) between Grove (SE 162 Pl) & Myrtle (SE 161 Ln)

Parcel Number(s): 4984-007-00

Subdivision Name: Map of South Lake Weir Sec/Twp/Range: 29 / 17 / 24

Plat Bk/Pg: E / 37 Unit/Block/Lot: N/A / 7 / 1 - 8

Attach a plat or current property ownership map and an aerial photo that includes the requested property highlighted and the surrounding area. Property ownership map and aerial photo may be printed from the Marion County website at:
<https://maps.marioncountyfl.org/interactivemap/>

3. PURPOSE / REASON FOR REQUEST TO CLOSE ROAD(S) – check all that apply and describe below:

☐ Has never been opened or constructed

☐ Divides Applicant's property

☐ Transfer Development Rights

☐ Consolidate properties

☐ To redevelop

☒ To clear an existing encroachment

☒ Other

W 1/2 of road previously closed in 1956 (DB 340, page 514); complete road closure will allow petitioner to clear portions of trail road (infrequently used) encroaching onto Petitioner's property and will help prevent illegal dumping by others for which Petitioner recently received a code enforcement violation and will allow Petitioner to better secure and protect property used to conduct Boy Scout and other related activities.

Form RC-AP

PETITION TO CLOSE AND ABANDON ROAD(S) / ALLEY(S)

Whereas, Weirsdale Presbyterian Church herewith petitions the Board of County Commissioners of Marion County, Florida, to adopt a Resolution declaring a Public Hearing for the purpose of considering the closing and abandonment of the following described road(s) pursuant to the provisions in Chapter 336, Florida Statutes, to wit:

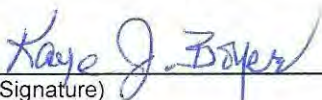
See Attached Exhibit 'A'

Whereas, Petitioner hereby states and represents the above described road(s) / alley(s) proposed for closing and abandonment does not constitute a portion of Federal or State Highway Systems nor was the land contained in the above description acquired for the State of Federal Highway system; and

Now therefore, Petitioner respectfully requests the Board of County Commissioners to adopt a resolution to close and abandon the road(s) / alley(s) above described, in accordance with the provisions of Chapter 336, Florida Statutes, to adopt and record a Resolution declaring a Public Hearing for the purpose of considering the closing and abandonment of the same.

DATE: August 20, 2023

PO Box 269 Weirsdale, FL 32195
(Address)

BY: 
(Signature)

PO Box 269 Weirsdale, FL 32195
(Address)

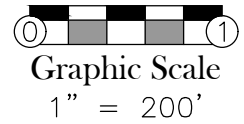
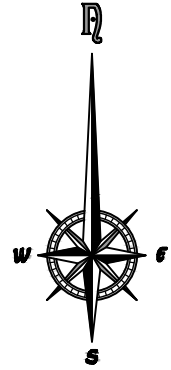
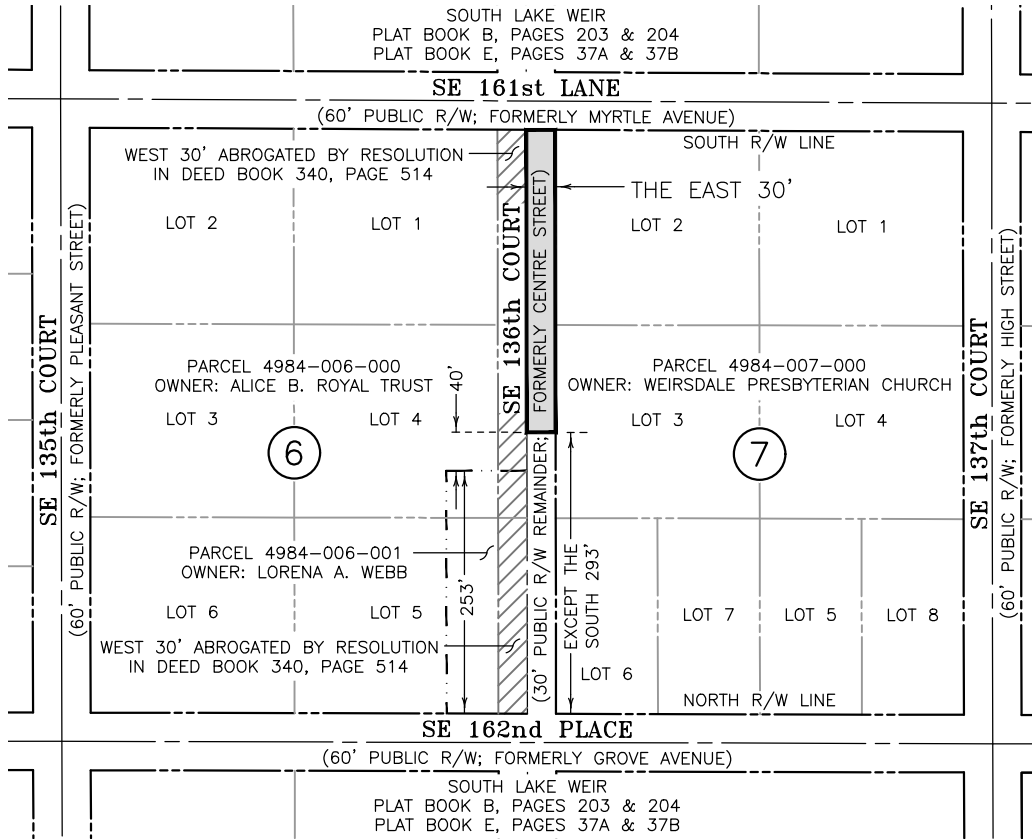
Kaye J. Boyer, Property Chair
(Print Name)

352.821.2757
(Phone)


(Signature)

Angela Pecor, Clerk of Session
(Print Name)

EXHIBIT "A"



LEGEND:

N = NORTH
S = SOUTH
E = EAST
W = WEST
R/W = RIGHT-OF-WAY

⑦ = BLOCK IDENTIFICATION

NOTES:

- THIS SKETCH IS PREPARED FOR THE PURPOSE OF DESCRIBING AND DEPICTING THE PORTION OF S.E. 136TH COURT (FORMERLY CENTRE STREET) PROPOSED TO ACCOMPANY AN APPLICATION TO CLOSE AND ABANDON ROADS IN ACCORDANCE WITH THE REQUIREMENTS PRESCRIBED BY MARION COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA.
- THIS SKETCH DOES NOT REPRESENT A SURVEY OF ANY KIND AS DEFINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.
- THIS SKETCH WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY NOT INDICATE CURRENT OWNERSHIP, ENCUMBRANCES, OR OTHER MATTERS OF RECORD.
- COPIES OF THIS SKETCH ARE INVALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL SURVEYOR & MAPPER LISTED HEREON.

DESCRIPTION:

THAT PORTION OF THE EAST 30 FEET OF S.W. 136TH COURT (FORMERLY KNOWN AS CENTRE STREET) LYING BETWEEN THE NORTH RIGHT-OF-WAY LINE OF S.E. 162ND PLACE (FORMERLY KNOWN AS GROVE AVENUE) AND THE SOUTH RIGHT-OF-WAY LINE OF S.E. 161ST LANE (FORMERLY KNOWN AS MYRTLE AVENUE) AND LYING IMMEDIATELY WEST OF AND ADJACENT TO BLOCK 7 OF THE MAP OF SOUTH LAKE WEIR, ACCORDING TO THE PLATS THEREOF AS RECORDED IN PLAT BOOK B, PAGES 203 & 204, AND IN PLAT BOOK E, PAGES 37A & 37B, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 293 FEET THEREOF.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS SKETCH IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT IT MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

R. KELLY ROBERTS

PROFESSIONAL SURVEYOR AND MAPPER NO. 5558
STATE OF FLORIDA

DATE SIGNED: JULY 24, 2024

R. KELLY ROBERTS

• PROFESSIONAL SURVEYOR & MAPPER •
FLORIDA CERTIFICATE NO. 5558

5420 NE 2ND LANE, OCALA, FLORIDA 34470
352.342.6324

SCALE: 1" = 200'

DATE: 06.06.2024

CHECKED: RKR

DRAWN: RKR

FIELD BOOK: N/A

PAGE.: N/A

DATUM: SPC.FL.W

SKETCH OF DESCRIPTION

FOR

WEIRSDALE
PRESBYTERIAN CHURCH

SECTION 29, TOWNSHIP 17 SOUTH, RANGE 24 EAST,
MARION COUNTY, FLORIDA

MARION COUNTY UTILITIES
LETTER OF NO OBJECTION

To: Development Review Officer
Marion County Utilities
11800 SE U.S. Highway 441
Belleview, FL 34420
Utilities@marionfl.org
Phone: 352-307-6168
Fax: 352-307-4623

Date: August 20, 2023

From: Kaye J. Boyer, Property Chair
Weirsdale Presbyterian Church
PO Box 269
Weirsdale, Florida 32195-0269

RE: Road Closing Application

Location: NE 1/4 of Section 29-17-24 (West of Parcel 4984-007-000)

Weirsdale Presbyterian Church intends to petition the Marion County Board of County Commissioners to consider the closing and abandonment of the road(s) / alley(s) described as The East 30' of Centre Street (aka SE 138th Court) lying between the N R/W line of Grove Ave (SE 162nd Place) and the S R/W line of Myrtle Street (SE 161st Lane) lying W of and adjacent to Block 7 of South Lake Weir (E/37)

An easement for any existing utilities currently located within the vacated area will be reserved.

Enclosed for your reference and review is a location map highlighting the road(s) / alley(s) proposed to be closed and abandoned.

FOR COUNTY USE ONLY

Does Marion County Utilities object to the proposed Road Closing? ☐ Yes ☒ No
If yes, please explain below:

Conditional to retaining a 30 foot dedicated utility easement in the event of water system expansion from the current system

Please specify below the Utility Company(s) that Marion County Utilities requires a "No Objection" letter from, if any:

[Signature]
Signature
Jody C. Kirkman, P.E.
Print Name

Utilities Director
Title
12/12/23
Date

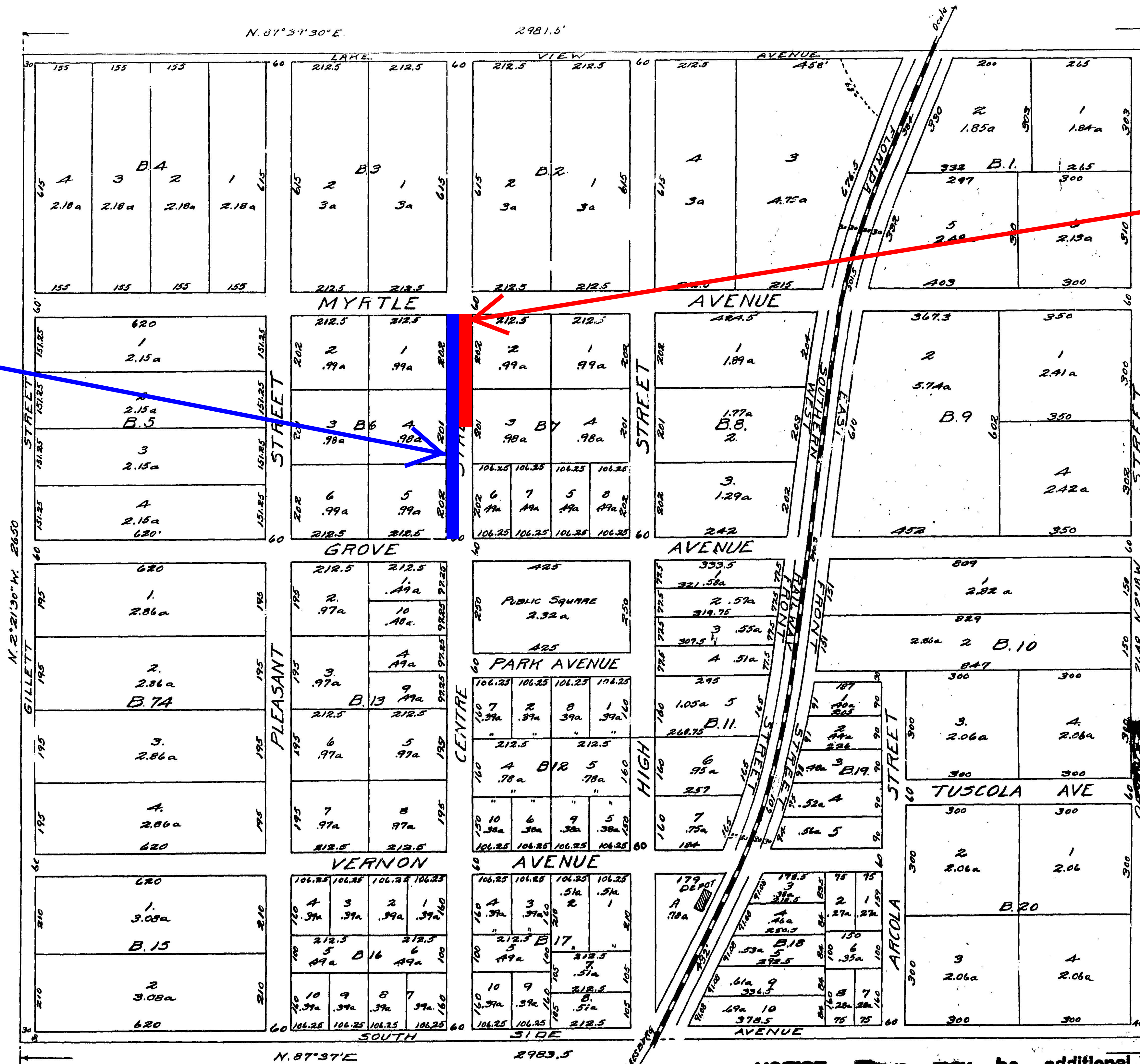
Enclosures: Location Map

Form RC-MCU

E-37A

West 30' of Centre Street
aka SE 138th Court
abrogated by Resolution in
Deed Book 340, Page 514

Portion of Centre Street aka
SE 138th Court
proposed to be abrogated



MAP OF

SOUTH LAKE WEIR

N.W. 1/4 and West 1/2 of N.E. 1/4 of Sec. 28 and N.E. 1/4 of Sec. 29
T.17, South R. 24, E.

SCALE 200 FT - ONE INCH

NOTICE: There may be additional
restrictions that are not recorded on this
plat that may be found in the public
records of this County.

H. J. Campbell?
Civil Engineer

For partial abrogation
see DB 340 pg 514

This Plat is a true copy
of the original recorded in
BOOK PAGE
T. 17, S. 24, E.

Location Map

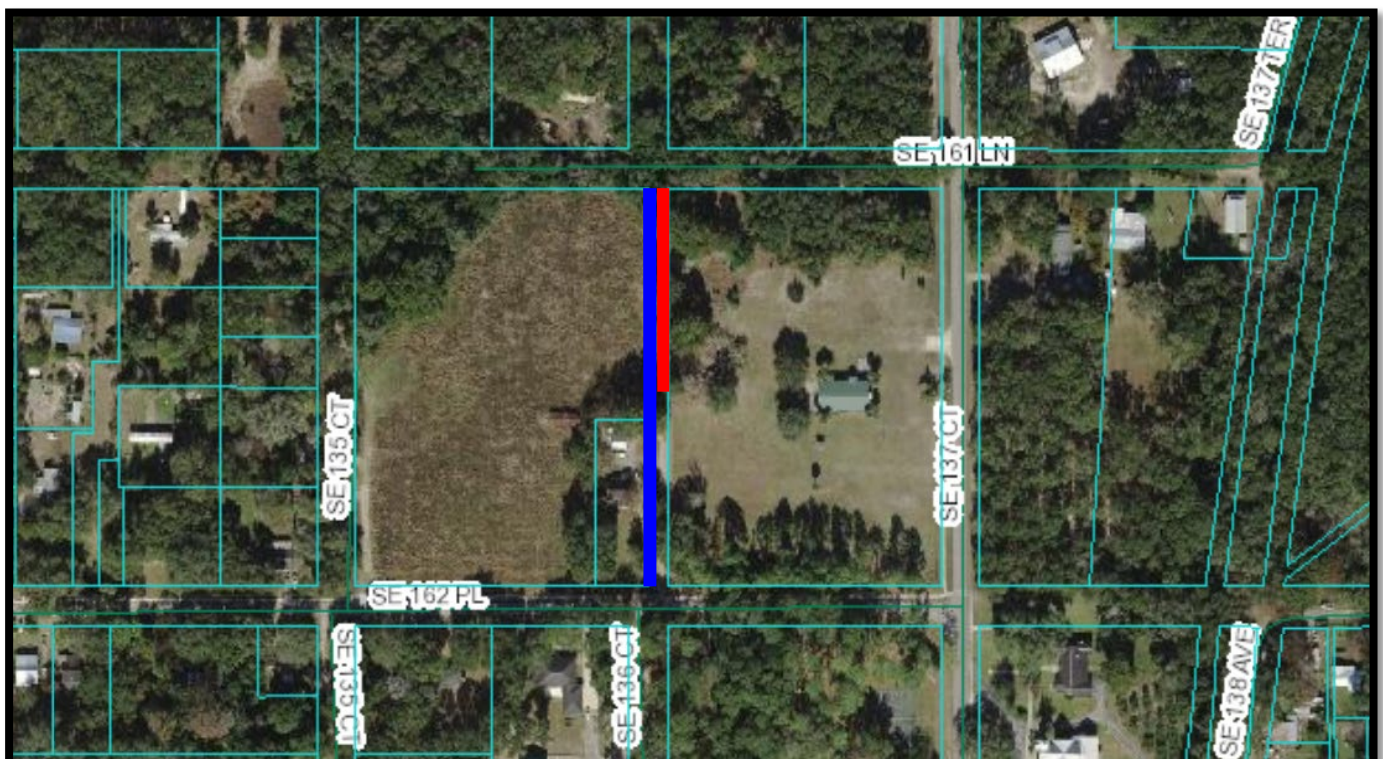
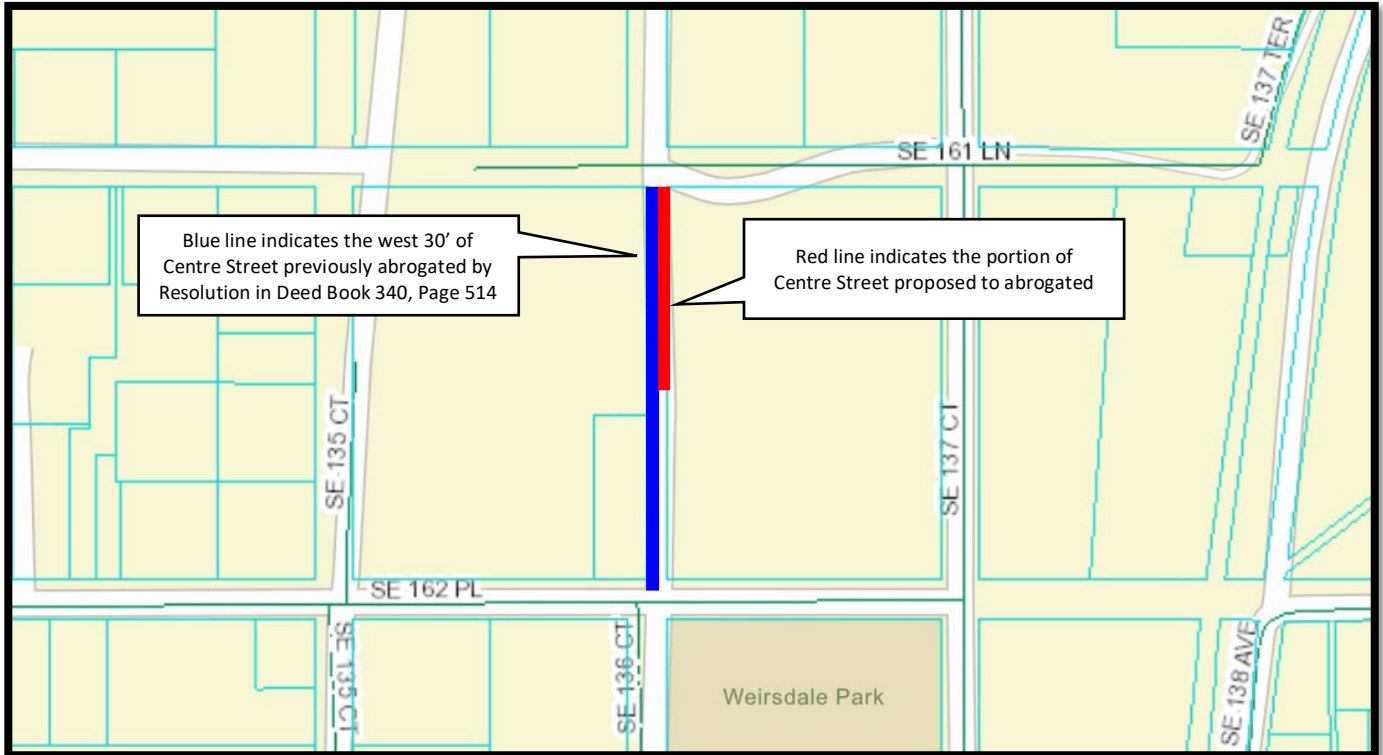
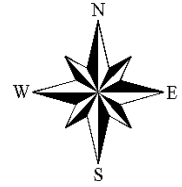
Proposed Road Closing / Abandonment
A portion of Centre Street (aka SE 138th Court)
between Grove Avenue and Myrtle Avenue

Map of South Lake Weir

Plat Book B Pages 203 - 204

and

Plat Book E Pages 37A & 37B



From: [Luciano, Ashley](#)
To: [Ringo, Heather](#)
Subject: RE: Road Closings - Belleview Hills Manor & South Lake Weir
Date: Thursday, July 25, 2024 12:31:18 PM
Attachments: [Plat Book E Page 37.pdf](#)
[Revised Location Map.pdf](#)
[Application Revised.pdf](#)
[Exhibit "A".pdf](#)

Hi Heather,

Can you please add the documents to AR # 31164 and schedule for 8/5 please? Please see below for what the applicant is proposing to do.

Amending the original application to seek abrogation of the original segment of SE 136th Court (formerly Centre Street), less and except the South 293 feet thereof which will maintain (along its west side) the public right of way between Blocks 6 and 7 of South Lake Weir along the entire east line of Marion County Parcel 4984-006-001 (a distance of 253 feet) and provide the minimum frontage of 40 feet to the remainder of Lot 4, Block 6, and all of Lot 6 and the south 91 feet of Lot 3, Block 7 (on its east side). My understanding from those discussions with DRC is that this would be an acceptable option to alleviate any concerns over landlocking said Lots 4 and 3 as a result of the presumed adoption of a formal resolution by the Board of County Commissioners.

Thank you,

Ashley Luciano

Land Management Agent

Office of the County Engineer

Main: 352-671-8686

[Empowering Marion for Success!](#)

From: Luciano, Ashley <Ashley.Luciano@marionfl.org>
Sent: Wednesday, July 17, 2024 12:56 PM
To: Ringo, Heather <Heather.Ringo@marionfl.org>
Subject: RE: Road Closings - Belleview Hills Manor & South Lake Weir

Thank you, Heather,!

Ashley Luciano

Land Management Agent

Office of the County Engineer
Main: 352-671-8686
[Empowering Marion for Success!](#)

From: Ringo, Heather <Heather.Ringo@marionfl.org>
Sent: Wednesday, July 17, 2024 9:12 AM
To: Luciano, Ashley <Ashley.Luciano@marionfl.org>
Subject: RE: Road Closings - Belleview Hills Manor & South Lake Weir

Hi,

Please see below:

**Portion of east 30' of Centre Street aka SE 138th Court in South Lake Weir -
Road Closing / Abrogation**

Motion by Doug Hinton to approve the waiver request subject to an easement being granted to the southern parcel with the driveway and providing a certified survey showing that all parcels are now one lot in block six, seconded by Chuck Varadin

Motion carried 5-0

**Portion of Sunset Avenue aka SE 174th Place in Belleview Hills Manor
Petition to Close and Abandon Road - Road Closing / Abrogation**

Motion by Jody Kirkman to table this item due to road frontage issues as well as identifying the Marion County Utilities easement on supporting documents, seconded by Michael Savage

Motion carried 5-0

Thanks

Heather Ringo

Staff Assistant

Office of the County Engineer
Main: 352-671-8686 | Direct: 352-671-8699
[Empowering Marion for Success!](#)

From: Luciano, Ashley <Ashley.Luciano@marionfl.org>

Sent: Wednesday, July 17, 2024 8:45 AM

To: Ringo, Heather <Heather.Ringo@marionfl.org>

Subject: Road Closings - Belleview Hills Manor & South Lake Weir

Hi Heather,

Two road closings(AR #31166 & AR #31164) went to DRC on the 15th. Can you tell me if they were approved or denied?

Thank you,

Ashley Luciano

Land Management Agent

Office of the County Engineer

Main: 352-671-8686

[Empowering Marion for Success!](#)