

Marion County

Development Review Committee Meeting Agenda

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686

Monday, May 17, 2021

9:00 AM

Office of the County Engineer

- 1. ROLL CALL
- 2. PLEDGE OF ALLEGIANCE
- 3. ADOPT THE FOLLOWING MINUTES: None
- 4. PUBLIC COMMENT
- 5. CONSENT AGENDA: STAFF HAS REVIEWED AND RECOMMENDS APPROVAL
 - 5.1. OCALA PRESERVE PHASE 13 PRELIMINARY PLAT
 3330 NW 54TH CT OCALA
 Project #2021030019 #26370 Parcel #13687-000-00
 Waldrop Engineering
 - 5.2. HEATHER ISLAND MARKET CENTER PARTIAL REPLAT FINAL PLAT REPLAT OF HEATHER ISLAND MARKET CENTER LOTS 6, 8, 9, 10, 11, TRACTS A, E, F, H, & DRA 9256 SE MARICAMP RD OCALA Project #2010100016 #25728 Parcel #9009-2000-06, 9009-2000-08, 9009-2000-09, 9009-2000-10, 9009-2000-11, 9009-2000+01, 9009-2000+05, 9009-2000006, 9009-2000008, & 9009-0000+11 R.M. Barrineau & Associates
 - 5.3. DEER PATH NORTH PHASE 2 WAIVER REQUEST Project #2008070033 #26705 Parcel #31865-000-00 JCH Consulting Group

LDC 6.7.8 - Protected Tree Replacement Requirements

CODE states all trees not permitted for removal must be protected and maintained. For those protected trees permitted for removal, trees shall be replaced in accordance with the minimum standards set forth in this section. APPLICANT requests waiver per meeting with county staff for the tree locations will be located within a sample area and all trees 30 inches and larger will be located within proposed residential development.

5.4. DUNWOODY - WAIVER REQUEST

SILVER SPRINGS SHORES UNIT 6

Project #2021040135 #26692 Parcels #9006-0000-03 & 37506-000-00

JCH Consulting Group

LDC 6.7.8 - Protected Tree Replacement Requirements

CODE states all trees not permitted for removal must be protected and maintained. For those protected trees permitted for removal, trees shall be replaced in accordance with the minimum standards set forth in this section. APPLICANT requests waiver, per meeting with County staff, for the tree locations located within a sample area and all trees 30 inches and larger will be located within the proposed residential development.

6. SCHEDULED ITEMS:

6.1. FALLS OF OCALA UNIT 2 - REZONING TO PUD WITH CONCEPT PLAN Project #2005040074 #26565 Parcel #23304-001-00 HALFF Associates

DRC recommendation to Planning & Zoning Commission on May 24, 2021. This is a rezoning from PUD to PUD to allow for a proposed single family residential community with 89 units.

6.2. LAUCK PROPERTY, JAMES - WAIVER REQUEST OAK HOLLOW LOT 1

Project #2020120112 #25991 Parcel #48332-000-01 Permit #2020121306

James Lauck

Applicant requests reconsideration of this waiver request in order to obtain the CO for the home and follow up with the constructed stormwater controls within 60 days. The DRC motion on January 11, 2021 was to approve subject to working with stormwater on controls, to providing sketches of the proposed stormwater for controls, placing final holds on the building permits until such inspections can be done to confirm that the controls are in place, and that vegetative cover must be established at that time of final hold inspections.

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver for future improvements to the property consisting of a 4,152 square foot home, a 1,300 square foot detached garage, enlarging the apron between the garages, and adding a pool. The future improvements to the property will total 11,289 square feet of impervious area as described on the site plan.

6.3. SLACK PROPERTY, DUANE & TAMMY - WAIVER REQUEST 3801 WEST ANTHONY RD OCALA

Project #2003110019 #26732 Parcel #15391-002-02 Permit #2021030101

Abshier Engineering

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver to add a 60' x 40' (2,400 square feet) detached garage and a 14,705 square foot driveway. The proposed DRA will mitigate the extra runoff created.

6.4. LAMBERT PROPERTY, TONY - WAIVER REQUEST Project #2021050018 #26728 Parcel #51265-001-00 RLW Realty

LDC 2.16.1.B(10) - Family Division

CODE states a parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside the Farmland Preservation area each new tract and the remaining parent tract must be at least one (1) acre in size. APPLICANT requests waiver to divide the parcel into four parts. The applicant will keep parcel 1 (9.25 acres) as the parent parcel, his sister will receive parcel 2 (9.23 acres), his oldest son will receive parcel 3 (5.65 acres), and his youngest son will receive parcel 4 (5.65 acres).

6.5. ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-018 - WAIVER REQUEST

OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLOCK C LOT 18 5069 SW 91ST ST OCALA

Project #2021040119 #26661 Parcel #3573-003-018 Permit #2020122792

Adams Homes of Northwest Florida

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver for a proposed single family residence (total 3,520 square feet under roof) plus a 519 square foot driveway, totaling 4,039 square feet of impervious coverage. Per the final plat calculations, the maximum per lot for Phase 1 is 3,598 square feet of impervious coverage.

6.6. ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-022 - WAIVER REQUEST

OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLK C LOT 22 5141 SW 91ST ST OCALA

Project #2021040120 #26663 Parcel #3573-003-022 Permit #2021021920

Adams Homes of Northwest Florida

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver for a proposed single family residence (total 3,520 square feet under roof) plus a 519 square foot driveway, totaling 4,039 square feet of impervious coverage. Per the final plat calculations, the maximum per lot for Phase 1 is 3,598 square feet of impervious coverage.

6.7. SHELTON PROPERTY, RAY & DOROTHY - WAIVER REQUEST RIO VISTA REPLAT BLK A LOT 2 & 3

10721 SW 185TH TER DUNNELLON

Project #2020100094 #26721 Parcel #3483-001-003 Permit #2021020094

Ray Shelton

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver for the addition of a small 10' x 27' (270 square feet) storage room.

6.8. REIFSTECK PROPERTY, ERIC - WAIVER REQUEST 2750 SW 7TH AVE OCALA

Project #2016050057 #26725 Parcel #31023-000-00 Permit #2021042429

Colbert Construction

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver to add a 20' x 40' (800 square feet) shed to the property.

6.9. WALFORD PROPERTY, ANTHONY - WAIVER REQUEST NORTH CONANT ESTATES SUBDIVISION TRACT 24 UNR 13875 SE 175TH ST WEIRSDALE

Project #2021050016 #26727 Parcel #50027-024-00 Permit #2021041069

Central Florida Steel Building LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver to add a 52' x 60' (3,120 square feet) steel building on new concrete and a future 30' x 25' (750 square feet) steel building.

6.10. SAPP PROPERTY, MARK & TIFIANY - WAIVER REQUEST HUNTINGTON REVISED PORTION BLOCK A LOT 11 5041 SE 18TH ST OCALA

Project #2021050004 #26708 Parcel #2970-001-011 Permit #2021042059

Mark Sapp

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver to add a 500 square foot pool. The runoff will be captured in the existing low point that is currently controlling runoff.

6.11. OPTIMUM RV DEALERSHIP - WAIVER REQUEST 7400 S US HWY 441 OCALA

Project #2013090004 #26729 Parcel #36547-002-00

Mastroserio Engineering

LDC 6.13.4.D - Recovery Analysis

CODE states all retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event.

APPLICANT requests waiver to allow recovery of the proposed stormwater pond via a pumping station and force main equipped with a back up generator in case of power failure. Pumping stormwater to the existing quarry will provide a substantial amount of additional stormwater volume and will further reduce the risk of the flooding impact on 441.

6.12. TERRA BELLO - AGRICULTURAL LOT SPLIT 4151 SE 120TH ST BELLEVIEW

Project #2020100089 #26621 Parcel #37388-000-00 Rogers Engineering

Initial comments review. Applicant did not meet with staff.

6.13. NEIGHBORHOOD STORAGE CENTER #2 OUTDOOR GRASS STORAGE EXPANSION - MAJOR SITE PLAN

Project #2021010043 #26062 Parcel #31416-000-00

Kimley-Horn & Associates

Initial comments review. Applicant met with staff on February 11, 2021.

6.14. FAMILY DOLLAR SALT SPRINGS @ CR 314 - MAJOR SITE PLAN KER VIEW LOTS 6 & 7

Project #2021040075 #26609 Parcel #1140-006-000 & 1140-007-000

Berry Engineers

Initial comments review. Applicant did not meet with staff.

- 7. CONCEPTUAL REVIEW ITEMS: None
- 8. DISCUSSION ITEMS: None
- 9. OTHER ITEMS:
- 10. ADJOURN:



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3159 **Agenda Date:** 5/17/2021 **Agenda No.:** 5.1.

SUBJECT:

OCALA PRESERVE PHASE 13 - PRELIMINARY PLAT 3330 NW 54TH CT OCALA

Project #2021030019 #26370 Parcel #13687-000-00

Waldrop Engineering



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

MAY 14, 2021

WALDROP ENGINEERING DAMON PARRISH 262 MAITLAND CENTER PKWY 262 MAITLAND, FL 32751

SUBJECT: **DRC INFORMATIONAL LETTER** PROJECT NAME: OCALA PRESERVE PHASE 13

PROJECT #2021030019

APPLICATION: PRELIMINARY PLAT #26370

Dear Damon:

The above referenced project was reviewed by Development Review staff and the following comments are for your review. You need not reply to the comments, and if the comments have been previously completed, simply disregard. Your plan will be scheduled for approval by the Development Review Committee on May 17, 2021. This item will be on the consent agenda and attendance is not required.

1. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Additional Stormwater comments

STATUS OF REVIEW: INFO

REMARKS: Pre-Plat reviewed concurrently with AR# 26371 Improvement Plans.

2. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.1.3 - Order of plan approval

STATUS OF REVIEW: INFO

REMARKS: 4/21/21 - Refer to PUD rezoning AR #25913 for location of Phase 13.

3/26/21 - Revise most recently approved PUD Master Plan #22757 to include phases 13 & 14.

3. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 6.3.1.F(1) - Establishment of MSBU, CDD, or other State recognized special district responsible for maintenance and operation of dedicated improvements

STATUS OF REVIEW: INFO

REMARKS: DRC 3/4/19 - Waiver to MSBU denied by DRC. Establishment of an MSBU is required prior to final plat approval. Contact the MSTU Department at (352)438-2650 to create an MSBU or obtain a waiver from BCC via DRC.

4. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the county. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued.

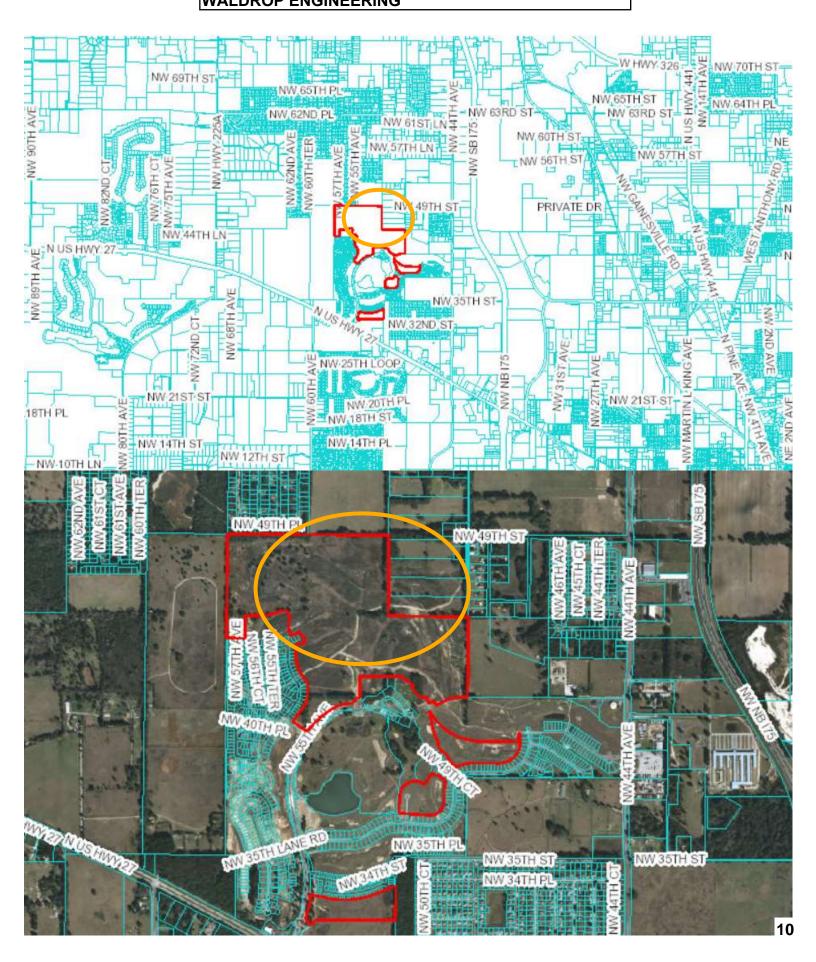
If you have any questions please contact me at (352) 671-8682 or carla.sansone@marioncountyfl.org.

Sincerely,

Carla Sansone

Development Review Coordinator

OCALA PRESERVE PHASE 13 - PRELIMINARY PLAT 3330 NW 54TH CT OCALA Project #2021030019 #26370 Parcel #13687-000-00 WALDROP ENGINEERING



PRELIMINARY PLAT

OCALA PRESERVE PHASE 13

SECTION 33, TOWNSHIP 14 SOUTH, RANGE 21 EAST MARION COUNTY, FLORIDA

A PARCEL OF LAND LYING IN SECTION 33, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, AND BEING

BEGIN AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 33; RUN THENCE 372.01 FEET; THENCE S 89°34'16" E, A DISTANCE OF 229.00 FEET; THENCE S 00°24'50" W, A DISTANCE OF 140.91 FEET; THENCE S 24°28'38" W, A DISTANCE OF 54.80 FEET; THENCE S 00°24'50" W, A DISTANCE OF 114.97 FEET; THENCE S 89°35'10" E, A DISTANCE OF 530.17 FEET; THENCE S 00°33'28" W, A DISTANCE OF 145.60 FEET; THENCE S 05°50'36" W, A DISTANCE OF 33.96 EET; THENCE S 16°22'38" W, A DISTANCE OF 33.96 FEET; THENCE S 24°31'44" W, A DISTANCE OF 69.09 FEET; THENCE S 16°59'27" W, A DISTANCE OF 69.19 FEET; THENCE S 18°05'23" W, A DISTANCE OF 73.26 FEET; THENCE S 30°43'04" W, A DISTANCE OF 84.41 FEET; THENCE S 34°28'03" W, A DISTANCE OF 33.82 FEET; THENCE N 55°31'57" W, A DISTANCE OF 87.9 FEET: THENCE S 34°28'03" W. A DISTANCE OF 165.00 FEET: THENCE N 55°31'57" W. A DISTANCE OF 198.97 FEET: THENCE S 89°30'28" E, A DISTANCE OF 270.00 FEET; THENCE N 00°48'08" E, A DISTANCE OF 60.00 FEET TO A POINT ON THE NORTH BOUNDARY OF THE AFORESAID NORTHEAST 1/4 OF SECTION 33; THENCE CONTINUE ALONG SAID NORTH BOUNDARY, S 89°17'14" E, A DISTANCE OF 1263.21 FEET TO THE POINT OF BEGINNING.

CONTAINING 51.393 ACRES, MORE OR LESS.



LOCATION MAP

OWNER/DEVELOPER/APPLICANT:

FORESTAR USA REAL ESTATE GROUP, INC.

4042 PARK OAKS BOULEVARD, SUITE 200

TAMPA, FL 33610

PHONE: (813) 392-3385

CONTACT: JOHN GARRITY

PROJECT CONSULTANTS

ENGINEER/PLANNER WALDROP ENGINEERING, P.A. 2600 MAITLAND CENTER PARKWAY, SUITE 262 MAITLAND, FL 32751 (407) 775-6500 CONTACT: DAMON PARRISH, P.E.

AGENCY CONTACT LISTING

TECO PEOPLES GAS

OCALA, FL 34474

(407) 420-2678

STORMWATER

(352) 796-7211

MARION COUNTY UTILITIES SOUTHWEST FLORIDA WATER

316 SOUTHWEST 33RD AVE

MANAGEMENT DISTRICT

BROOKSVILLE, FL 34604

2379 BROAD STREET

GEOTECHNICAL ENGINEER:

OCALA ELECTRIC UTILITY

11800 SE U.S. HIGHWAY 441

BELLEVIEW, FL 34420

201 SE 3RD STREET

OCALA, FL 34471

WATER & SEWER

(352) 351-6620

(352) 307-6000

ELECTRIC

5904 HAMPTON OAKS PARKWAY, SUITE F TAMPA, FL 33610 (813) 971-3882 CONTACT: STEVEN A. JANOSIK, P.E.

SURVEYOR GEOPOINT SURVEYING, INC. 213 HOBBS STREET TAMPA, FLORIDA 33619 (813) 248-8888 CONTACT: DAVID A. WILLIAMS, P.S.M., R.P.L.S

TIERRA, INC.

7351 TEMPLE TERRACE HIGHWAY TAMPA, FL 33637 (813) 989-1354

GEOTECHNICAL ENGINEER:

CONTACT: KEVIN H. SCOTT, P.E.

TELEPHONE

CENTURYLINK

OCALA, FL 34471

AMANDA ROOS

(352) 368-8781

302 SE BROADWAY

SHEET INDEX 02 - 04 MAP EXHIBITS 05 - 07 | PRELIMINARY PLAT

L2 LANDSCAPE DETAILS, NOTES, & PLANTING SCHEDULE

S01-S06 BOUNDARY AND TOPOGRAPHIC SURVEY

L1 LANDSCAPE PLAN

LOT DIMENSIONS, AREA	AND SETBACKS	
·	SINGLE FAMILY	MULTI FAM
LOT AREA FRONT SETBACK SIDE SETBACK, INTERIOR REAR SETBACK REAR POOL & ENCLOSURE SETBACK ACCESSORY STRUCTURE SETBACK	3,600 SF (MIN.) 10' (MIN.) 5' (MIN.) 10' (MIN.) 5' (MIN.)* 5' (MIN.)	2,500 SF 0' (MIN.) VARIES 10' (MIN.) 5' (MIN.)* 5' (MIN.)
* REAR POOL AND ENCLOSURE SETB	ACK SHALL BE 1' (MIN.)	

OPEN SPACE CALCULATION:

FOR LOTS ADJACENT TO RECREATION/OPEN SPACE OR GOLF USES.

OPEN SPACE REQUIRED = 350 SF PER RESIDENTIAL LOT = 350 SF X 168 LOTS = 58,800 SF

MARION FRIENDLY LANDSCAPE AREA CALCULATION:

LANDSCAPE AREA REQUIRED = 15% OF TOTAL ACREAGE = 15% X 51.39 AC = 7.7 ACRES

LANDSCAPE AREA PROVIDED = TRACT B + TRACT D + TRACT E + TRACT G + TRACT H =

FRACT E + TRACT G + TRACT H) = 225,633 SF (5.17 ACRES)

OPEN SPACE PROVIDED = TRACT C + TRACT F + TRACT K + 25% X (TRACT B + TRACT D +

SITE INFORMATION

13551-006-00, 13551-007-00, 13551-008-00, 13687-000-00

TOTAL PROJECT AREA: 51.39 ACRES

MASTER TAX PARCEL ID NUMBERS:

FIRE PROTECTION:

DEVELOPMENT DATA

ZONING/FUTURE LAND USE: PUD (AR #25913) / MEDIUM DENSITY RESIDENTIAL LAND USE: SINGLE-FAMILY DETACHED AND MULTI-FAMILY RESIDENTIAL HOUSING **DEVELOPMENT AGREEMENTS:** OR BK/PG: 6681/136-151; 6103/1171-1185; 3849/343-352; 3462/1879-1886 PHASE 13 AREA: 51.39 AC PROPOSED LOTS: ROAD LENGTH: 1.15 MILES VERTICAL DATUM POTABLE WATER WILL BE PROVIDED BY WATER: MARION COUNTY UTILITIES. SEWER: WASTEWATER WILL BE PROVIDED BY MARION COUNTY UTILITIES. GARBAGE: SOLID WASTE PICKUP WILL BE PROVIDED BY A CENTRAL WASTE HAULER.

PROVIDED VIA THE CENTRAL POTABLE WATER SYSTEM FOR THIS PROJECT. MARION COUNTY SPRINGS PROTECTION ZONE: SECONDARY ZONE

FIRE PROTECTION IN ACCORDANCE WITH THE MARION COUNTY LDC WILL BE

COMMON AREAS OF THE PLANNED UNIT

FEMA DESIGNATION: PER FEMA MAP NO. 12083C0502E, DATED APRIL 19, 2017, A MAJORITY OF THE PROJECT AREA FALLS WITHIN FEMA FLOOD ZONE "X" WITH SOME AREAS ENCOMPASSE BY FLOOD ZONE "A" AND ZONE "AE".

ROADWAYS, DRAINAGE, & COMMON AREAS: THE OCALA PRESERVE COMMUNITY DEVELOPMENT DISTRICT (CDD) SHALL ACT AS THE LEGAL INSTRUMENT THAT SHALL PROVIDE PERPETUAL MAINTENANCE FOR THE STREETS, DRAINAGE SYSTEM, AND

EASEMENTS: ALL EASEMENTS ARE DESIGNATED ON THE

LIST OF OBTAINED WAIVERS

DEVELOPMENT.

6.11.4.C(1)	- ACCESS TO ADJACENT UNPLATTED LANDS	01/23/2012
6.11.4.C(1)	- SECTION/QUARTER SECTION LINE ROADS	01/23/2012
6.12.2	- STREET RIGHT-OF-WAY WIDTH	01/23/2012
6.11.5.C(1)&D(1)	- DRIVEWAY ACCESS ONTO COLLECTOR ROAD	01/23/2012
6.12.12.A	- EXTERNAL SIDEWALKS	01/23/2012
6.11.4.B(1)&D	- PARALLEL ACCESS	01/23/2012
7.1.3.M(4)(b) & DE	ETAIL TS031 -SIGN INSTALLATION	10/08/2014
7.1.3.M(4)(a) & DE	ETAIL TS032 - STREET SIGN	10/08/2014
16-R-138 & 16-R-	139 - SPEED LIMIT RESOLUTION	04/19/2016
6.12.2	- STREET RIGHT-OF-WAY WIDTH	09/12/2016

DRAINAGE NARRATIVE

OCALA PRESERVE PHASE 13 WILL CONSIST OF APPROXIMATELY 6,100 LF OF ROADWAY WITH CURB AND GUTTER. TO SERVE A 168-LOT RESIDENTIAL SUBDIVISION. STORMWATER RUNOFF WILL BE CONVEYED THROUGH A SERIES OF INLETS AND PIPES AND DISCHARGED TO SIX STORMWATER PONDS, DRA-13A DRA-13B, DRA-13C, DRA-13D, DRA-13E, AND DRA-13F. THE STORMWATER PONDS HAVE BEEN SIZED TO RETAIN THE 100-YEAR/24-HOUR STORM EVENT. NO DISCHARGE FROM THE PONDS IS PROPOSED.

IMPERVIOUS DATA **EXISTING IMPERVIOUS** PROPOSED IMPERVIOUS 764,905 SF 17.56 AC (34.19%)

OPERATION AND MAINTENANCE

ROADWAYS AND STORMWATER MANAGEMENT SYSTEM SHALL BE PRIVATELY MAINTAINED. THE STORMWATER MANAGEMENT PONDS WILL BE MAINTAINED ON A WEEKLY OR BI-WEEKLY SCHEDULE AS PART OF THE LANDSCAPE MAINTENANCE AND MOWING. DEBRIS ACCUMULATED IN STORM STRUCTURES WILL BE REMOVED

WATER AND SANITARY SEWER SYSTEM SHALL BE MAINTAINED BY MARION COUNTY UTILITIES

GENERAL NOTES

- STREETS TO BE PRIVATE SUBDIVISION LOCAL ROADS WITH RESIDENTIAL USE (DESIGN
- RESIDENTIAL IRRIGATION IS VIA POTABLE WATER SYSTEM. GOLF COURSE AND COMMON AREA IRRIGATION IS VIA THE IRRIGATION SYSTEM GOVERNED UNDER
- TOPOGRAPHIC AND OTHER DATA IS BASED ON A SURVEY BY GEOPOINT SURVEYING, INC. FROM OCTOBER, 2020. EXISTING TOPOGRAPHY SHALL BE VERIFIED PRIOR TO
- ALL LOTS/TRACTS IN THIS DEVELOPMENT SHALL USE THE INTERNAL SUBDIVISION ROADWAYS FOR DRIVEWAY/VEHICLE ACCESS. DIRECT DRIVEWAY/VEHICLE ACCESS TO US HIGHWAY 27, N.W. 44TH AVE, OR N.W. 49TH STREET IS PROHIBITED
- DEVELOPMENT OF ANY OF THE PROPERTY SHOWN IN THIS SUBDIVISION PLAT IS
- NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY
- NO MONUMENT SIGNAGE IS PROPOSED WITH THIS SUBDIVISION. ADDITIONAL PERMITS ARE REQUIRED FOR SIGNAGE
- THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES. SUCH AS. BUT NOT LIMITED TO IMPROVEMENT PLAN, FINAL PLAT, SITE PLAN, OR BUILDING PERMIT

ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE (LDC), EXCEPT AS WAIVED.

DAMON PARRISH, P.E. WALDROP ENGINEERING, P.A. REGISTERED ENGINEER NO. 73145 STATE OF FLORIDA

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON IS IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE LDC AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

DAVID A. WILLIAMS, P.S.M., R.P.L.S. GEOPOINT SURVEYING INC

OWNER'S SIGNATURE

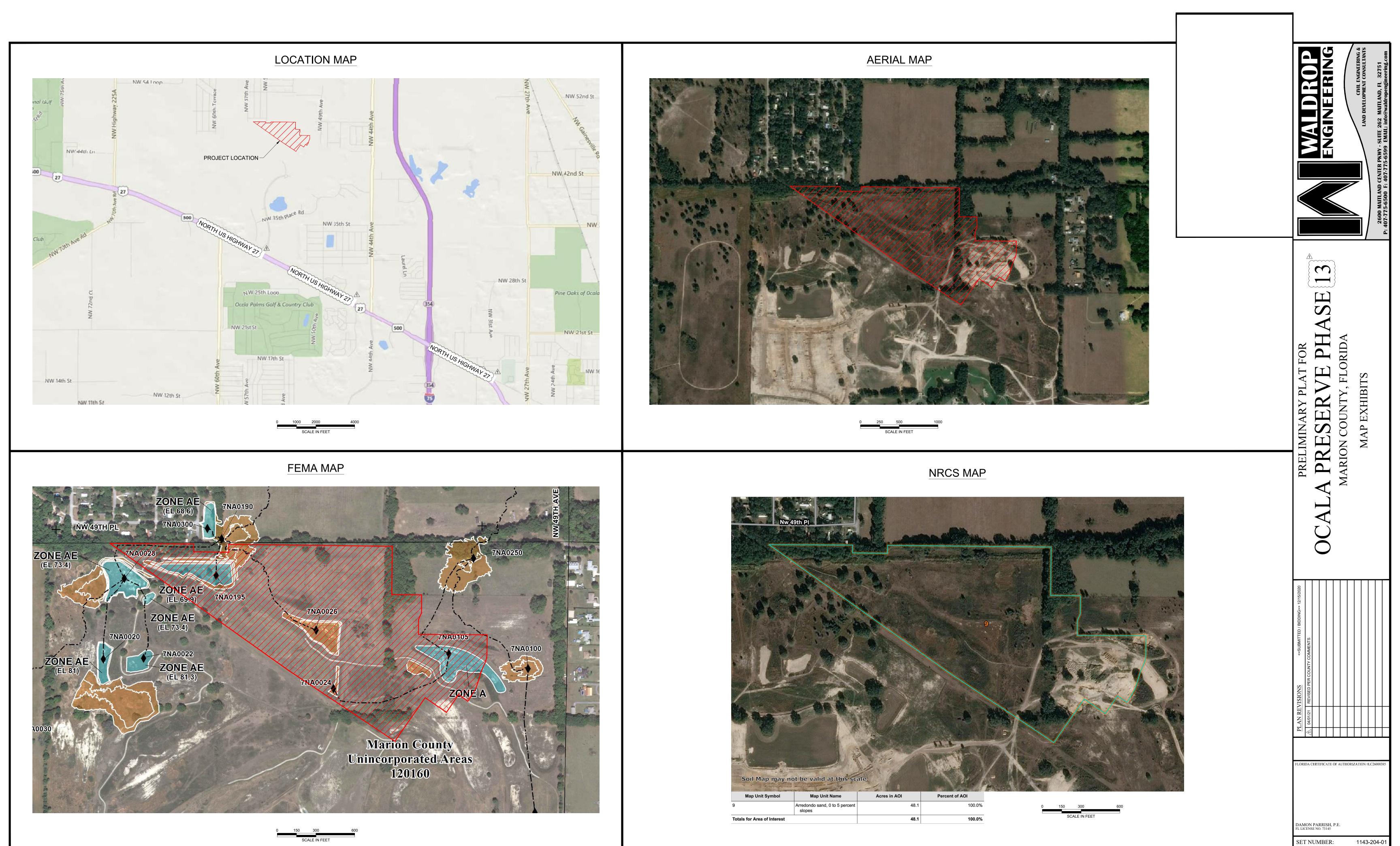
I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN WITHIN THESE PLANS.

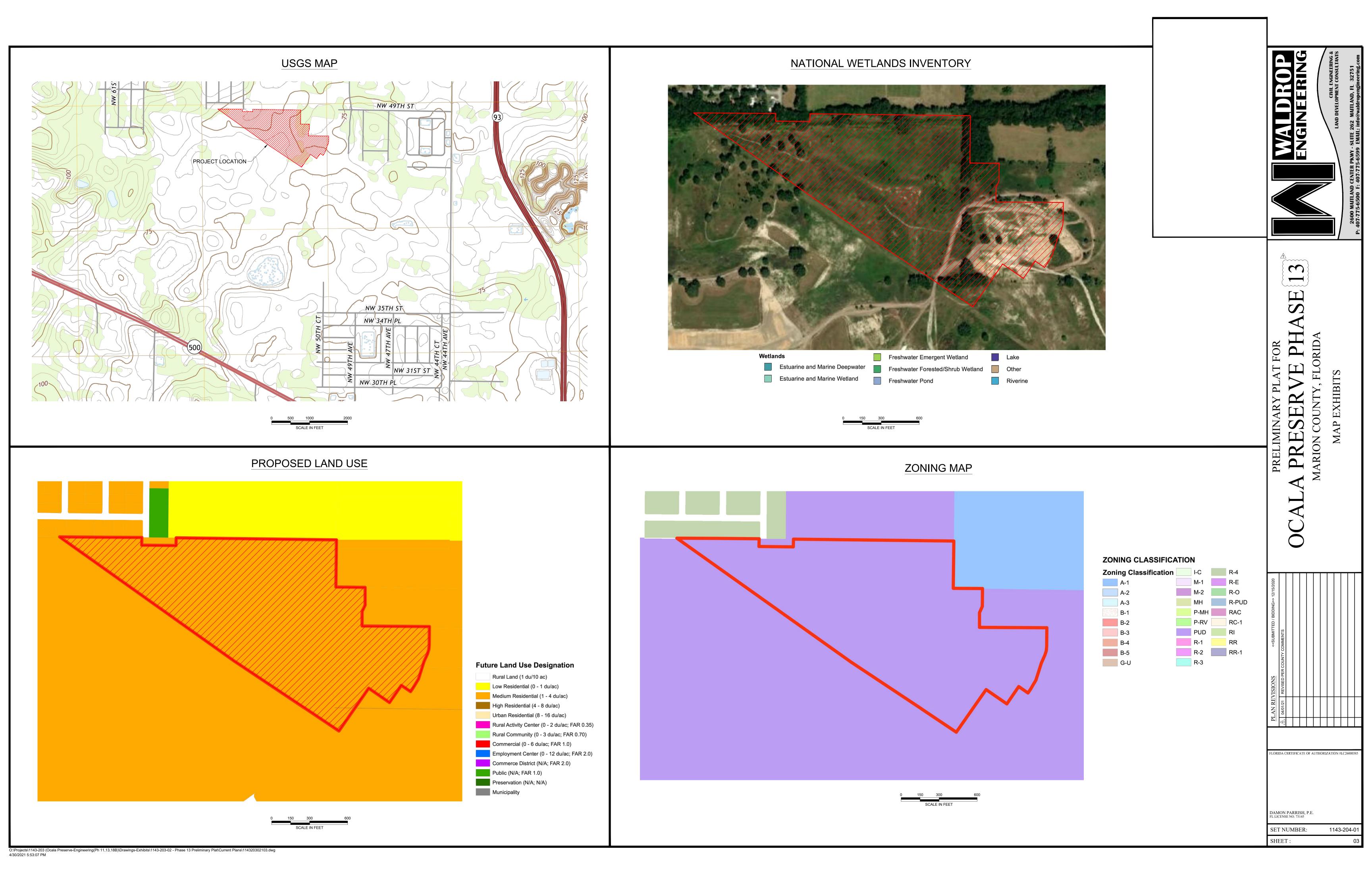
TONY SQUITIERI DIVISION PRESIDENT - WEST FLORIDA FORESTAR USA REAL ESTATE GROUP, INC. PR 4

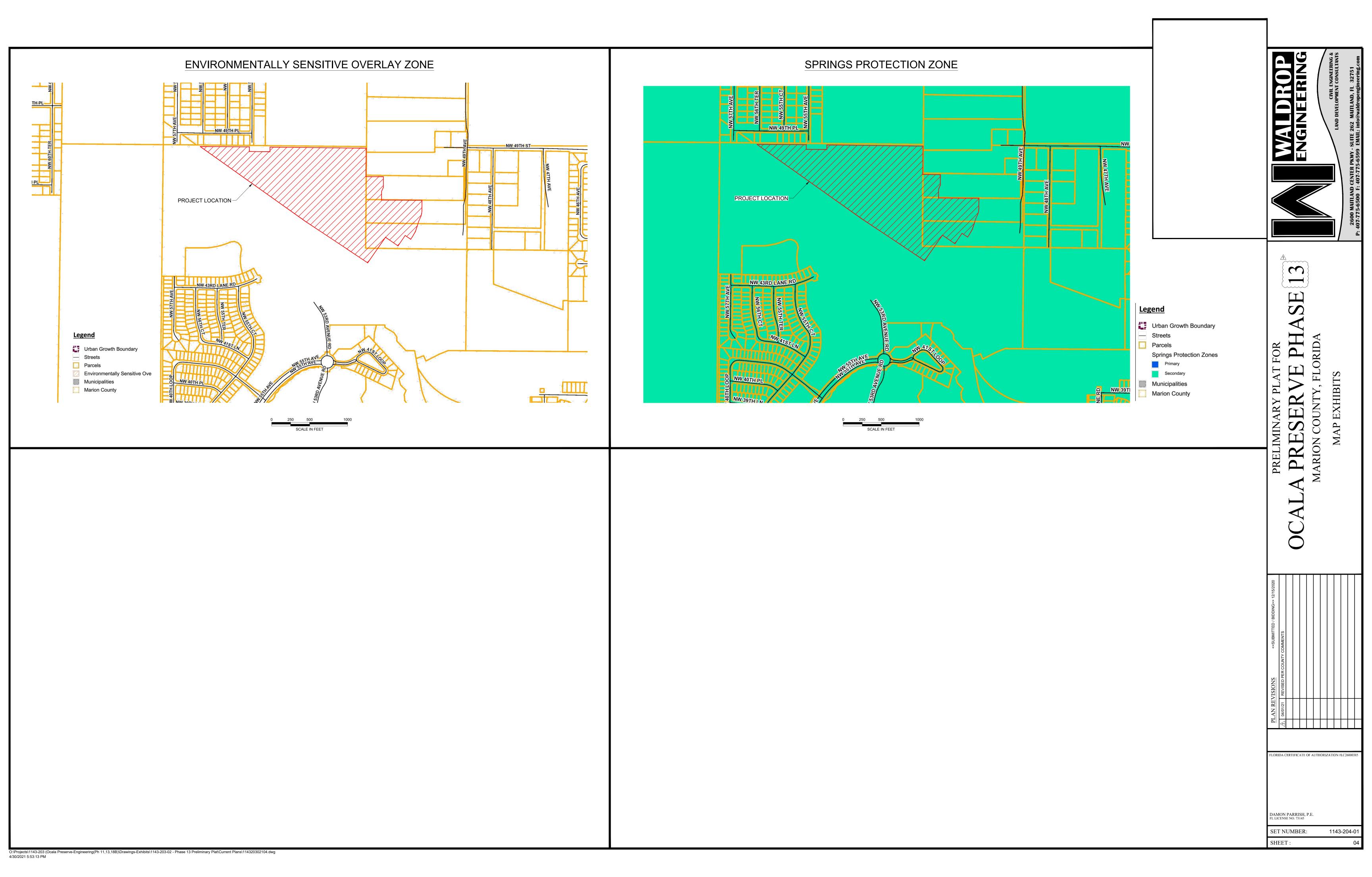
ORIDA CERTIFICATE OF AUTHORIZATION #LC2

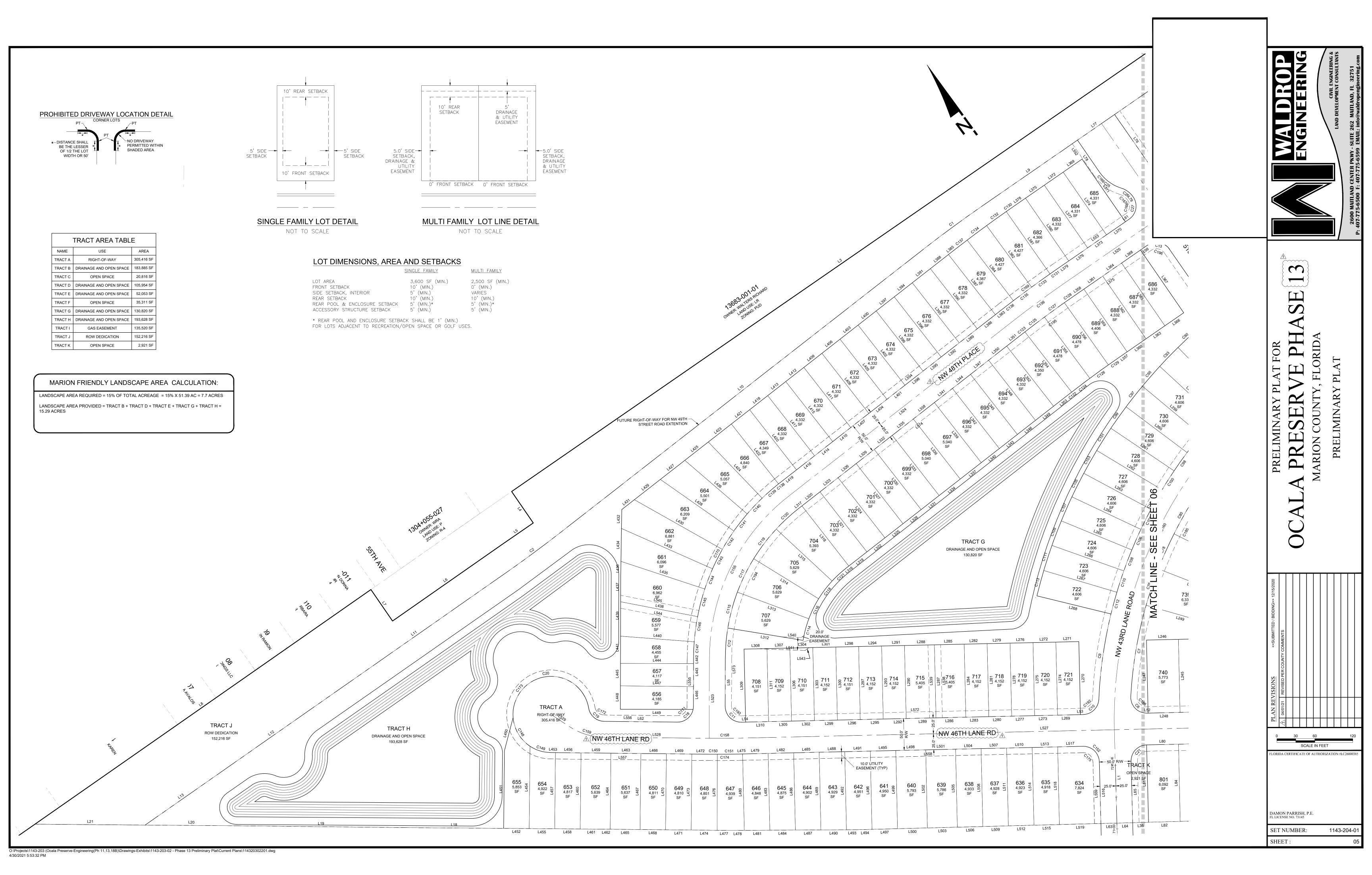
DAMON PARRISH, P.E. FL LICENSE NO. 73145

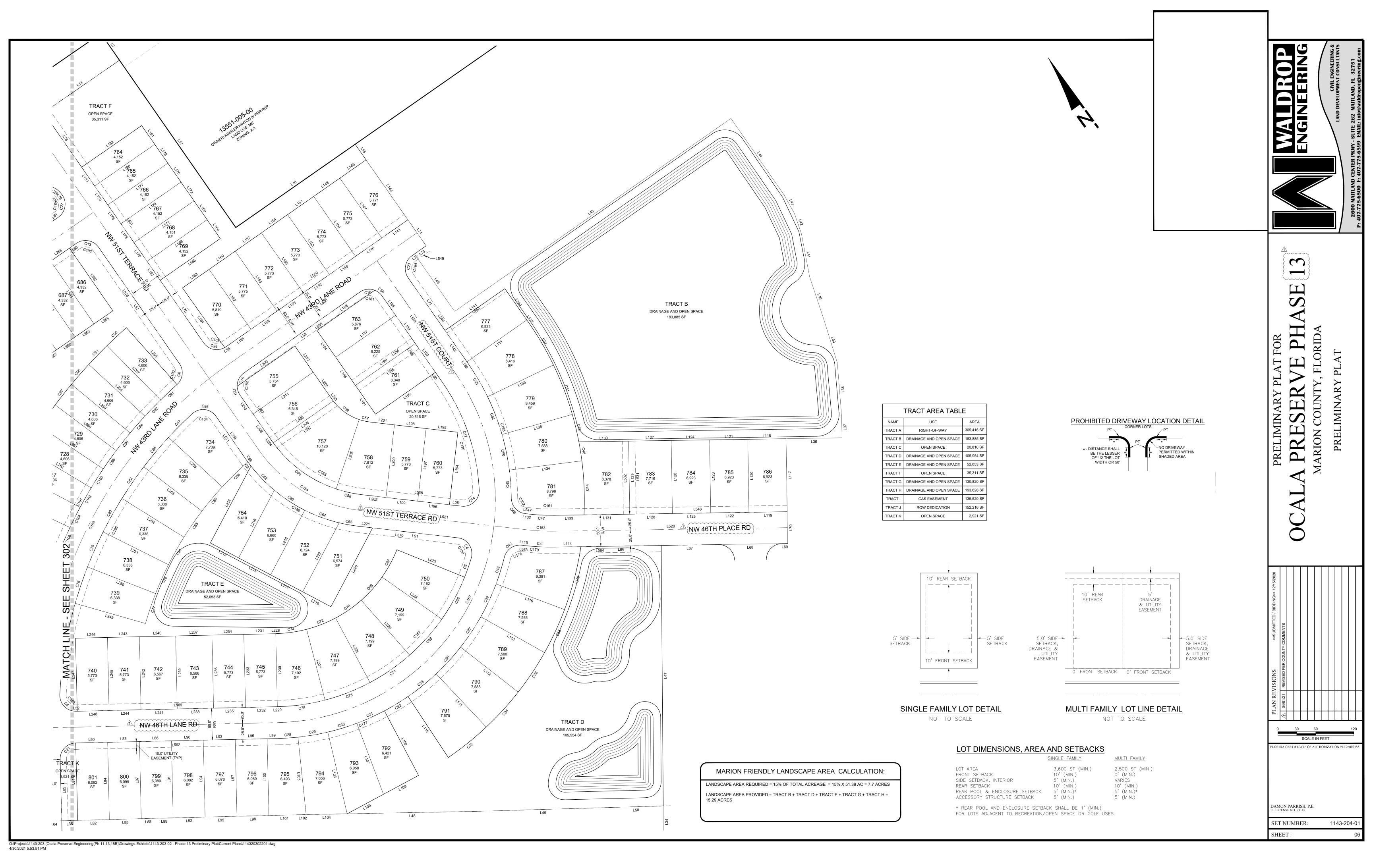
SET NUMBER: 1143-204-01

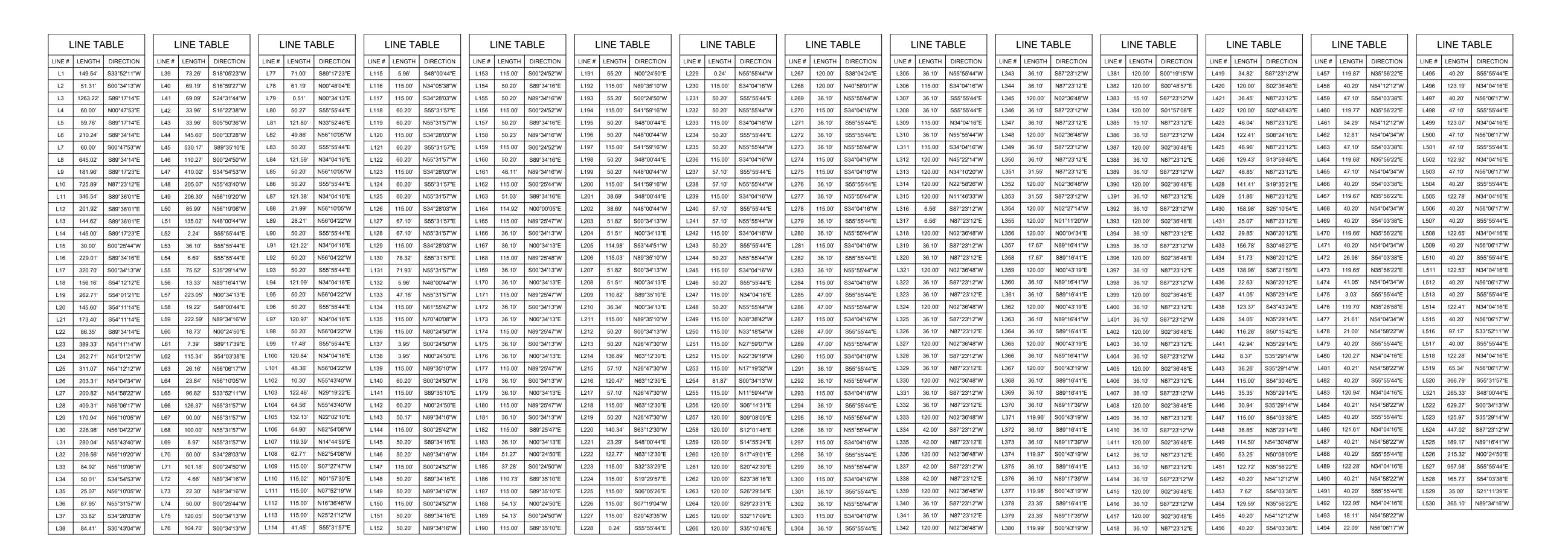




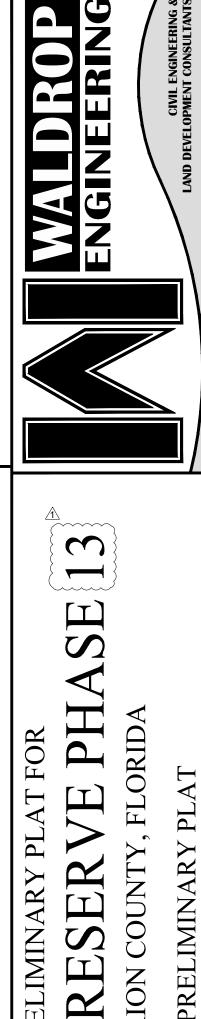








		CUI	RVE TABLE				CL	JRVE	TABLE				CURVE 1	ABLE				С	URVE T	ABLE				CURVE TA	ABLE				CUF	RVE TA	BLE				CUR	RVE TAE	SLE	
CURVE LE	NGTH	RADIUS	DELTA CHORD	CHORD BEARING	CURVE	LENG	TH RADIUS	JS DEL	TA CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS DELT	A CHORD	CHORD BEARING	CURVE	LENGTH	RADII	JS DELTA	CHORD	CHORD BEARING	CURVE LE	NGTH	RADIUS DELTA	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1 11	13.12'	1950.00'	003°19'26" 113.11'	N89°02'54"E	C24	37.29	9' 24.95'	5' 085°38	33.91'	S42°07'48"E	C47	39.37'	300.00' 007°31	'12" 39.35'	N51°46'21"W	C70	49.14'	210.0	00' 013°24'3	1" 49.03'	S89°23'11"E	C93 4	1.41'	820.00' 002°53'37	" 41.41'	N79°25'02"E	C116	35.18'	180.00'	011°11'54"	35.12'	S61°25'37"W	C139	34.16'	350.00'	005°35'33"	34.15'	S84°23'31"W
C2 10	07.81'	2050.00'	003°00'47" 107.80'	N88°53'35"E	C25	43.42	2' 65.00')' 038°16	6'30" 42.62'	N18°20'11"W	C48	30.21'	490.00' 003°31	'57" 30.21'	S26°18'19"W	C71	76.06'	325.0	00' 013°24'3	1" 75.88'	N89°23'11"W	C94 3	5.35'	700.00' 002°53'37	7" 35.35'	S76°31'25"W	C117	58.63'	300.00'	011°11'54"	58.54'	N61°25'37"E	C140	34.16'	350.00'	005°35'33"	34.15'	S78°47'58"W
C3 8	3.21'	250.00'	001°52'58" 8.21'	N01°40'14"W	C26	23.24	4' 35.00')' 038°02	2'39" 22.82'	N18°27'07"W	C49	44.54'	490.00' 005°12	'29" 44.52'	S21°56'06"W	C72	49.14'	210.0	00' 013°24'3	I" 49.03'	S75°58'41"E	C95 4	1.41'	820.00' 002°53'37	" 41.41'	N76°31'25"E	C118	35.18'	180.00'	011°11'54"	35.12'	S72°37'30"W	C141	34.16'	350.00'	005°35'33"	34.15'	S73°12'25"W
C4 4	3.46'	25.00'	099°35'39" 38.19'	N01°47'05"E	C27	39.31	1' 25.03'	089°59	9'02" 35.40'	N45°38'17"E	C50	57.21'	375.00' 008°44	'26" 57.15'	N23°42'05"E	C73	76.06'	325.0	00' 013°24'3	1" 75.88'	N75°58'41"W	C96 3	5.35'	700.00' 002°53'37	" 35.35'	S73°37'47"W	C119	58.63'	300.00'	011°11'54"	58.54'	N72°37'30"E	C142	34.16'	350.00'	005°35'33"	34.15'	S67°36'52"W
C5 3	1.93'	325.00'	005°37'44" 31.92'	N54°23'46"E	C28	31.08	375.00	0' 004°44	4'54" 31.07'	S58°18'11"E	C51	83.34'	490.00' 009°44	'41" 83.24'	S14°27'31"W	C74	48.91'	210.0	00' 013°20'4	1" 48.80'	S62°36'05"E	C97 4	1.41'	820.00' 002°53'37	" 41.41'	N73°37'47"E	C120	47.97'	300.00'	009°09'44"	47.92'	N82°48'19"E	C143	34.16'	350.00'	005°35'33"	34.15'	S62°01'20"W
C6 4	0.83'	24.91'	093°55'33" 36.41'	S08°13'07"E	C29	47.69	9' 375.00	0' 007°17	7'12" 47.66'	S64°19'14"E	C52	63.78'	375.00' 009°44	'41" 63.70'	N14°27'31"E	C75	75.70'	325.0	00' 013°20'4	1" 75.52'	N62°36'05"W	C98 3	5.35'	700.00' 002°53'37	" 35.35'	S70°44'10"W	C121	28.78'	180.00'	009°09'44"	28.75'	S82°48'19"W	C144	34.16'	350.00'	005°35'33"	34.15'	S56°25'47"W
C7 14	45.75'	650.00'	012°50'49" 145.44'	S44°55'53"W	C30	47.69	9' 375.00	0' 007°17	7'12" 47.66'	S71°36'26"E	C53	60.03'	375.00' 009°10	'20" 59.97'	N05°00'00"E	C76	60.47'	650.0	005°19'4	8" 60.44'	N54°01'12"E	C99 4	1.41'	820.00' 002°53'37	" 41.41'	N70°44'10"E	C122	4.54'	1630.00'	000°09'34"	4.54'	S87°27'59"W	C145	44.94'	350.00'	007°21'25"	44.91'	S49°57'18"W
C8 3	6.30'	25.00'	083°11'16" 33.19'	N42°09'51"E	C31	47.69	9' 375.00	0' 007°17	7'12" 47.66'	S78°53'37"E	C54	78.44'	490.00' 009°10	'20" 78.36'	S05°00'00"W	C77	49.77'	535.0	005°19'4	3" 49.75'	S54°01'12"W	C100 3	5.35'	700.00' 002°53'37	" 35.35'	S67°50'32"W	C123	4.87'	1750.00'	000°09'34"	4.87'	N87°27'59"E	C146	39.94'	350.00'	006°32'18"	39.92'	S43°00'27"W
C9 13	36.08'	700.00'	011°08'17" 135.86'	N43°27'50"E	C32	76.56	6' 490.00	0' 008°57	7'07" 76.48'	S86°36'14"W	C55	2.06'	24.95' 004°44'	27" 2.06'	N87°19'25"W	C78	60.47'	650.0	00' 005°19'4	8" 60.44'	N59°20'59"E	C101 4	1.41'	820.00' 002°53'37	" 41.41'	N67°50'32"E	C124	35.99'	1630.00'	001°15'54"	35.99'	S88°10'43"W	C147	25.97'	350.00'	004°15'04"	25.96'	S37°36'46"W
C10 3	7.94'	25.10'	086°36'59" 34.43'	N81°24'12"E	C33	56.83	375.00	0' 008°40	0'57" 56.77'	N86°28'09"E	C56	14.84'	25.00' 034°00	'48" 14.62'	S16°35'07"E	C79	49.77'	535.0	00' 005°19'4	3" 49.75'	S59°20'59"W	C102 3	5.35'	700.00' 002°53'37	7" 35.35'	S64°56'55"W	C125	38.64'	1750.00'	001°15'54"	38.64'	N88°10'43"E	C148	54.06'	60.00'	051°37'41"	52.25'	S04°38'46"W
C11 3	9.89'	25.00'	091°24'58" 35.79'	S10°13'15"E	C34	74.75	5' 490.00	0' 008°44	1'26" 74.68'	S77°45'28"W	C57	17.44'	85.26' 011°43'	'22" 17.41'	S42°04'22"E	C80	60.47'	650.0	00' 005°19'4	8" 60.44'	N64°40'47"E	C103 4	1.41'	820.00' 002°53'37	" 41.41 ¹	N64°56'55"E	C126	35.99'	1630.00'	001°15'54"	35.99'	S89°26'37"W	C149	34.45'	60.00'	032°53'34"	33.97'	S37°36'51"E
C12 4	7.87'	300.00'	009°08'33" 47.82'	S40°03'30"W	C35	57.21	1' 375.00	0' 008°44	4'26" 57.15'	N77°45'28"E	C58	41.04'	200.61' 011°43	22" 40.97'	N42°04'22"W	C81	49.77'	535.0	00' 005°19'4	3" 49.75'	S64°40'47"W	C104 3	5.35'	700.00' 002°53'37	7" 35.35'	S62°03'17"W	C127	38.64'	1750.00'	001°15'54"	38.64'	N89°26'37"E	C150	13.04'	1525.00'	000°29'24"	13.04'	S54°18'20"E
C13 3	9.23'	24.95'	090°04'45" 35.31'	N44°21'14"W	C36	74.75	5' 490.00	0' 008°44	1'26" 74.68'	S69°01'01"W	C59	51.23'	85.26' 034°25	50.47	S18°59'46"E	C82	60.47'	650.0	00' 005°19'4	8" 60.44'	N70°00'35"E	C105 4	1.41'	820.00' 002°53'37	" 41.41'	N62°03'17"E	C128	19.73'	1750.00'	000°38'45"	19.73'	S89°36'03"E	C151	36.69'	1525.00'	001°22'42"	36.69'	S55°14'23"E
C14 4	3.46'	25.00'	099°35'39" 38.19'	N82°11'26"E	C37	57.21	1' 375.00	0' 008°44	4'26" 57.15'	N69°01'01"E	C60	124.81'	200.61' 035°38'	'53" 122.81'	N18°23'14"W	C83	49.77'	535.0	00' 005°19'4	3" 49.75'	S70°00'35"W	C106 3	5.35'	700.00' 002°53'37	7" 35.35'	S59°09'40"W	C129	18.37'	1630.00'	000°38'45"	18.37'	N89°36'03"W	C152	39.18'	25.00'	089°47'55"	35.29'	S11°01'47"E
C15 2	4.52'	24.97'	056°16'30" 23.55'	S62°21'44"W	C38	74.75	5' 490.00	0' 008°44	1'26" 74.68'	S60°16'35"W	C61	14.70'	24.97' 033°43'	'30" 14.49'	N17°21'44"E	C84	60.47'	650.0	00' 005°19'4	3" 60.44'	N75°20'22"E	C107 4	1.41'	820.00' 002°53'37	r" 41.41'	N59°09'40"E	C130	13.45'	1920.00'	000°24'04"	13.45'	S89°28'43"E	C153	42.66'	325.00'	007°31'12"	42.63'	S51°46'21"E
C16 2	4.43'	25.00'	055°59'12" 23.47'	N61°35'07"W	C39	57.21	1' 375.00	0' 008°44	4'26" 57.15'	N60°16'35"E	C62	52.92'	250.00' 012°07	'40" 52.82'	S08°40'33"E	C85	49.77'	535.0	00' 005°19'4	3" 49.75'	S75°20'22"W	C108 3	5.35'	700.00' 002°53'37	7" 35.35'	S56°16'02"W	C131	12.61'	1800.00'	000°24'04"	12.61'	N89°28'43"W	C154	190.78'	225.00'	048°34'57"	185.12'	S23°43'16"E
C17 18	31.40'	325.00'	031°58'47" 179.05'	N16°24'14"E	C40	102.4	6' 490.00	0' 011°58	3'52" 102.28'	S49°54'56"W	C63	57.49'	250.00' 013°10	'30" 57.36'	S21°19'38"E	C86	42.72'	25.00	0' 097°54'3	2" 37.71'	S48°23'03"E	C109 4	1.41'	820.00' 002°53'37	r" 41.41'	N56°16'02"E	C132	38.08'	1920.00'	001°08'11"	38.08'	N89°45'09"E	C155	294.39'	325.00'	051°53'58"	284.43'	S61°26'13"W
C18 3	34.44'	25.00'	078°55'17" 31.78'	N86°28'44"E	C41	45.94	4' 350.00	0' 007°31	1'12" 45.90'	S51°46'21"E	C64	57.75'	250.00' 013°14'	'10" 57.63'	S34°31'58"E	C87	52.83'	650.0	00' 004°39'2	5" 52.82'	N80°19'59"E	C110 3	5.35'	700.00' 002°53'37	7" 35.35'	S53°22'25"W	C133	35.70'	1800.00'	001°08'11"	35.70'	S89°45'09"W	C156	103.33'	1775.00'	003°20'08"	103.32'	S89°03'15"W
C19 3	4.83'	25.00'	079°50'09" 32.08'	S14°08'33"E	C42	36.14	4' 25.00')' 082°49	9'09" 33.07'	S89°25'19"E	C65	29.94'	250.00' 006°51	'42" 29.92'	S44°34'54"E	C88	56.27'	535.0	00' 006°01'3	3" 56.24'	S81°01'03"W	C111 4	1.41'	820.00' 002°53'37	" 41.41 [']	N53°22'25"E	C134	38.08'	1920.00'	001°08'11"	38.08'	N88°36'58"E	C157	755.39'	350.00'	123°39'34"	617.08'	N62°14'29"E
C20 18	33.59'	60.00'	175°18'54" 119.90'	S61°52'56"E	C43	44.10	0' 375.00	0' 006°44	4'15" 44.07'	N52°32'14"E	C66	75.39'	325.00' 013°17	"25" 75.22'	S63°51'21"W	C89	5.67'	250.0	001°17'5	3" 5.67'	S00°04'46"E	C112 3	5.35'	700.00' 002°53'37	" 35.35'	S50°28'48"W	C135	35.70'	1800.00'	001°08'11"	35.70'	S88°36'58"W	C158	48.92'	1500.00'	001°52'07"	48.91'	S54°59'41"E
C21 3	9.36'	25.00'	090°12'05" 35.42'	S78°58'13"W	C44	85.23	3' 490.00	0' 009°57	7'59" 85.13'	S33°03'17"W	C67	49.18'	210.00' 013°25'	900" 49.06'	N63°47'33"E	C90	41.41'	820.0	00' 002°53'3	7" 41.41'	N82°18'40"E	C113 4	1.41'	820.00' 002°53'37	r" 41.41'	N50°28'48"E	C136	20.77'	1800.00'	000°39'40"	20.77'	S87°43'02"W	C159	57.36'	100.00'	032°51'59"	56.58'	S37°37'38"E
C22 4	3.54'	375.00'	006°39'09" 43.52'	N85°51'48"W	C45	44.08	375.00	0' 006°44	4'07" 44.06'	N31°26'21"E	C68	76.06'	325.00' 013°24	'31" 75.88'	S77°12'18"W	C91	35.35'	700.0	00' 002°53'3	7" 35.35'	S82°18'40"W	C114 3	5.18'	180.00' 011°11'54	35.12'	S50°13'43"W	C137	22.16'	1920.00'	000°39'40"	22.16'	N87°43'02"E	C160	666.32'	675.00'	056°33'34"	639.60'	S62°08'58"W
C23 3	9.28'	25.00'	090°00'00" 35.36'	S45°25'17"W	C46	36.14	4' 25.00')' 082°49	9'09" 33.07'	N06°36'10"W	C69	49.14'	210.00' 013°24	'31" 49.03'	N77°12'18"E	C92	35.35'	700.0	00' 002°53'3		S79°25'02"W	C115 5	8.63'	300.00' 011°11'54	58.54'	N50°13'43"E	C138	1.21'	350.00'	000°11'55"	1.21'	S87°17'14"W	L					



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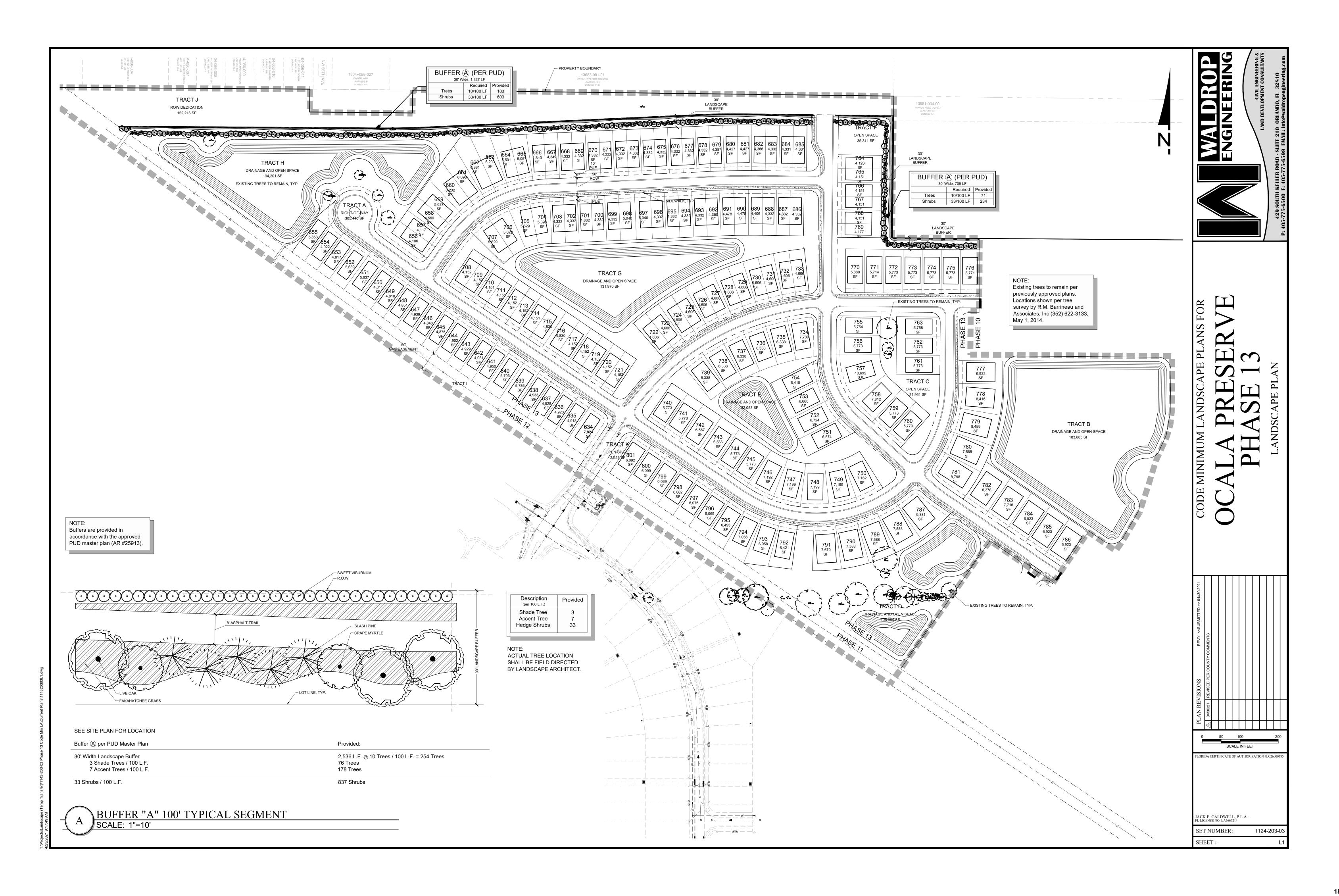
NOT TO SCALE ORIDA CERTIFICATE OF AUTHORIZATION #LC260

DAMON PARRISH, P.E. FL LICENSE NO. 73145 SET NUMBER: 1143-204-0

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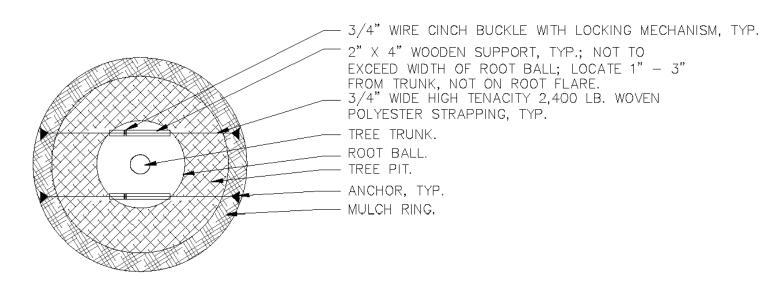
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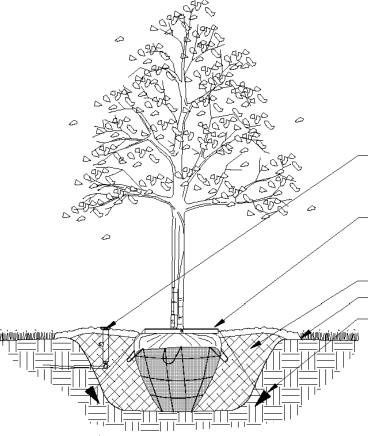


NOTES:

- 1. UPON COMPLETION OF THE INSTALLATION, THE CONTRACTOR SHALL REQUEST AN INSPECTION BY THE DESIGN PROFESSIONAL. A LANDSCAPE AND IRRIGATION AS-BUILT CERTIFICATION SHALL BE SIGNED AND SEALED BY THE DESIGN PROFESSIONAL AND SUBMITTED TO THE COUNTY LANDSCAPE ARCHITECT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, PER SECTION 6.8.12 OF LDC.
- LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH SECTION 6.8.13 OF LDC: A. ALL LANDSCAPE AREAS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FLORIDA-FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER
- RESOURCES BY THE GREEN INDUSTRIES, UF/IFAS AND FDEP. B. TREES OR PALMS SHALL NOT BE SEVERELY PRUNED OR SHAPED. THE NATURAL GROWTH HABIT OF A TREE OR PALM SHALL BE CONSIDERED DURING THE DESIGN PHASE TO AVOID MAINTENANCE CONFLICTS.
- C. TREES OR PALMS WHICH ARE GUYED OR BRACED SHALL HAVE SUCH GUYING OR BRACING REMOVED ONCE SUFFICIENT ROOT GROWTH HAS ENABLED THE TREE OR PALM TO SUPPORT ITSELF. DAMAGING TREES WITH GUYING DEVICES SHALL BE CONSIDERED A VIOLATION OF THIS CODE. DAMAGED TREES SHALL BE REPLACED AT THE EXPENSE OF THE OWNER.
- D. THE ALTERATION OF ANY REQUIRED AND APPROVED LANDSCAPE AREA WITHOUT OBTAINING PRIOR WRITTEN APPROVAL FROM THE COUNTY IS PROHIBITED. THE EXPANSION OF DROUGHT TOLERANT LANDSCAPING, EXCLUDING THE REPLACEMENT OF PLANTED AREAS OF TURF GRASS, OR REPLACING DYING OR DISEASED PLANTS WITH SIMILAR PLANT MATERIAL IS EXCLUDED.
- BUFFERS AND SCREENING PLANTINGS SHALL PROVIDE HEALTHY APPEARANCE YEAR ROUND AND BE MAINTAINED AT THE REQUIRED MINIMUM HEIGHTS.
- 3. ALL PLANT MATERIAL USED SHALL BE EQUAL TO OR EXCEED THE GRADE OF FLORIDA #1 AS PER "GRADES AND STANDARDS FOR NURSERY PLANTS", STATE OF FLORIDA, LATEST EDITION.
- 4. LANDSCAPE INSTILLATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH SECTION 6.8.15 OF THE LDC.
- A. LANDSCAPE INSTALLATION PROFESSIONALS PERFORMING WOK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL BE LANDSCAPE CONTRACTORS LICENSED BY THE MARION COUNTY BUILDING DEPARTMENT, UNLESS OTHERWISE LICENSED BY THE STATE OF FLORIDA.
- B. LANDSCAPE MAINTENANCE PROFESSIONALS PERFORMING WORK FOR HIRE WITHIN THE UNINCORPORATED AREAS OF MARION COUNTY SHALL POSSESS CURRENT GI-BMP CERTIFICATE OF COMPLETION.
- C. ANY PERSON PROVIDING SERVICES FOR HIRE REGARDING LANDSCAPE MAINTENANCE THAT INCLUDES THE APPLICATION OF FERTILIZER OR PESTICIDE SHALL MEET THE APPLICABLE STATE AND COUNTY LICENSING AND CERTIFICATION REQUIREMENTS INCLUDED HEREIN.
- AN IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO ISSUANCE OF A DEVELOPMENT ORDER OR BUILDING PERMIT. ALL IRRIGATION SYSTEMS, INCLUDING TEMPORARY, SHALL COMPLY WITH THE DESIGN STANDARDS OF THE MARION COUNTY LAND DEVELOPMENT CODE DIVISION 9, SEC 6.9, AND ALL OTHER STATE AND LOCAL STATUTES THAT APPLY. IRRIGATION DESIGN AND PLANS BY OTHERS.



<u>PLAN VIEW</u>



IRRIGATION DEVICE TO BE INSTALLED WITHIN TREE PIT; DRIP IRRIGATION TO BE SET BELOW MULCH. BERMS ARE NOT REQUIRED UNLESS TREE IS WATERED BY HOSE, BUCKET OR OTHER HIGH-VOLUME METHOD. ROOT BALL STAKING KIT; (2) 2" X 4" LUMBER ACROSS TOP ROOT BALL; RATCHETING TENSIONER WITH RATCHET LOCK, SECURED TIGHTLY. LUMBER TO BE 4" IN FROM EDGE OF ROOT BALL. USE LONGER LUMBER FOR LARGER ROOT BALLS. — BACKFILL SOIL.

— FINISH GRADE.

- ARROWHEAD TO BE SET INTO UNDISTURBED SOIL. PIT SIZE VARIES

AT LEAST 1.5X WIDTH OF ROOT BALL

TREE INSTALLATION WITH ROOT BALL KIT SCALE: N.T.S.

LANDSCAPE MATERIALS SCHEDULE **TREES** NATIVE SPACING QUANTITY BOTANICAL NAME SPECIFICATION COMMON NAME 8'-10'H x 3'-4'S, 1-1/2"Cal Min. as shown Lagerstroemia indica Crape Myrtle as shown 128 Pinus elliottii Slash Pine 8'-10'H x 3'-4'S, 1-1/2"Cal Min. 76 Live Oak Quercus virginiana 'C' 14'-16'H x 7'-8'S, 3-1/2"Cal Min as shown SHRUBS / GRASSES NATIVE SPACING QUANTITY BOTANICAL NAME COMMON NAME SPECIFICATION 837 Viburnum odoratissimum Y 3' O.C. Sweet Viburnum 24"H x 18"S Tripsacum dactyloides Fakahatchee Grass 18"H x 12"S Y 3' O.C.

-IRRIGATION DEVICE TO BE INSTALLED WITHIN TREE PIT; DRIP IRRIGATION TO BE SET BELOW MULCH. BERMS

ARE NOT REQUIRED UNLESS TREE IS WATERED BY

HOSE, BUCKET OR OTHER HIGH-VOLUME METHOD.

THE ROOT BALL; DO NOT PILE MULCH ON THE

- PLANT TO BE SET 1" ABOVE FINISH GRADE.

- MULCH UP TO AND AROUND THE EDGES OF

CROWN OF THE PLANT.

- FINISH GRADE

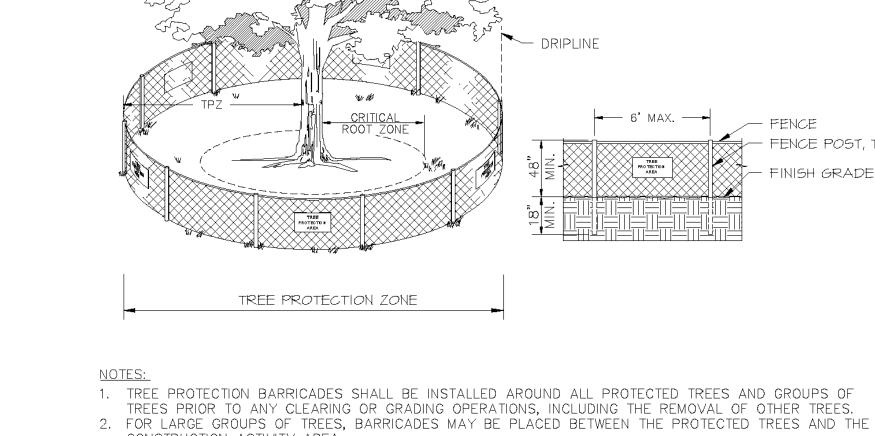
BACKFILL SOIL.

PIT TO BE TWICE DIAMETER OF ROOT BALL,

MINIMUM 6" ON EACH SIDE.

SCALE: N.T.S.

SHRUB INSTALLATION



TREE PROTECTION ZONE

1. TREE PROTECTION BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES AND GROUPS OF TREES PRIOR TO ANY CLEARING OR GRADING OPERATIONS, INCLUDING THE REMOVAL OF OTHER TREES.

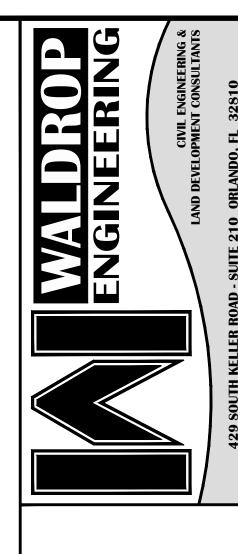
DRIPLINE

FENCE POST, TYP.

FINISH GRADE

- CONSTRUCTION ACTIVITY AREA. 3. BARRICADES SHALL BE MADE OF RIGID MATERIAL CAPABLE OF SURVIVING FOR THE DURATION OF THE
- CONSTRUCTION. 4. BARRICADES SHALL BE INSPECTED WEEKLY DURING THE DURATION OF CONSTRUCTION AND
- REPAIRED/REINSTALLED AS REQUIRED. 5. CLEANING OF EQUIPMENT OR MATERIAL OR THE DISPOSAL OF WASTE MATERIALS, INCLUDING BUT NOT LIMITED TO, PAINT, OIL, SOLVENT, ASPHALT, CONCRETE, AND MORTAR WITHIN THE TREE PROTECTION ZONE
- (TPZ) OF ANY TREE IS NOT ALLOWED. 6. THE MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, DEBRIS, OR FILL WITHIN THE TPZ
- OF ANY TREE IS NOT ALLOWED. 7. IF ANY TREE WHICH IS NOT PERMITTED FOR REMOVAL IS DESTROYED, OR RECEIVES MAJOR DAMAGE DURING CONSTRUCTION, WITH THE EXCEPTION OF NATURAL EVENTS, SO AS TO PLACE ITS LONG TERM SURVIVAL IN QUESTION, MUST BE REPLACED AT AN INCH-TO-INCH BASIS OF THE TOTAL (COMBINED) DBH OF THE TREE(S) SO DESTROYED OR DAMAGED. THE REPLACEMENT TREE(S) SHALL BE OF COMPARABLE SPECIES OF THE DESTROYED OR DAMAGED TREE(S) WITH A MINIMUM SIZE OF 3 $\frac{1}{2}$ " CALIPER.
- 8. REQUIRED SIGNS SHALL STATE "TREE PROTECTION ZONE".





4

PLAN REVISIONS REV01 < <submitted>> 04//30/2021</submitted>	04/30/21 REVISED PER COUNTY COMMENTS						
AN RE	04/30/21						
PI							

ORIDA CERTIFICATE OF AUTHORIZATION #LC260003

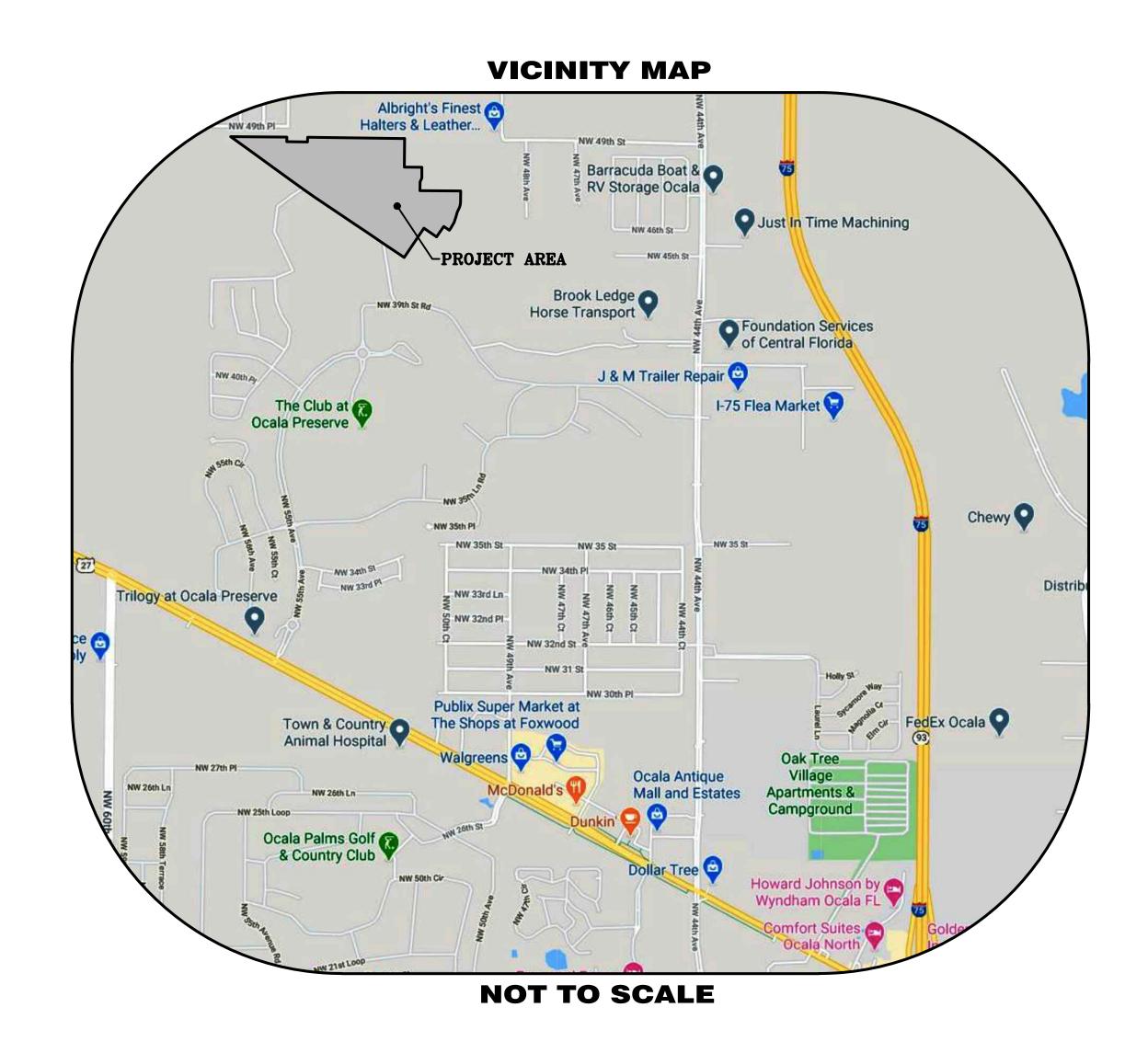
JACK E. CALDWELL, P.L.A. FL LICENSE NO. LA6667214

SET NUMBER: 1124-203-03

DESCRIPTION: A parcel of land lying in Section 33, Township 14 South, Range 21 East, Marion County, Florida, and being more particularly described as follows:

BEGIN at the Northwest corner of the Northeast 1/4 of the Northeast 1/4 of said Section 33; run thence along the West boundary of said Northeast 1/4 of the Northeast 1/4 of Section 33, S 00°34'13" W, a distance of 372.01 feet; thence S 89°34'16" E, a distance of 229.00 feet; thence S 00°24'50" W, a distance of 140.91 feet; thence S 24°28'38" W, a distance of 54.80 feet; thence S 00°24'50" W, a distance of 114.97 feet; thence S 89°35'10" E, a distance of 530.17 feet; thence S 00°33'28" W, a distance of 145.60 feet; thence S 05°50'36" W, a distance of 33.96 feet; thence S 16°22'38" W, a distance of 33.96 feet; thence S 24°31'44" W, a distance of 69.09 feet; thence S 16°59'27" W, a distance of 69.19 feet; thence S 18°05'23" W, a distance of 73.26 feet; thence S 30°43'04" W, a distance of 84.41 feet; thence S 34°28'03" W, a distance of 33.82 feet; thence N 55°31'57" W, a distance of 87.95 feet; thence S 34°28'03" W, a distance of 165.00 feet; thence N 55°31'57" W, a distance of 198.97 feet; thence S 33°58'56" W, a distance of 459.38 feet to a point on the Southerly boundary of the Texas Gas and Oil Company 50 foot wide Easement as recorded in Official Records Book 367, Page 567, of the Public Records of Marion County, Florida; thence along said Southerly boundary, the following eleven (11) courses: 1) N 56°19'06" W, a distance of 92.76 feet; 2) N 56°19'20" W, a distance of 206.56 feet; 3) N 55°43'40" W, a distance of 280.04 feet; 4) N 56°04'22" W, a distance of 226.98 feet; 5) N 56°10'05" W, a distance of 170.94 feet; 6) N 56°06'17" W, a distance of 409.31 feet; 7) N 54°58'22" W, a distance of 200.82 feet; 8) N 54°04'34" W, a distance of 203.31 feet; 9) N 54°12'12" W, a distance of 311.07 feet; 10) N 54°01'21" W, a distance of 262.71 feet; 11) N 54°11'14" W, a distance of 389.33 feet to a point on the North boundary of the Northwest 1/4 of said Section 33, thence along said North boundary, S 89°34'14" E, a distance of 731.37 feet; thence S 00°48'08" W, a distance of 60.00 feet; thence S 89°30'28" E, a distance of 270.00 feet; thence N 00°48'08" E, a distance of 60.00 feet to a point on the North boundary of the aforesaid Northeast 1/4 of Section 33; thence along said North boundary, S 89°17'14" E, a distance of 1263.21 feet to the **POINT OF BEGINNING**.

Containing 51.393 acres, more or less.



	Sheet Index
1	Cover Sheet, Vicinity Map, Certification and Legal Description
2	Boundary
3 - 6	Occupation Location

REVISIONS

SURVEYOR'S NOTES:

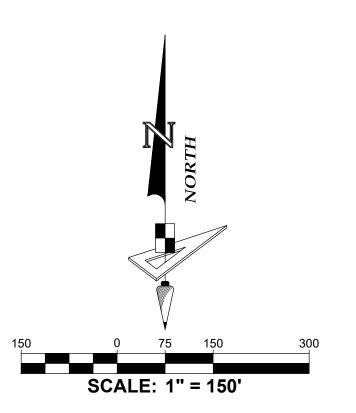
- 1. Current title information on the subject property had not been furnished to GeoPoint Surveying, Inc. at the time of this survey, and is subject to title review and/or abstract. GeoPoint Surveying, Inc. makes no representations or guarantees pertaining to easements, rights-of-way, set back lines, reservations, agreements, and other similar
- 2. This survey is limited to above ground visible improvements along and near the boundary lines, except as shown hereon, and that nothing below the ground was located including, but not limited to foundations (footings), utilities, etc.
- 3. Bearings shown hereon are based on the North boundary of the Northeast 1/4 of Section 33, Township 14 South, Range 21 East, Marion County, Florida, having a Grid bearing of S.89°17'14"E, The Grid Bearings as shown hereon refer to the State Plane Coordinate System, North American Horizontal Datum of 1983 (NAD 83-2011 ADJUSTMENT) for the West Zone of Florida.
- 4. This survey is intended to be displayed at 1" = 150' or smaller.
- 5. All dimensions, unless otherwise noted, are survey dimensions.
- 6. Additions or Deletions to survey maps or reports by other than the signing party or parties is prohibited without the written consent of the signing party or parties.
- 7. The subject parcel lies in Flood Zone "X", according to Flood Insurance Rate Map, Map No. 12083C0502E for Marion County, Community No. 120160, Marion County, Florida, dated April 19, 2017 and issued by the Federal Emergency Management Agency. Lines shown have been digitally translated from DFIRM database information supplied by the FEMA Map Service Center (https://msc.fema.gov).
- 8. Elevations shown hereon are based on the North American Vertical Datum of 1988 (NAVD 88) based on National Geodetic Survey Benchmark "AR0920", having a published elevation of 92.56 feet (NAVD 88).
- 9. Use of this survey for purposes other than intended, without written verification, will be at the user's sole risk and without liability to the surveyor. Nothing hereon shall be construed to give any rights or benefits to anyone other than those certified to.
- 10. On this drawing, certify means to state or declare a professional opinion of conditions regarding those findings or facts which are the subject of the certification and does not constitute a warranty or guarantee, either implied or expressed. This certification is only for the lands as described. This certification is not a certificate of title, easements, zoning, or freedom of encumbrances.
- 11. Horizontal coordinates as shown on this survey are referenced to NAD 83 (2011 adjustment), Florida West Zone.

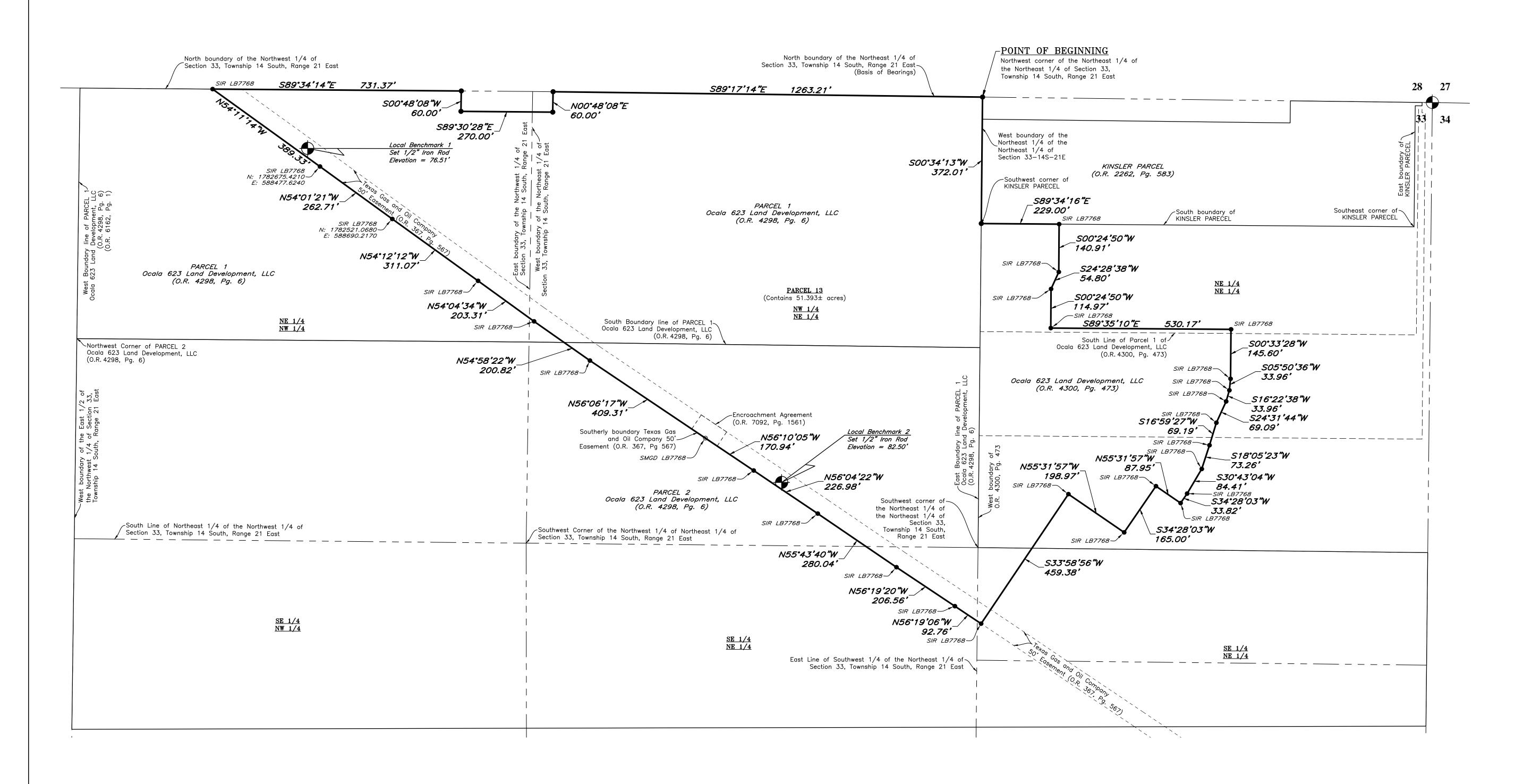
PROJECT: TRILOGY DATE OF LAST FIELD SURVEY SURVEYOR'S CERTIFICATION Boundary & Topographic Survey **April 22, 2021** PHASE: PARCEL 13 I DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE DRAWN: LEY DATE: 04/22/21 CHECKED BY: MHC SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL P.CHIEF: CG FIELD BOOK: 34-2021-Pages: 1 - 5 SURVEYORS & MAPPERS STATED IN RULES 5J-17.051, NOT VALID WITHOUT TH PREPARED FOR 5J-17.052, AND 5J-17-053, FLORIDA ADMINISTRATIVE SIGNATURE AND TH DATA FILE: TRILOGY-ALTA-CG-04-22-2021.txt CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. ORIGINAL RAISED SEAL OF Forestar (USA) Real Estate Group, Inc

A FLORIDA LICENSED DESCRIPTION SURVEYOR AND MAPPER Section 33 & 34, Township 14 S., Range 21 E. David A. Williams FLORIDA PROFESSIONAL SURVEYOR & MAPPER NO. LS6423 Marion County, Florida VERTICAL DATUM: NAVD88 onversion from NAVD88 to NGVD29:+0.94

213 Hobbs Street Phone: (813) 248-8888 Fax: (813) 248-2266 Tampa, Florida 33619 www.geopointsurvey.com Licensed Business No.: LB 7768

SHEET NUMBER: **01** of **06** FILE PATH: P:\TRILOGY\SURVEY\TRILOGY-CDD-PARCEL-13-BTT-SHTS-1&2.DWG PLOTTED BY: LUIS C. LEYVA HERNANDEZ ON: 4/27/2021 10:01 AM LAST SAVED BY: LUISL ON: 4/27/2021 8:29 AM





VERTICAL DATUM: NAVD88
Conversion from NAVD88 to NGVD29:+0.94

PROJECT: TRII	LOGY		
PHASE: PARC	EL 13		
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P.CHIEF: CG	FIELD BOOK: 34-2	2021-Pages: 1	- 5
DATA FILE: TRIL	LOGY-ALTA-CG	-04-22-2021.tx	t
	REVISIO	NS	
DATE	DESCRIPTION	NC	DRAWN BY

SEE SHEET 1 of 6 FOR SURVEYOR'S CERTIFICATE

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

Boundary & Topographic Survey

PREPARED FOR

PREPARED FOR
Forestar (USA) Real Estate Group, Inc
LOCATED IN
Section 33 & 34, Township 14 S., Range 21 E.
Marion County, Florida

GeoPoint
Surveying, Inc.

213 Hobbs Street
Tampa, Florida 33619
www.geopointsurvey.com

Phone: (813) 248-8888
Fax: (813) 248-2266
Licensed Business No.: LB 7768

Section 33 & 34, Township 14 S., Range 21 E.

Marion County, Florida

Marion County, Florida

SHEET NUMBER: 02 of 06

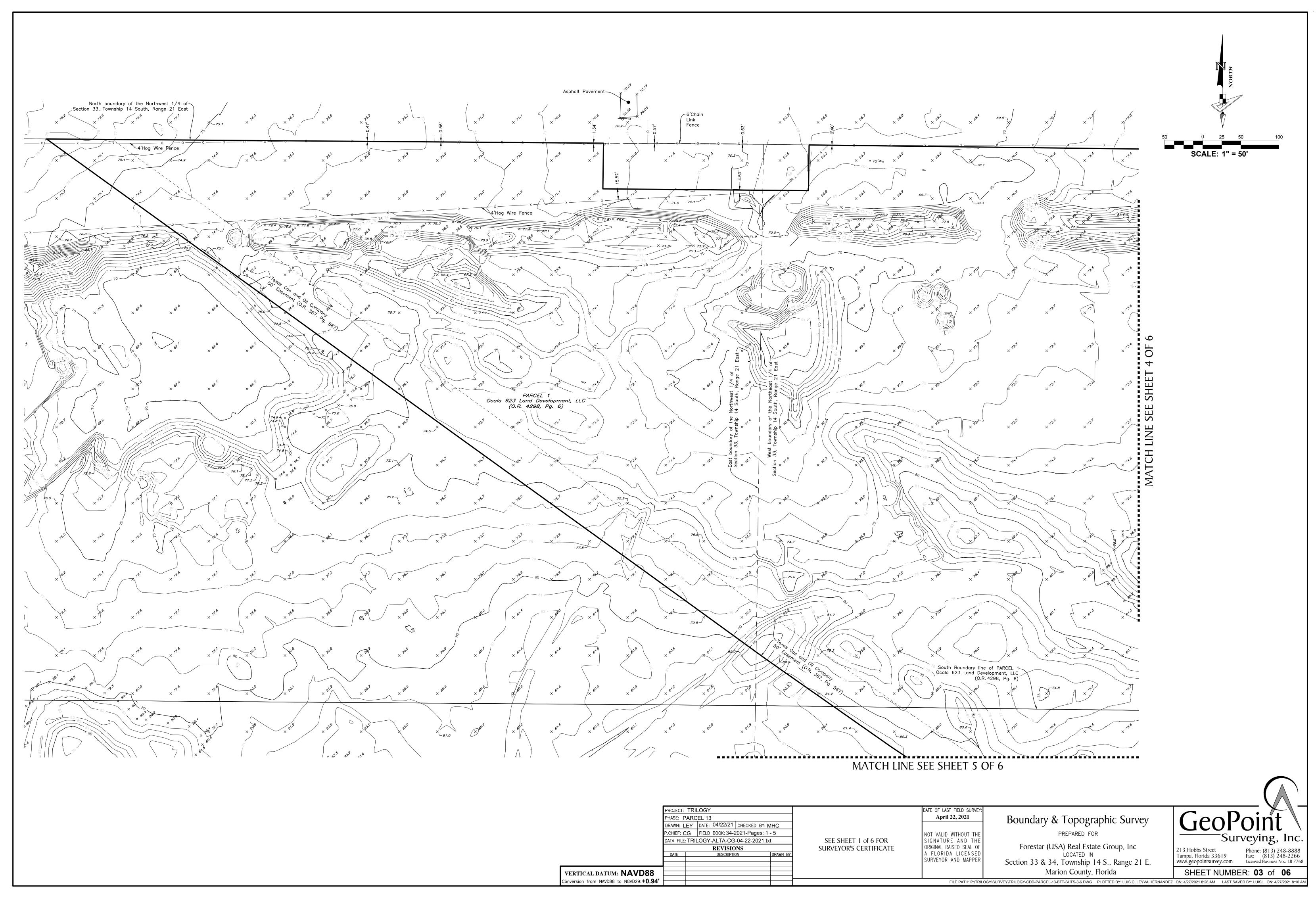
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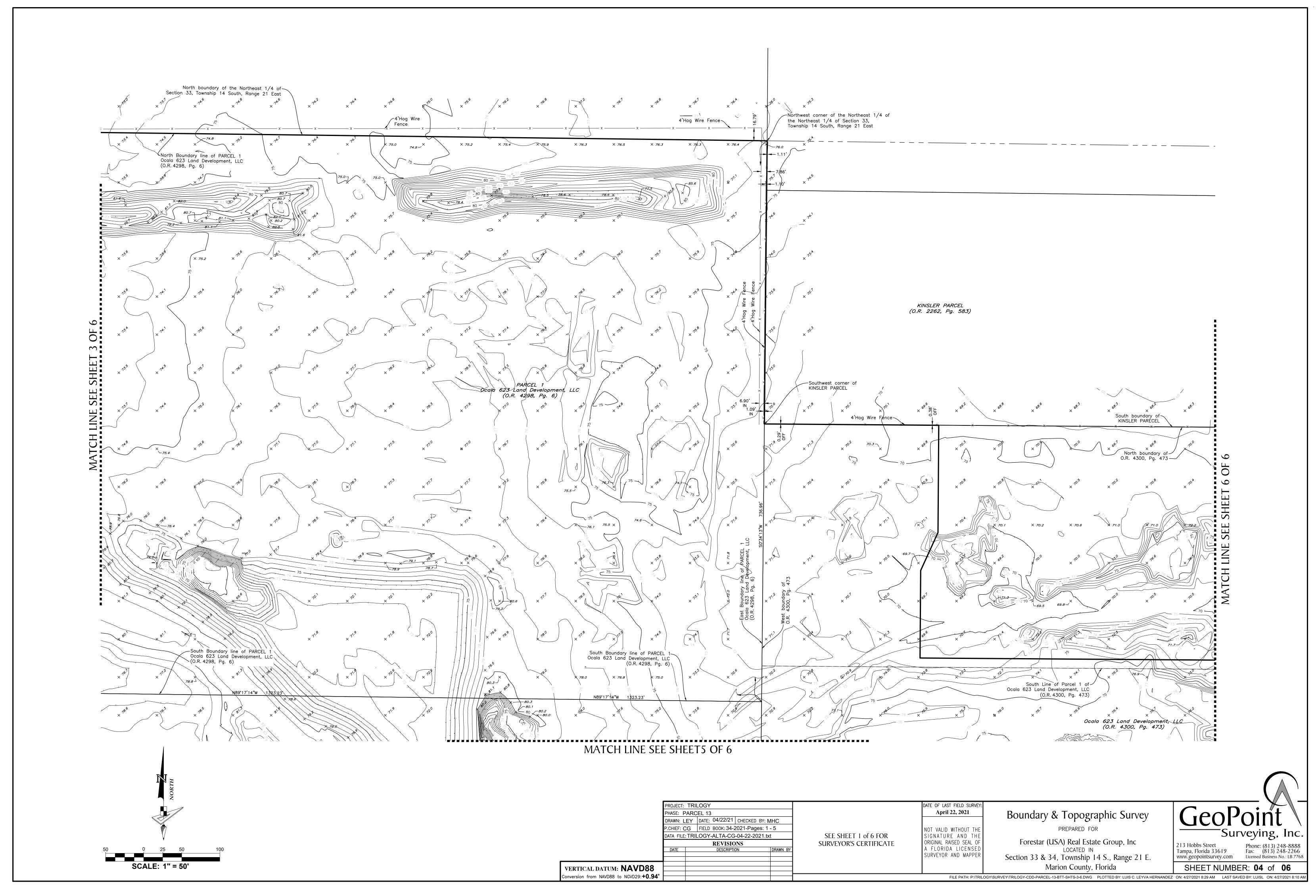
PLOTTED BY: LUIS C. LEYVA HERNANDEZ

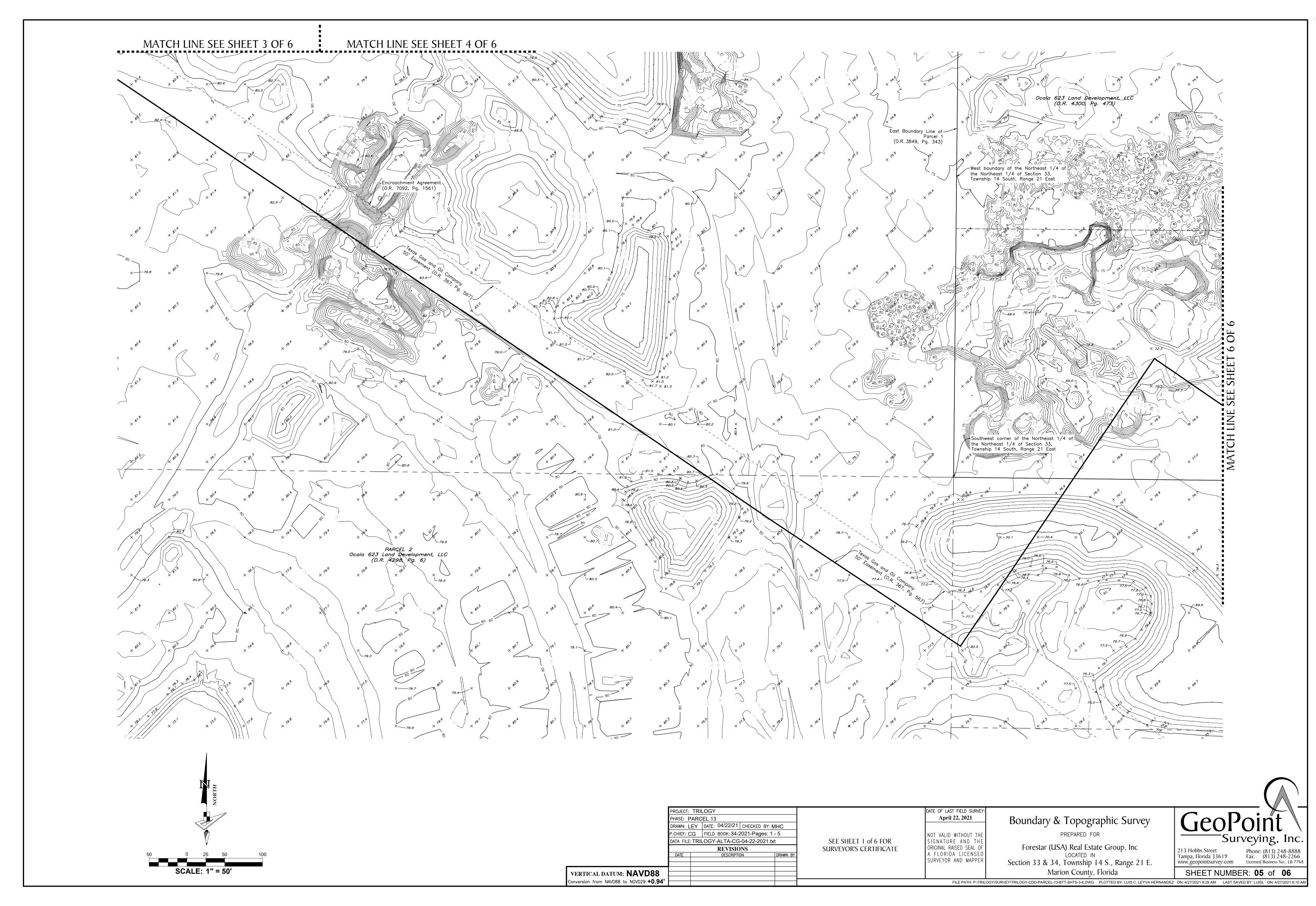
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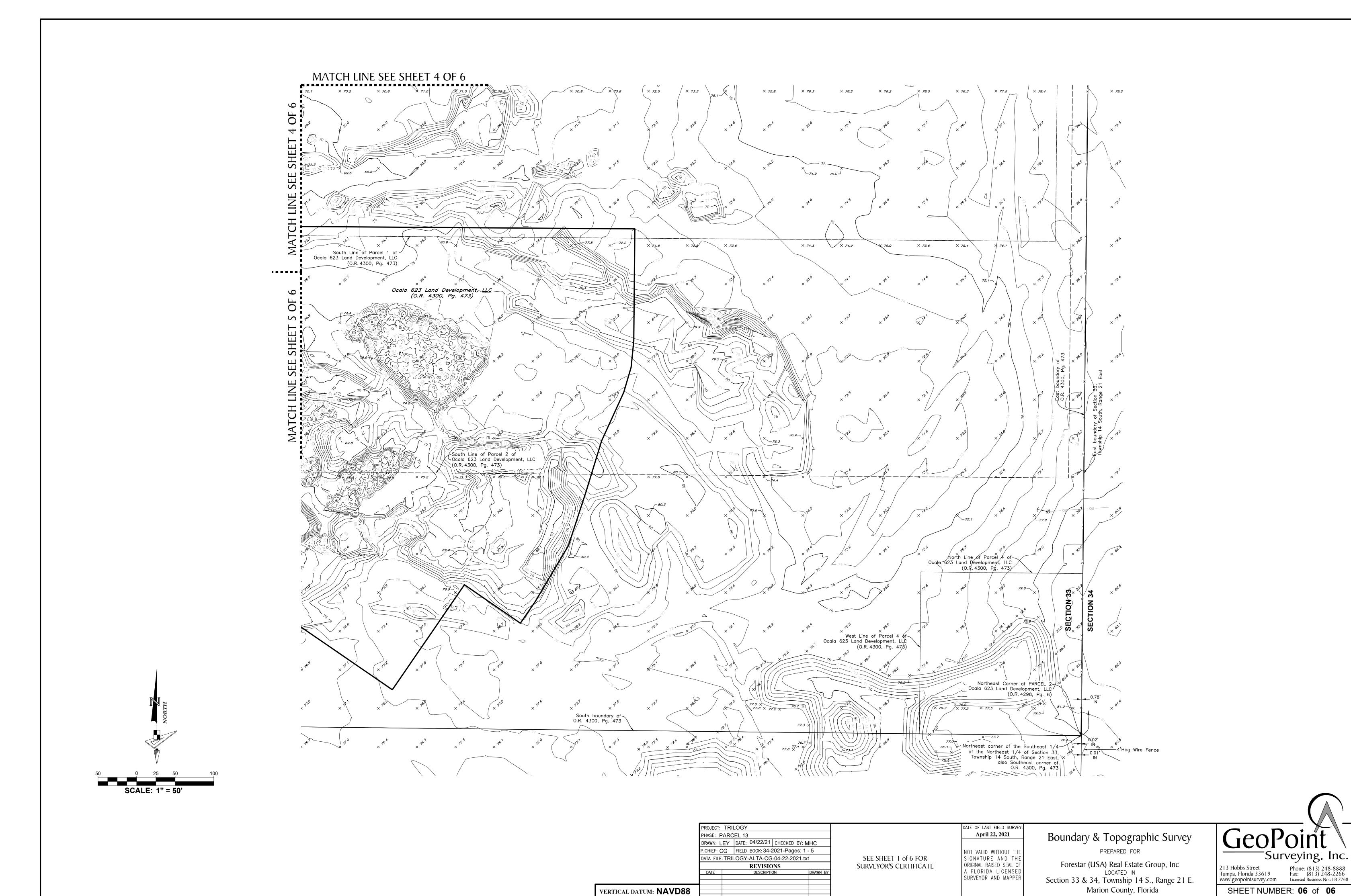
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ON: 4/27/2021 8:22 AM









Conversion from NAVD88 to NGVD29:**+0.94**

Surveying, Inc.

FILE PATH: P:\TRILOGY\SURVEY\TRILOGY-CDD-PARCEL-13-BTT-SHTS-3-6.DWG PLOTTED BY: LUIS C. LEYVA HERNANDEZ ON: 4/27/2021 8:30 AM LAST SAVED BY: LUISL ON: 4/27/2021 8:10 AM



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3160 Agenda Date: 5/17/2021 Agenda No.: 5.2.

SUBJECT:

HEATHER ISLAND MARKET CENTER PARTIAL REPLAT - FINAL PLAT REPLAT OF HEATHER ISLAND MARKET CENTER LOTS 6, 8, 9, 10, 11, TRACTS A, E, F, H, & DRΔ

9256 SE MARICAMP RD OCALA

Project #2010100016 #25728 Parcel #9009-2000-06, 9009-2000-08, 9009-2000-09, 9009-2000-10, 9009-2000-11, 9009-2000+01, 9009-2000+05, 9009-2000006, 9009-2000008, & 9009-0000+11

R.M. Barrineau & Associates



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

MAY 14, 2021

RM BARRINEAU & ASSOCIATES TRAVIS BARRINEAU 1309 SE 25TH LOOP SUITE 103 OCALA, FL 34471

SUBJECT: DRC INFORMATIONAL LETTER

PROJECT NAME: HEATHER ISLAND MARKET CENTER PARTIAL REPLAT

PROJECT #2010100016

APPLICATION: FINAL PLAT #25728

Dear Travis:

The above referenced project was reviewed by Development Review staff and the following comments are for your review. You need not reply to the comments, and if the comments have been previously completed, simply disregard. Your plan will be scheduled for approval by the Development Review Committee on May 17, 2021. This item will be on the consent agenda and attendance is not required.

1 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.1.3 - Order of plan approval

STATUS OF REVIEW: INFO

REMARKS: 12/7/20 - Improvement plan for this project is AR #20834 (Heather Island Market Center

Two)

2 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.19.3 - Executed mylar prior to plan approval & 6.4.4.K - All signatures shall be original

and made in permanent dark ink STATUS OF REVIEW: INFO

REMARKS:

3 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 6.3.1.F(1) - Establishment of MSBU, CDD, or other State recognized special district for

the maintenance and operation of the dedicated improvements

STATUS OF REVIEW: INFO

REMARKS: DRC 4/26/21 - GRANTED A 90 DAY EXTENSION FOR THE ESTABLISHMENT OF

THE MSBU TO ALLOW FOR THE PUBLIC HEARINGS AND ADVERTISING PROCESS

4/17/21 - Per RAI, developer is working with MSTU Department. Provide final documentation of MSBU establishment.

3/17/21 - Per RAI, developer is working with MSTU Department

12/7/20 - Contact the MSTU Department for assistance with this process or obtain a waiver from DRC.

4 DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the county. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder.

5 DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.19.3.B - If there are internal roads within the development please provide digital streets

in NAD83 FL W .dwg or .dxf format to laura.johnson@marioncountyfl.org

STATUS OF REVIEW: INFO

REMARKS: Please email the CAD file to Laura.Johnson@marioncountyfl.org

If you have any questions please contact me at (352) 671-8682 or carla.sansone@marioncountyfl.org.

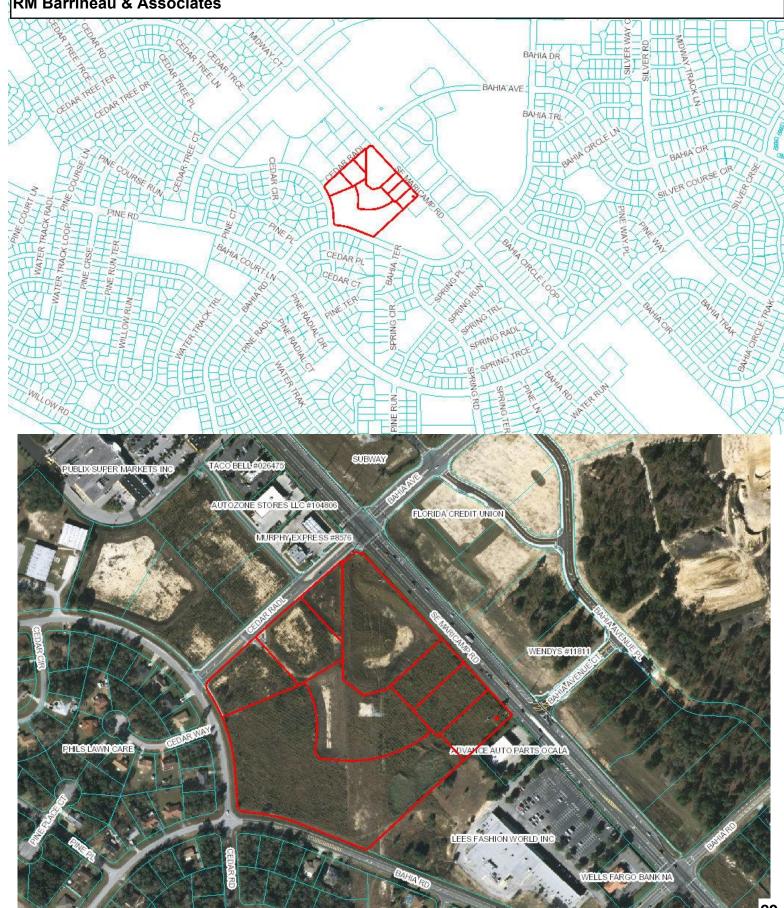
Sincerely,

Carla Sansone

Development Review Coordinator

HEATHER ISLAND MARKET CENTER PARTIAL REPLAT - FINAL PLAT REPLAT OF HEATHER ISLAND MARKET CENTER LOTS 6, 8, 9, 10, 11, TRACTS A, E, F, H, & DRA 9256 SE MARICAMP RD OCALA

Project #2010100016 #25728 Parcel ##9009-2000-06, 9009-2000-08, 9009-2000-09, 9009-2000-10, 9009-2000-11, 9009-2000+01, 9009-2000+05, 9009-2000006, 9009-2000008, & 9009-0000+11 RM Barrineau & Associates



PLAT BOOK ____, PAGE ____

A REPLAT OF A PORTION OF HEATHER ISLAND MARKET CENTER AS RECORDED IN PLAT BOOK 12, PAGES 18 AND 19 AND A PORTION OF HEATHER ISLAND SHOPPING CENTER AS RECORDED IN PLAT BOOK 11, PAGES 109 AND 110 SECTION 8, TOWNSHIP 16 SOUTH, RANGE 23 EAST MARION COUNTY, FLORIDA

___ <u>MIDWAY_ROA</u>D__

SURVEYOR'S NOTES:

- 1. THIS PLAT DEPICTS A SURVEY PERFORMED FOR THE SPECIFIC PURPOSE OF RECORDING A SUBDIVISION PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES. 2. THIS PLAT CONTAINS 6 LOTS, 4 TRACTS AND 0.17 MILES OF ROAD.
- 3. THE LAND USE AND ZONING DESIGNATIONS FOR SUBJECT PLAT AND ADJACENT PROPERTIES ARE COMMERCIAL AND B-2 COMMUNITY BUSINESS, RESPECTIVELY.
- 4. BEARINGS ARE ASSUMED BASED ON THE WESTERLY BOUNDARY OF DRAINAGE RETENTION AREA PER PLAT OF "HEATHER ISLAND SHOPPING CENTER" AS BEING S00°28'25"E. (NOT SHOWN)
- 5. STATE PLANE COORDINATES ARE BASED ON CITY OF OCALA ENGINEERING DEPARTMENT G.P.S. CONTROL POINTS 0030 AND 0031. (NAD-83) 1990 ADJUSTMENT. ALL DISTANCES SHOWN HEREIN ARE GROUND DISTANCES.
- 6. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MARION COUNTY.
- 7. NO LOT SHALL BE DIVIDED OR RE-SUBDIVIDED EXCEPT FOR THE SOLE PURPOSE OF PROVIDING ADDITIONAL AREA TO ADJACENT LOTS OR UNTIL A REPLAT IS FILED WITH MARION COUNTY, WHICH REPLAT COMPLIES WITH THE PROVISIONS OF THE LAND DEVELOPMENT CODE, VIOLATION OF THIS PROVISION MAY BE PUNISHABLE AS PROVIDED IN THE CODE OF MARION COUNTY.
- 8. DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AFFECTING THE OWNERSHIP OR USE OF THE PROPERTY SHOWN IN THIS PLAT ARE FILED IN OFFICIAL RECORDS BOOK 5417, PAGE 188, AND AMENDED IN OFFICIAL RECORDS BOOK 5436. PAGE 1075 OF THE PUBLIC RECORDS OF MARION COUNTY. FLORIDA.
- 9. THIS PLAT IS SUBJECT TO DRAINAGE EASEMENT AGREEMENT AS RECORDED IN OFFICIAL RECORDS BOOK 5358, PAGE 196 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.
- 10. ANY PURCHASER OF A LOT WITHIN THIS SUBDIVISION IS ADVISED OF THE FOLLOWING: UNLESS IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO ROADS) ARE:
- A. EXISTING AT THE TIME THIS PLAT WAS RECORDED IN THE PUBLIC RECORDS, OR B. ASSURED BY WRITTEN AGREEMENT BETWEEN THE DEVELOPER AND MARION COUNTY BOARD OF COUNTY THEN SAID IMPROVEMENTS ARE NOT IN ANY MANNER ASSURED FOR CONSTRUCTION IN THE FUTURE BY EITHER
- MARION COUNTY OR SELLER OF SAID LOTS. 11. ADVISORY NOTICE ~ ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12083C0735D, MARION COUNTY, FLORIDA DATED AUGUST 28, 2008, THE PROPERTY DESCRIBED HEREON LIES IN FLOOD ZONE "X" - AN AREA OF MINIMAL FLOODING. THE FLOODING LIMITS HAVE BEEN IDENTIFIED HERE WITHIN AS CURRENTLY ESTABLISHED AT THE TIME OF THE FINAL PLAT RECORDING. ALL PERSONS WITH AN INTEREST IN THE LANDS DESCRIBED HEREON SHOULD EVALUATE THE
- CURRENT FLOODPLAIN LIMITS AS THEY MAY BE AMENDED FROM TIME TO TIME AS DETERMINED BY FEMA. 12. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, AS A CONDITION PRECEDENT TO THE APPROVAL AND ACCEPTANCE OF THIS PLAT FOR RECORDING IN THE PUBLIC RECORDS, DOES HEREBY NOTIFY ALL PRESENT AND FUTURE OWNERS OF THE PROPERTY DESCRIBED HEREON THAT THE LANDS INCLUDED IN THIS PLAT ARE SUBJECT TO SPECIAL ASSESSMENTS AS MAY BE PERMITTED BY LAW TO FINANCE COSTS INCURRED IN CONNECTION WITH THE MAINTENANCE, OPERATION AND CONSTRUCTION OF INFRASTRUCTURE AS DETERMINED NECESSARY IN THE OPINION OF SAID BOARD OR OTHER GOVERNING BODY HAVING JURISDICTION.
- 13. THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTIES ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL IS DEFERRED A TO LATER DEVELOPMENT REVIEW STAGE.
- 14. ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY OR LIABILITY REGARDING STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC DEEMED TO BE AT RISK.
- 15. UTILITY EASEMENTS ARE SHOWN BY DASHED LINES ON THE ATTACHED PLAT. ALL PUBLIC UTILITY COMPANIES AND GOVERNMENTAL AGENCIES ARE GRANTED THE RIGHT TO CONSTRUCT, INSTALL, MAINTAIN AND OPERATE UTILITIES AND DRAINAGE FACILITIES IN THE EASEMENTS.
- 16. ALL UTILITY EASEMENTS SHOWN HEREON SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION. MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER FACILITY.
- 17. DRIVEWAY ACCESS AT INTERSECTIONS SHALL NOT BE LOCATED LESS THAN 50' FROM INTERSECTIONS. 18. DEVELOPER SHALL BE RESPONSIBLE FOR THE INITIAL PLACEMENT OF QUADRANT STREET SIGNS WITHIN THE SUBDIVISION. THE HEATHER ISLAND MARKET CENTER PROPERTY OWNER'S ASSOCIATION SHALL BE RESPONSIBLE
- FOR THE MAINTENANCE AND REPLACEMENT OF QUADRANT STREET SIGNS. 19. ENVIRONMENTAL RESOURCE PERMIT NO. 75888-12 HAS BEEN ISSUED FOR THIS SUBDIVISION AS RECORDED IN OFFICIAL RECORDS BOOK 7151, PAGE 14 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.
- 20. THIS PROJECT IS LOCATED IN THE SILVER SPRINGS PRIMARY SPRINGS PROTECTION ZONE. 21. DEVELOPMENT OF THE PROPERTY AS SHOWN ON THIS SUBDIVISION PLAT IS SUBJECT TO THE TERMS AND CONDITIONS OF THE SILVER SPRINGS SHORES VESTED DRI AND ITS CORRESPONDING VESTED RIGHTS DETERMINATIONS, AS MAY BE AMENDED FROM TIME TO TIME, INCLUDING PROVISIONS REGARDING THE CONCURRENCY OF PUBLIC FACILITIES.
- 22. LOT 12 MAY HAVE A DIRECT RIGHT—IN ONLY ACCESS TO SE MARICAMP ROAD. ALL OTHER LOTS/TRACTS SHALL USE THIS SUBDIVISION'S INTERNAL ROADWAYS OR EASEMENTS FOR VEHICLE/DRIVEWAY ACCESS. ANY OTHER DIRECT VEHICLE/DRIVEWAY ACCESS TO SE MARICAMP ROAD IS PROHIBITED.

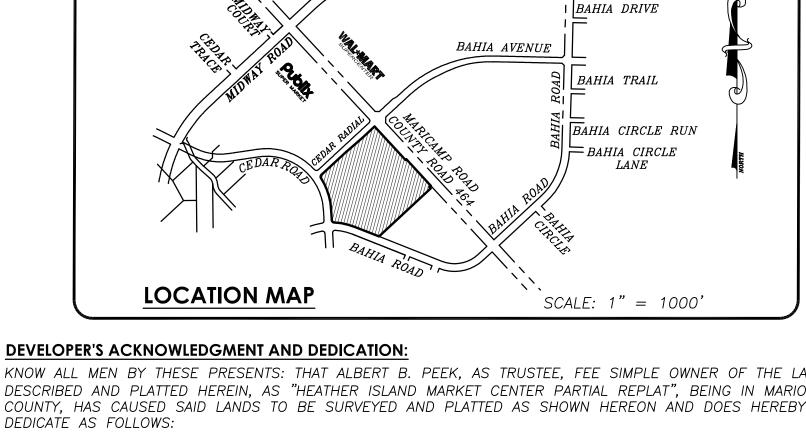
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S CERTIFICATE:

I CFRTIFY THIS PLAT. PREPARED UNDER MY DIRECTION AND SUPERVISION, COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, AND IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, AND THAT THIS PLAT DOES NOT ADVERSELY AFFECT THE LEGAL ACCESS OF ADJACENT PARCELS.

TRAVIS P. BARRINEAU, P.S.M. FLORIDA REGISTERED SURVEYOR NO. LS 6897 R.M. BARRINEAU & ASSOCIATES, INC. CERTIFICATE OF AUTHORIZATION NO. LB 5091 1309 S.E. 25TH LOOP, SUITE 103, OCALA, FLORIDA 34471





KNOW ALL MEN BY THESE PRESENTS: THAT ALBERT B. PEEK, AS TRUSTEE, FEE SIMPLE OWNER OF THE LAND DESCRIBED AND PLATTED HEREIN, AS "HEATHER ISLAND MARKET CENTER PARTIAL REPLAT". BEING IN MARION COUNTY, HAS CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DOES HEREBY DEDICATE AS FOLLOWS:

TRACTS 'A' AND 'B' (DRAINAGE RETENTION AREAS) ARE HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY HEATHER ISLAND MARKET CENTER PROPERTY OWNER'S ASSOCIATION, INC. FOR DRAINAGE RETENTION PURPOSES. ALL STORMWATER MANAGEMENT TRACTS AND DRAINAGE EASEMENTS AS SHOWN HEREIN ARE DEDICATED PRIVATE FOR THE CONSTRUCTION AND MAINTENANCE OF SUCH FACILITIES. MARION COUNTY IS GRANTED THE RIGHT TO PERFORM EMERGENCY MAINTENANCE ON THE STORMWATER MANAGEMENT TRACTS AND DRAINAGE EASEMENTS IN THE EVENT OF A LOCAL, STATE OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK.

TRACT 'C' (RIGHT OF WAY) IS HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY HEATHER ISLAND MARKET CENTER PROPERTY OWNER'S ASSOCIATION, INC. FOR PUBLIC ACCESS, DRAINAGE AND UTILITY PURPOSES AND AN EASEMENT IS HEREBY GRANTED TO MARION COUNTY TRANSPORTATION PERSONNEL FOR INGRESS AND EGRESS RIGHTS TO CONDUCT EMERGENCY MAINTENANCE FOR DRAINAGE PURPOSES. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY. FLORIDA. SHALL HAVE NO RESPONSIBILITY. DUTY OR LIABILITY REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC DEEMED TO BE AT RISK.

TRACT 'D' (BILLBOARD TRACT) AND SIGN EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE DEVELOPER AND SHALL BE MAINTAINED BY HEATHER ISLAND MARKET CENTER PROPERTY OWNER'S ASSOCIATION, INC.

THE PUBLIC ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREIN SHALL BE MAINTAINED BY HEATHER ISLAND MARKET CENTER PROPERTY OWNER'S ASSOCIATION, INC. FOR THEIR RESPECTIVE PURPOSES.

ALBERT B. PEEK, AS TRUSTEE	•
WITNESSSIGNATURE	SIGNATURE
PRINTED NAME	PRINTED NAME

NOTARY ACKNOWLEDGMENT

STATE OF __ THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF \square PHYSICAL PRESENCE OR \square ONLINE NOTARIZATION, THIS ____ DAY OF _____, 2021, BY ALBERT B. PEEK, AS TRUSTEE. ☐ PERSONALLY KNOWN □ PRODUCED IDENTIFICATION _____

PARTY OF INTEREST CONSENT:

NOTARY PUBLIC _____

STATE OF _____

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF AN ENCUMBRANCE UPON THE PROPERTY DESCRIBED HEREON AND HEREBY JOINS IN AND CONSENTS TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNER THEREOF AND AGREES THAT ITS ENCUMBRANCE WHICH IS RECORDED IN WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 5436, PAGE 1122 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA AND SHOWN AS TRACT 'D' HEREON, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.

SSSBILLBOARDS. LLC SIGNATURE MANAGING MEMBER SIGNATURE PRINTED NAME MANAGING MEMBER

NOTARY ACKNOWLEDGMENT: STATE OF _____

COUNTY OF THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF PHYSICAL PRESENCE OR ONLINE NOTARIZATION, THIS ____ DAY OF _____, 2021, BY _____, AS MANAGING MEMBER OF SSSBILLBOARDS LLC.

☐ PERSONALLY KNOWN ☐ PRODUCED IDENTIFICATION ______ STATE OF _____

LOTS 6. 8. 9. 10 AND 11. ALONG WITH TRACTS A. E. F AND H OF HEATHER ISLAND MARKET CENTER. AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 12, PAGES 18 AND 19, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. TOGETHER WITH THE DRAINAGE RETENTION AREA SHOWN ON THE PLAT OF HEATHER ISLAND SHOPPING CENTER, AS RECORDED IN PLAT BOOK 11, PAGES 109 AND 110 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, ALL LYING IN SECTION 8, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.E. CORNER OF HEATHER ISLAND BUSINESS CENTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGES 189 AND 190, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; SAID POINT ALSO BEING ON THE NORTHERLY RIGHT OF WAY LINE OF CEDAR ROAD (BEING AN 80 FOOT RIGHT OF WAY) AND A POINT ON A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 670.00 FEET, A CENTRAL ANGLE OF 55°43'00" AND A CHORD BEARING AND DISTANCE OF S.60°22'20"E., 626.16 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AND RIGHT OF WAY LINE, A DISTANCE OF 651.52 FEET TO THE POINT OF BEGINNING. THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, ALONG THE SOUTHEASTERLY BOUNDARY OF TRACT 'B' (CEDAR RADIAL)(PRIVATE RIGHT OF WAY)(WIDTH VARIES), PER PLAT OF AFOREMENTIONED HEATHER ISLAND MARKET CENTER, SAID POINT BEING ON A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 79°41'39" AND A CHORD BEARING AND DISTANCE OF N.07°19'56"E.. 38.44 FEET: THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE AND SOUTHEASTERLY BOUNDARY, A DISTANCE OF 41.73 FEET TO THE END OF SAID CURVE; THENCE CONTINUE ALONG THE SOUTHEASTERLY BOUNDARY OF SAID TRACT 'B' (CEDAR RADIAL) THE FOLLOWING SIX (6) COURSES: N.47°10'45"E., A DISTANCE OF 337.06 FEET; THENCE N.49°06'08"E., A DISTANCE OF 238.26 FEET; THENCE N.47°10'45"E., A DISTANCE OF 104.39 FEET; THENCE S.00°28'25"E., A DISTANCE OF 13.53 FEET; THENCE N.47°10'45"E., A DISTANCE OF 55.44 FEET TO A POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 90°05'23" AND A CHORD BEARING AND DISTANCE OF S.87°45'40"E., 28.31 FEET; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE AND SOUTHEASTERLY BOUNDARY, A DISTANCE OF 31.45 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF MARICAMP ROAD (COUNTY ROAD 464)(RIGHT OF WAY WIDTH VARIES); THENCE DEPARTING THE SOUTHEASTERLY BOUNDARY OF SAID TRACT 'B' (CEDAR RADIAL), ALONG THE SOUTHERLY RIGHT OF WAY LINE OF MARICAMP ROAD (COUNTY ROAD 464) THE FOLLOWING THREE (3) COURSES: S.42°46'58"E., A DISTANCE OF 445.06 FEET; THENCE S.47°11'22"W., A DISTANCE OF 4.76 FEET; THENCE S.42°48'51"E., A DISTANCE OF 375.11 FEET; THENCE DEPARTING THE SOUTHERLY RIGHT OF WAY LINE OF MARICAMP ROAD (COUNTY ROAD 464), ALONG THE NORTHEASTERLY BOUNDARY OF AFOREMENTIONED HEATHER ISLAND MARKET CENTER. THE FOLLOWING TWO (2) COURSES: S.49°28'38"W., A DISTANCE OF 5.00 FEET; THENCE S.42°46'16"E. A DISTANCE OF 20.02 FEET TO THE EASTERLY MOST CORNER OF AFOREMENTIONED HEATHER ISLAND MARKET CENTER; THENCE DEPARTING SAID NORTHEASTERLY BOUNDARY, ALONG THE SOUTHEASTERLY BOUNDARY OF SAID HEATHER ISLAND MARKET CENTER, S.47°08'26"W. A DISTANCE OF 734.96 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF BAHIA ROAD (BEING AN 80 FOOT RIGHT OF WAY); THENCE DEPARTING SAID SOUTHEASTERLY BOUNDARY, ALONG SAID NORTHERLY RIGHT OF WAY LINE, N.68°25'58"W., A DISTANCE OF 270.31 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 650.92 FEET, A CENTRAL ANGLE OF 19°35'57" AND A CHORD BEARING AND DISTANCE OF N.78°03'21"W., 221.57 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE AND RIGHT OF WAY LINE, A DISTANCE OF 222.66 FEET TO A POINT OF REVERSE CURVATURE WITH A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 80°23'30" AND A CHORD BEARING AND DISTANCE OF N.45°23'56"W., 32.27 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE AND RIGHT OF WAY LINE. A DISTANCE OF 35.08 FEET TO THE END OF SAID CURVE: THENCE DEPARTING THE NORTHERLY RIGHT OF WAY LINE OF BAHIA ROAD, ALONG THE NORTHERLY RIGHT OF WAY LINE OF AFOREMENTIONED CEDAR ROAD; N.O3°43'51"W., A DISTANCE OF 119.57 FEET TO THE POINT OF CURVATURE OF A NON-TANGENT CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 670.00 FEET, A CENTRAL ANGLE 28°57'00" AND A CHORD BEARING AND DISTANCE OF N.18°02'24"W., 334.94 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE AND RIGHT OF WAY LINE. A DISTANCE OF 338.53 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 17.18 ACRES. MORE OR LESS.

APPROVED:	NTY OFFICIALS: DEVELOPMENT REVIEW	COMMITTEE.	
BY:	COUNTY ENGINEERING	BY:	COUNTY SURVEYOR
BY:	COUNTY FIRE SERVICES	BY:	COUNTY UTILITIES
BY:	COUNTY GROWTH SERVICES	BY:	COUNTY BUILDING SAFETY
CERTIFICATE OF API	PROVAL BY BOARD OF COUNTY COM	MISSIONERS:	
	THAT ON THEDAY OFCOUNTY COMMISSIONERS OF MARION (G PLAT WAS APPROVED
JEFF GOLD, CHA BOARD OF COUN	IR NTY COMMISSIONERS OF MARION COUN	ITY, FLORIDA	\
ATTEOT			
ATTEST GREGORY C. CLERK OF TH	HARRELL HE CIRCUIT COURT		
CLERK OF THE COU	RT'S CERTIFICATE FOR ACCEPTANCE A	ND RECORDING:	\
		ORIDA, DO HEREBY ACC	

THE CLERK OF CIRCUIT COURT OF MARION COUNTY FLORIDA.

GREGORY C. HARRELL

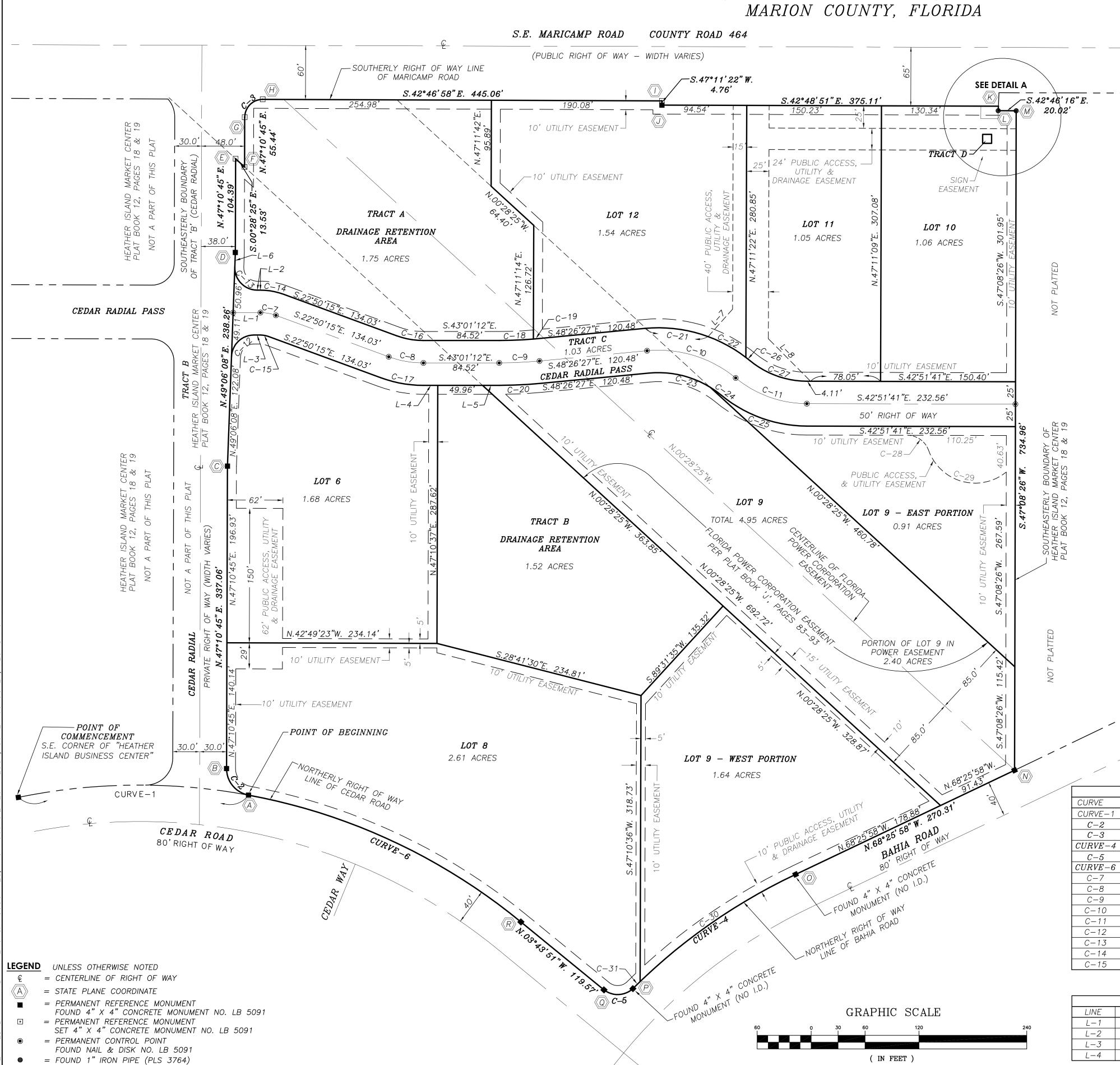
CLERK OF THE CIRCUIT COURT

HEATHER ISLAND MARKET CENTER PARTIAL REPLAT

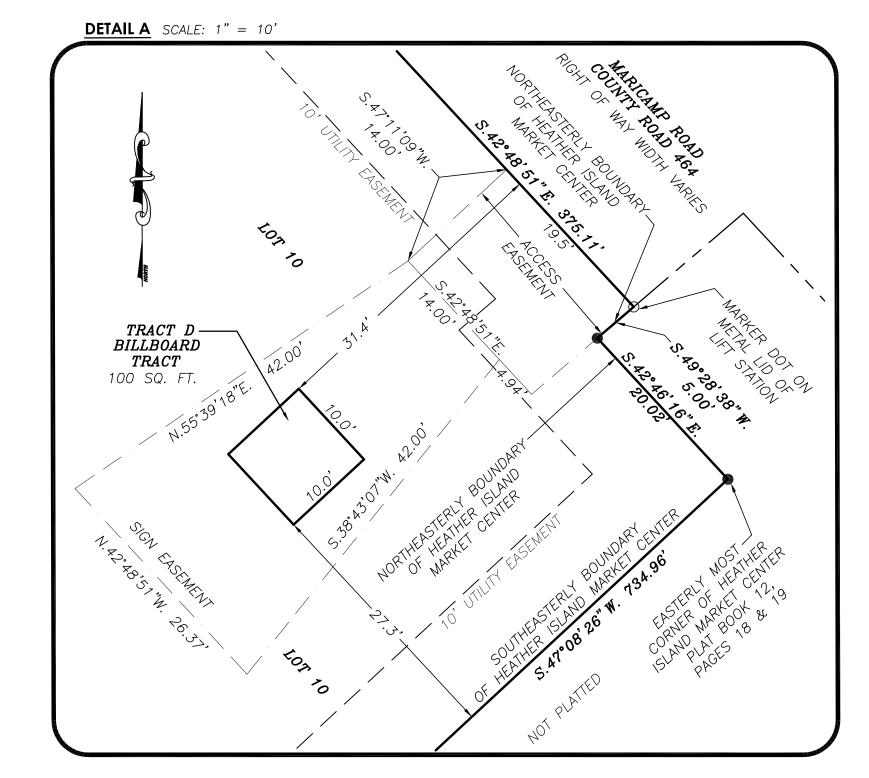
PLAT BOOK ____, PAGE ____ SHEET 2 OF 2

A REPLAT OF A PORTION OF HEATHER ISLAND MARKET CENTER AS RECORDED IN PLAT BOOK 12, PAGES 18 AND 19 AND A PORTION OF HEATHER ISLAND SHOPPING CENTER AS RECORDED IN PLAT BOOK 11, PAGES 109 AND 110 SECTION 8, TOWNSHIP 16 SOUTH, RANGE 23 EAST

1 inch = 60 ft.



O.R. = OFFICIAL RECORDS OF MARION COUNTY



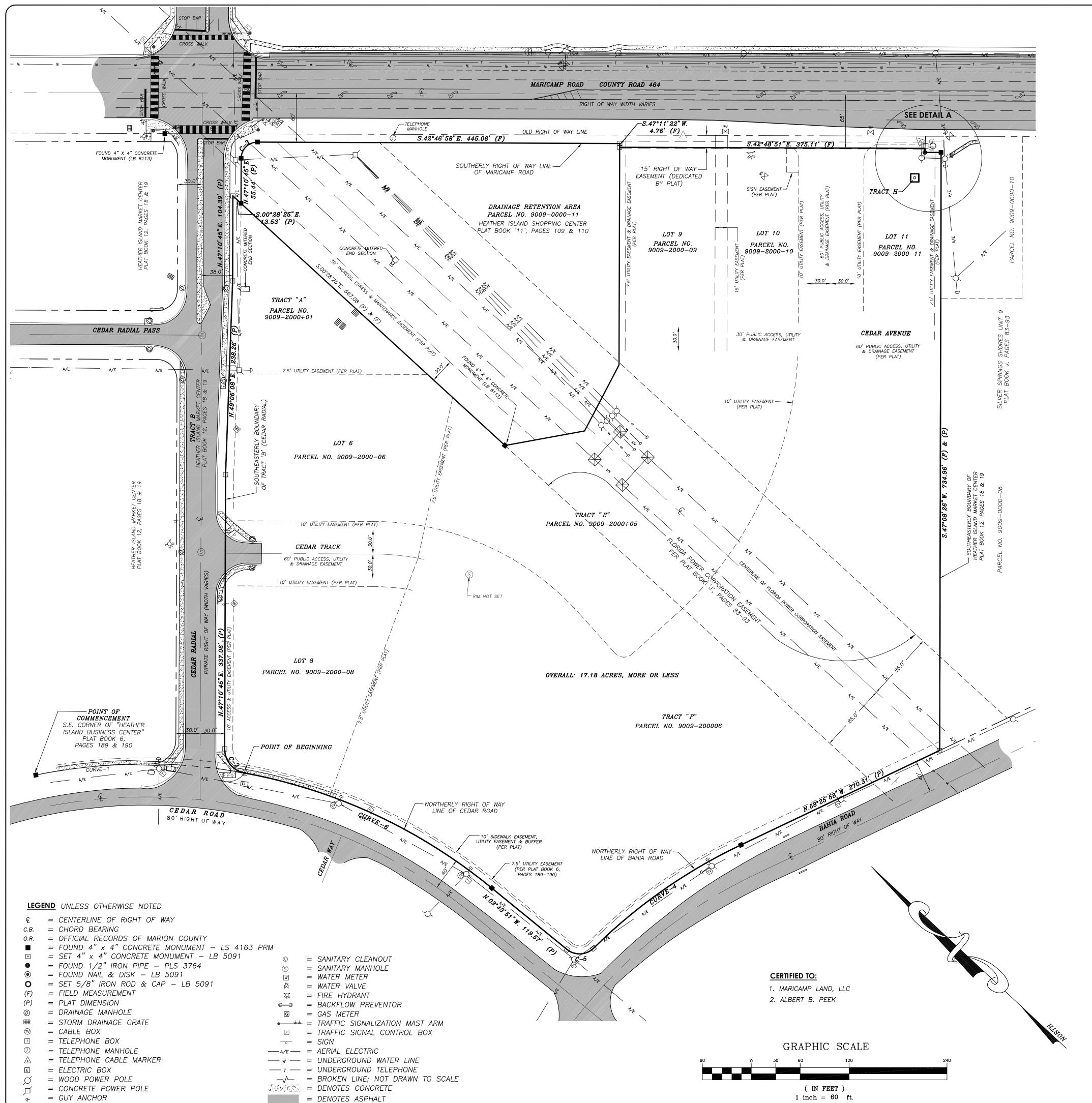
STATE PLANE COORDINATES:

POINT	NORTHING	EASTING	SCALE FACTOR
COED 0030	1750768.891	638994.800	0.999941514
COED 0031	1766511.263	639000.715	0.999941514
(A)	1737716.3042	647751.7699	0.999941258
(B)	1737754.4327	647756.6880	0.999941258
$\langle C \rangle$	1737983.4602	648003.9891	0.999941253
$\langle\!\!\langle D\rangle\!\!\rangle$	1738139.3958	648184.1332	0.999941249
(E)	1738210.2951	648260.7094	0.999941248
(F)	1738196.7650	648260.8170	0.999941248
⟨G⟩	1738234.4354	648301.4930	0.999941247
(H)	1738233.3208	648329.7774	0.999941247
	1737906.6210	648631.9813	0.999941242
$\langle\!\!\langle J\rangle\!\!\rangle$	1737903.3873	648628.4883	0.999941242
K	1737628.1418	648883.3362	0.999941237
(L)	1737624.8942	648879.5345	0.999941237
$\langle M \rangle$	1737610.1939	648893.1249	0.999941237
$\langle N \rangle$	1737110.4397	648354.2261	0.999941246
(O)	1737209.8818	648102.8722	0.999941251
P	1737255.8060	647886.1090	0.999941255
⟨Q⟩	1737278.4721	647863.1392	0.999941255
(R)	1737397.7949	647855.3957	0.999941256

					CURVE	DA TA					
CURVE	DELTA	RADIUS	ARC	CHORD	C.B.	CURVE	DELTA	RADIUS	ARC	CHORD	C.B.
CURVE-1	55°43'00"	670.00'	651.52	626.16	S.60°22'20"E.	C-16	20°10'57"	87.00'	30.65	30.49	S.32°55'44"E.
C-2	79°41'39"	30.00'	41.73'	38.44	N.07°19'56"E.	C-17	20°10'57"	137.00'	48.26	48.01	S.32°55'44"E.
C-3	90°05'23"	20.00'	31.45'	28.31'	S.87°45'40"E.	C-18	04°51'01"	450.00'	38.09'	38.08'	S.45°26'43"E.
CURVE-4	19°35'57"	650.92'	222.66	221.57	N.78°03'21"W.	C-19	00°34'14"	450.00'	4.48'	4.48'	S.48°09'20"E.
C-5	80°23'30"	25.00'	35.08'	32.27'	N.45°23'56"W.	C-20	05°25'15"	500.00'	47.31	47.29'	S.45°43'50"E.
CURVE-6	28°57'00"	670.00'	<i>33</i> 8.53'	334.94	N.18°02'24"W.	C-21	25°38'06"	160.00'	71.59	70.99	S.35°37'27"E.
C-7	20°10'46"	50.00'	17.61	17.52	S.32°55'38"E.	C-22	17°17'42"	160.00'	48.30'	48.11	S.14°09'33"E.
C-8	20°10'53"	112.00'	39.45'	39.25'	S.32°55'45"E.	C-23	<i>37</i> °00'14"	110.00'	71.04'	69.81'	S.29°56'24"E.
C-9	05°25'15"	475.00'	44.94	44.92'	S.45°43'50"E.	C-24	08°00'19"	110.00'	15.37'	15.36'	S.07°26'07"E.
C-10	45°00'32"	135.00'	106.05	103.34	S.25°56'14"E.	C-25	39°25'43"	150.00'	103.22'	101.20'	S.23°08'49"E.
C-11	<i>39°25'43"</i>	125.00'	86.02'	84.33'	S.23°08'49"E.	C-26	02°04'44"	160.00'	5.81'	5.81'	S.04°28'20"E.
C-12	87°52'40"	25.00'	38.34'	34.70'	S.86°57'32"E.	C-27	39°25'43"	100.00'	68.82'	67.47'	S.23°08'49"E.
C-13	92°07'20"	25.00'	40.20'	36.00'	N.03°02'28"E.	C-28	70°22'07"	25.00'	30.70'	28.81'	S.07°40'37"E.
C-14	20°10'57"	75.00'	26.42'	26.28'	S.32°55'44"E.	C-29	109°45'26"	55.00'	105.36	89.97'	S.27°22'17"E.
C-15	20°10'57"	25.00'	8.81'	8.76'	S.32°55'44"E.	C-30	18°36'04"	650.92'	211.32'	210.40'	N.77°33'25"W.
						C-31	00°59'52"	650.92'	11.34	11.34	N.87°21'23"W.

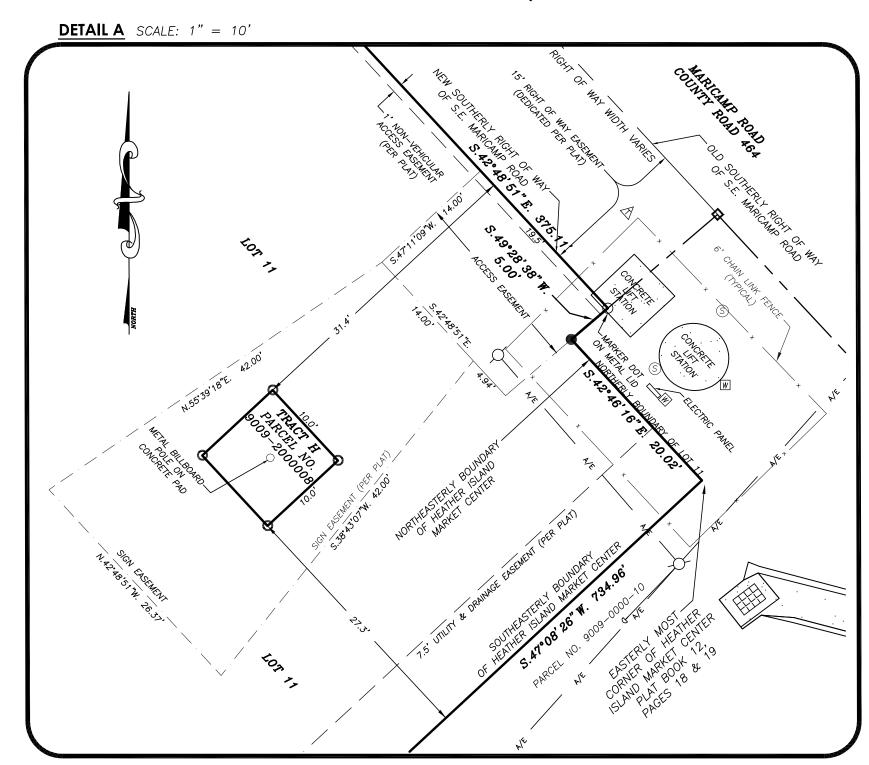
			LINE	TABLE		
LIN	Ε	LENGTH	BEARING	LINE	LENGTH	BEARING
L-	1	30.46'	S.43°01'12"E.	L-5	18.61'	S.43°01'12"E.
L	2	3.59'	S.43°01'12"E.	L-6	16.11	N.49°06'08"E.
L	3	7.30'	S.43°01'12"E.	L-7	41.02'	N.88°45'55"E.
L-	4	15.95	S.43°01'12"E.	L-8	66.74	N.02°11'22"E.





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SECTION 8, TOWNSHIP 16 SOUTH, RANGE 23 EAST MARION COUNTY, FLORIDA



		CURVE DA	1 <i>TA</i>		
CURVE	DELTA	RADIUS	ARC	CHORD	C.B.
CURVE-1	55°43'00"	670.00'	651.52'	626.16	S.60°22'20"E.
C-2	79°41'39"	30.00'	41.73'	38.44	N.07°19'56"E.
C-3	90°05'23"	20.00'	31.45'	28.31'	S.87°45'40"E.
CURVE-4	19°35'57"	650.92'	222.66'	221.57	N.78°03'21"W.
C-5	80°23'30"	25.00'	35.08'	32.27'	N.45°23'56"W.
CURVE-6	28°57'00"	670.00'	338.53	334.94	N.18°02'24"W.

DESCRIPTION

LOTS 6, 8, 9, 10 AND 11, ALONG WITH TRACTS A, E, F AND H OF HEATHER ISLAND MARKET CENTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 12, PAGES 18 AND 19, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, TOGETHER WITH THE DRAINAGE RETENTION AREA SHOWN ON THE PLAT OF HEATHER ISLAND SHOPPING CENTER, AS RECORDED IN PLAT BOOK 11, PAGES 109 AND 110 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, ALL LYING IN SECTION 8, TOWNSHIP 16 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE S.E. CORNER OF HEATHER ISLAND BUSINESS CENTER, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 6, PAGES 189 AND 190, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; SAID POINT ALSO BEING ON THE NORTHERLY RIGHT OF WAY LINE OF CEDAR ROAD (BEING AN 80 FOOT RIGHT OF WAY) AND A POINT ON A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 670.00 FEET, A CENTRAL ANGLE OF 55°43'00" AND A CHORD BEARING AND DISTANCE OF S.60°22'20"E., 626.16 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AND RIGHT OF WAY LINE, A DISTANCE OF 651.52 FEET TO THE POINT OF BEGINNING. THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, ALONG THE SOUTHEASTERLY BOUNDARY OF TRACT 'B' (CEDAR RADIAL)(PRIVATE RIGHT OF WAY)(WIDTH VARIES), PER PLAT OF AFOREMENTIONED HEATHER ISLAND MARKET CENTER, SAID POINT BEING ON A NON-TANGENT CURVE, CONCAVE EASTERLY, HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 79°41'39" AND A CHORD BEARING AND DISTANCE OF N.07°19'56"E., 38.44 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE AND SOUTHEASTERLY BOUNDARY, A DISTANCE OF 41.73 FEET TO THE END OF SAID CURVE; THENCE CONTINUE ALONG THE SOUTHEASTERLY BOUNDARY OF SAID TRACT 'B' (CEDAR RADIAL) THE FOLLOWING SIX (6) COURSES: N.47*10'45"E., A DISTANCE OF 337.06 FEET; THENCE N.49*06'08"E., A DISTANCE OF 238.26 FEET; THENCE N.47°10'45"E., A DISTANCE OF 104.39 FEET; THENCE S.00°28'25"E., A DISTANCE OF 13.53 FEET; THENCE N.47°10'45"E., A DISTANCE OF 55.44 FEET TO A POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 90°05'23" AND A CHORD BEARING AND DISTANCE OF S.87°45'40"E., 28.31 FEET; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE AND SOUTHEASTERLY BOUNDARY, A DISTANCE OF 31.45 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF MARICAMP ROAD (COUNTY ROAD 464)(RIGHT OF WAY WIDTH VARIES); THENCE DEPARTING THE SOUTHEASTERLY BOUNDARY OF SAID TRACT 'B' (CEDAR RADIAL), ALONG THE SOUTHERLY RIGHT OF WAY LINE OF MARICAMP ROAD (COUNTY ROAD 464) THE FOLLOWING THREE (3) COURSES: S.42°46'58"E., A DISTANCE OF 445.06 FEET; THENCE S.47°11'22"W., A DISTANCE OF 4.76 FEET; THENCE S.42°48'51"E., A DISTANCE OF 375.11 FEET; THENCE DEPARTING THE SOUTHERLY RIGHT OF WAY LINE OF MARICAMP ROAD (COUNTY ROAD 464), ALONG THE NORTHEASTERLY BOUNDARY OF AFOREMENTIONED HEATHER ISLAND MARKET CENTER, THE FOLLOWING TWO (2) COURSES: S.49°28'38"W., A DISTANCE OF 5.00 FEET; THENCE S.42°46'16"E. A DISTANCE OF 20.02 FEET TO THE EASTERLY MOST CORNER OF AFOREMENTIONED HEATHER ISLAND MARKET CENTER; THENCE DEPARTING SAID NORTHEASTERLY BOUNDARY, ALONG THE SOUTHEASTERLY BOUNDARY OF SAID HEATHER ISLAND MARKET CENTER, S.47°08'26"W. A DISTANCE OF 734.96 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF BAHIA ROAD (BEING AN 80 FOOT RIGHT OF WAY); THENCE DEPARTING SAID SOUTHEASTERLY BOUNDARY, ALONG SAID NORTHERLY RIGHT OF WAY LINE, N.68°25'58"W., A DISTANCE OF 270.31 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 650.92 FEET, A CENTRAL ANGLE OF 19°35'57" AND A CHORD BEARING AND DISTANCE OF N.78°03'21"W., 221.57 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE AND RIGHT OF WAY LINE, A DISTANCE OF 222.66 FEET TO A POINT OF REVERSE CURVATURE WITH A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 80°23'30" AND A CHORD BEARING AND DISTANCE OF N.45°23'56"W., 32.27 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE AND RIGHT OF WAY LINE, A DISTANCE OF 35.08 FEET TO THE END OF SAID CURVE; THENCE DEPARTING THE NORTHERLY RIGHT OF WAY LINE OF BAHIA ROAD, ALONG THE NORTHERLY RIGHT OF WAY LINE OF AFOREMENTIONED CEDAR ROAD; N.O3°43'51"W., A DISTANCE OF 119.57 FEET TO THE POINT OF CURVATURE OF A NON-TANGENT CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 670.00 FEET, A CENTRAL ANGLE 28°57'00" AND A CHORD BEARING AND DISTANCE OF N.18°02'24"W., 334.94 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE AND RIGHT OF WAY LINE, A DISTANCE OF 338.53 FEET TO THE POINT OF BEGINNING. SAID LANDS CONTAINING 17.18 ACRES, MORE OR LESS.

NOTE

- NOTES:

 1. DATE OF FIELD SURVEY: JANUARY 6, 2020.
- 2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
 3. UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED.
- 4. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
- 5. BEARINGS DEPICTED HEREON ARE ASSUMED BASED ON THE WESTERLY BOUNDARY OF DRAINAGE RETENTION AREA PER PLAT OF "HEATHER ISLAND SHOPPING CENTER", AS BEING S.00°28'25"E.
- 6. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
- 7. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 8. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
 9. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

SIGNATURE DATE
TRAVIS@RMBARRINEAU.COM

TRAVIS P. BARRINEAU, P.S.M. — LS 6897 OF R.M. BARRINEAU & ASSOCIATES, INC.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

2 REVS TO REMOVE PORT OF TR B FROM BND KLJ 1/6, 1/84 NO. REVISIONS BY DA

REVISED:
REVISED:

REVISED:

T.P.B.

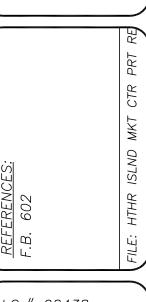
APPROVED: T.P.B.

R.M. BARRINEAU (ESTATION NO. 18 5091

REGINALD M. BARRINEAU. FOUNDER + CERTIFICATE OF AUTHORIZATION NO. LB 5091



BOUNDARY SURVEY FOR: HEATHER ISLAND MARKET CENTER PARTIAL REPLAT



J.O.# 02438

DWG.# 02438HIMC BNDR3



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3161 **Agenda Date: 5/17/2021** Agenda No.: 5.3.

SUBJECT:

DEER PATH NORTH PHASE 2 - WAIVER REQUEST Project #2008070033 #26705 Parcel #31865-000-00 **JCH Consulting Group**

LDC 6.7.8 - Protected Tree Replacement Requirements

CODE states all trees not permitted for removal must be protected and maintained. For those protected trees permitted for removal, trees shall be replaced in accordance with the minimum standards set forth in this section.

APPLICANT requests waiver per meeting with county staff for the tree locations will be located within a sample area and all trees 30 inches and larger will be located within proposed residential development.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	Date: 04/28/2021 Parcel Number(s): 3186	5-000-00 Pe	ermit Number:
A.	PROJECT INFORMATION: Fill in below as applicable:		
	Project Name: Deer Path North Phase 2 Subdivision Name (if applicable): Unit Block Lot		Commercial □ or Residential □
В.	PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:		
	Property Owner's Name (print): Matt Fabian Property Owner's Signature:		
C.	APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.		
	Firm Name (if applicable): JCH Consulting Group Mailing Address: 426 S.W. 15th Street Phone # 352-405-1482 Email address: Chris@JCHcg.com	Contact NameOcala State	e: Chris Howson te: FL Zip Code: 34471
D.	WAIVER INFORMATION: Section & Title of Code: Reason/Justification for Waiver Request: Per meeting with county staff tree locations will be located within sample area and all trees 30' and larger will be located within proposed residential development.		
DEVELOPMENT REVIEW USE: Received By: CG Date Processed: 4 30 21 Project # 2008070033 AR # 26705			
	ONING USE: Parcel of record: Yes □ No □ Zoned: ESOZ: P.O.M. Land Use: Date:		Family Division: Yes ☐ No ☐ Must Vacate Plat: Yes ☐ No ☐

Revised 7/2017

DRC 5/17/21

PROJECT NAME: DEER PATH NORTH PHASE 2 - WAIVER REQUEST

PROJECT NUMBER: 2008070033 APPLICATION: #26705

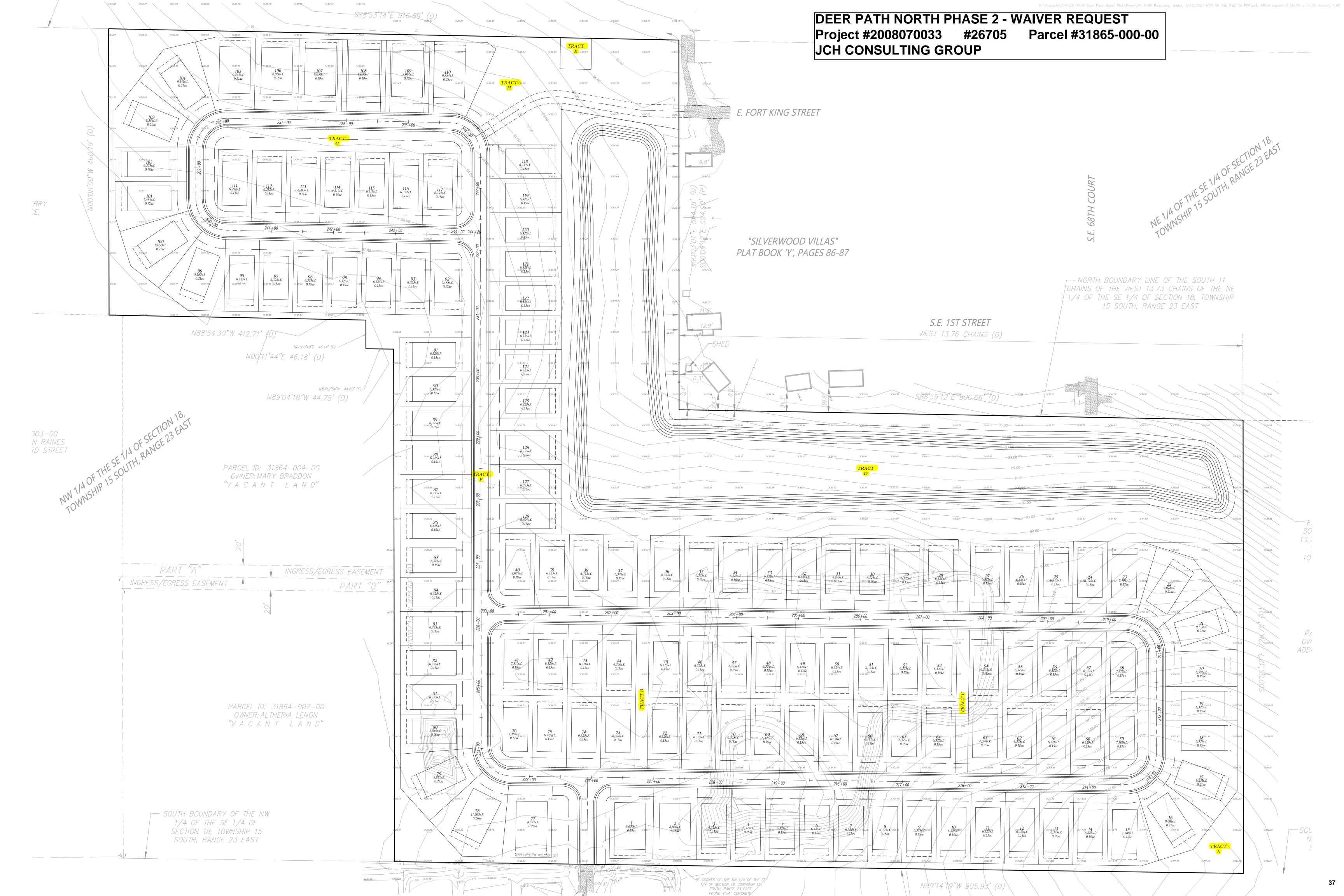
6.7.8 - PROTECTED TREE REPLACEMENT REQUIREMENTS

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW REMARKS: **APPROVED**

- 2 DEPARTMENT: LUCURR LAND USE CURRENT REVIEW REMARKS: **APPROVED** as request/defer to LANDSCAPE.
- 3 DEPARTMENT: ZONE ZONING DEPARTMENT REMARKS: **APPROVED** defer to Landscape
- 4 DEPARTMENT: LSCAPE LANDSCAPE DESIGN AND IRRIGATION REMARKS: **APPROVED**
- 5 DEPARTMENT: 911 911 MANAGEMENT REMARKS: **N/A**
- 6 DEPARTMENT: DOH ENVIRONMENTAL HEALTH REMARKS: **N/A**
- 7 DEPARTMENT: ENGDRN STORMWATER REVIEW REMARKS: Defer to Parks and Zoning.
- 8 DEPARTMENT: ENGTRF TRAFFIC REVIEW REMARKS: **N/A**

DEER PATH NORTH PHASE 2 - WAIVER REQUEST
Project #2008070033 #26705 Parcel #31865-000-00
JCH CONSULTING GROUP







Marion County

Development Review Committee

Agenda Item

File No.: 2021-3162 Agenda Date: 5/17/2021 Agenda No.: 5.4.

SUBJECT:

DUNWOODY - WAIVER REQUEST SILVER SPRINGS SHORES UNIT 6

Project #2021040135 #26692 Parcels #9006-0000-03 & 37506-000-00

JCH Consulting Group

LDC 6.7.8 - Protected Tree Replacement Requirements

CODE states all trees not permitted for removal must be protected and maintained. For those protected trees permitted for removal, trees shall be replaced in accordance with the minimum standards set forth in this section.

APPLICANT requests waiver, per meeting with County staff, for the tree locations located within a sample area and all trees 30 inches and larger will be located within the proposed residential development.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	Date: 04/01/2021 Parcel Number(s): 9006-0000-03 & 37506-000-00 Permit Number: Permit Number:				
A.	PROJECT INFORMATION: Fill in below as applicable:				
	Project Name: Dunwoody Commercial □ or Residential □				
	Subdivision Name (if applicable):UnitBlockLot				
B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign authorizing the applicant to act on the owner's behalf for this waiver request:					
	Property Owner's Name (print): Matt Fabian Property Owner's Signature: Property Owner's Mailing Address: Matt@4pointocala.com				
	City: State: Zip Code: Phone #352-239-0683				
C.	APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.				
	Firm Name (if applicable): JCH Consulting Group Contact Name: Chris Howson				
	Mailing Address: 426 S.W. 15th Street City: Ocala State: FL Zip Code: 34471 Phone # 352-405-1482 Alternate Phone # Email address: Chris@JCHcg.com				
D.	WAIVER INFORMATION: Section & Title of Code: Sec. 6.7.8 Projected free Replacement Popular				
	Section & Title of Code: Sec. 6.7.8 Protected Tree Replacement Require Reason/Justification for Waiver Request: Per meeting with county staff tree locations will be located				
	within sample area and all trees 30' and larger will be located within proposed residential development.				
	CVELOPMENT REVIEW USE: Received By: CG Date Processed: 4/30/21 Project # 2021 04 0135 AR # 26692				
ZC	NING USE: Parcel of record: Yes □ No □ Eligible to apply for Family Division: Yes □ No □ Zoned: ESOZ: P.O.M. Must Vacate Plat: Yes □ No □ Land Use: Date: Verified by:				
	Land Use: Date:Verified by:				
Rev	rised 7/2017				

Empowering Marion for Success DRC 5|17|21

May 13, 2021

PROJECT NAME: DUNWOODY - WAIVER REQUEST

PROJECT NUMBER: 2021040135 APPLICATION: #26692

6.7.8 - PROTECTED TREE REPLACEMENT REQUIREMENTS

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW REMARKS: **N/A**

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW REMARKS: **APPROVED** as requested/defer to LANDSCAPE.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT REMARKS: Defer to Landsaping

4 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION REMARKS: **NO COMMENTS**

5 DEPARTMENT: 911 - 911 MANAGEMENT REMARKS: **N/A**

6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH REMARKS: **N/A**

7 DEPARTMENT: ENGDRN - STORMWATER REVIEW REMARKS: Defer to Parks and Planning.

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW REMARKS: **N/A**

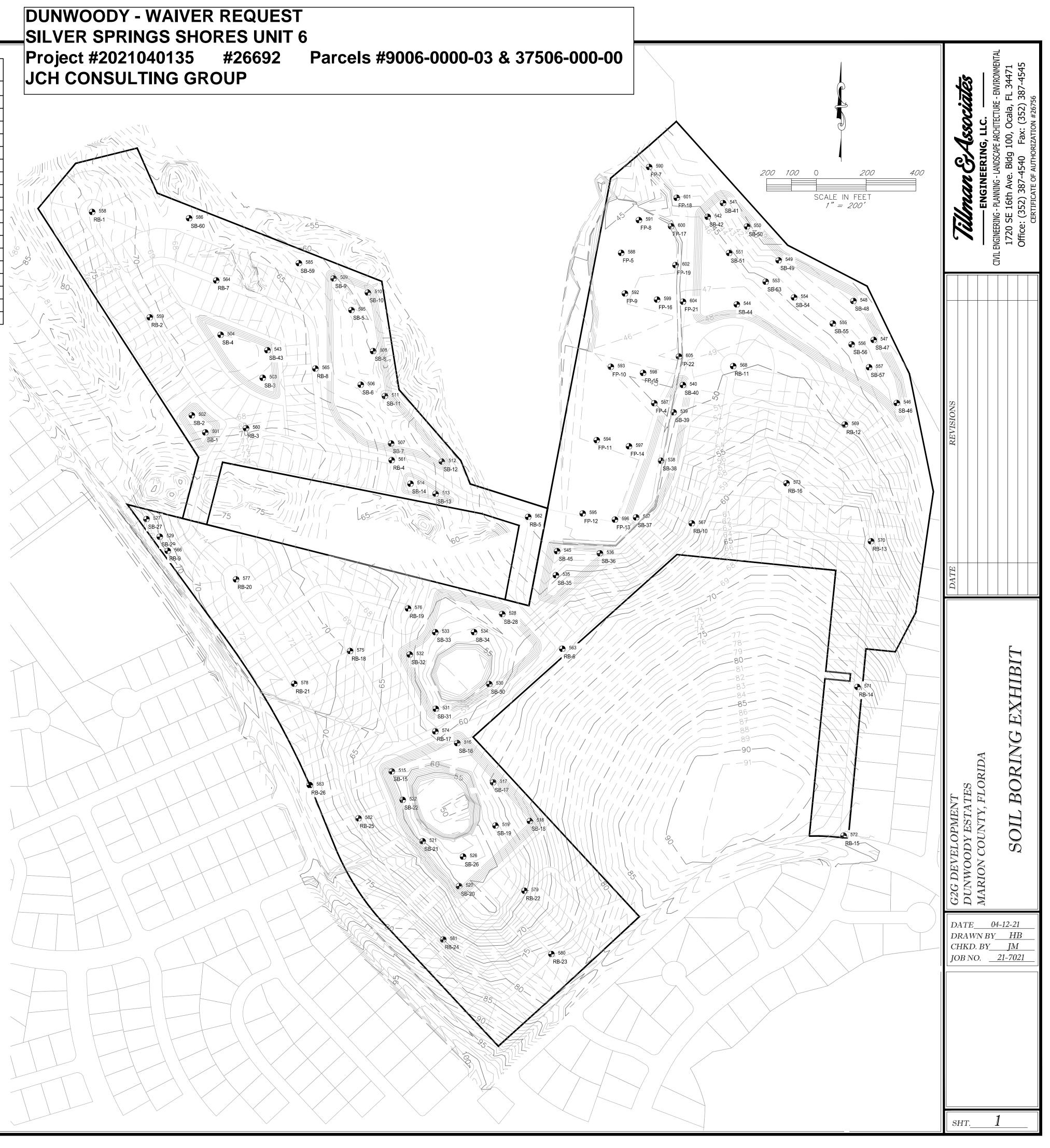
DUNWOODY - WAIVER REQUEST
SILVER SPRINGS SHORES UNIT 6
Project #2021040135 #26692 Parcels # 9006-0000-03 & 37506-000-00
JCH CONSULTING GROUP



		POINT	TABLE		
Point #	Latitude	Longitude	Point Name	Northing	Easting
501	N29° 06' 01.45"	W81° 59' 47.23"	SB-1	1732797.0780	657299.535
502	N29° 06' 02.13"	W81° 59' 47.84"	SB-2	1732865.7431	657245.6208
503	N29° 06' 03.62"	W81° 59' 44.63"	SB-3	1733016.3631	657530.335
504	N29° 06' 05.33"	W81° 59' 46.53"	SB-4	1733189.1332	657361.2053
505	N29° 06' 06.31"	W81° 59' 40.61"	SB-5	1733288.5390	657886.972
506	N29° 06' 03.34"	W81° 59' 40.19"	SB-6	1732988.5896	657924.151 ⁻
507	N29° 06' 01.01"	W81° 59' 38.81"	SB-7	1732752.5426	658046.124
508	N29° 06' 04.68"	W81° 59' 39.63"	SB-8	1733123.4346	657973.840
509	N29° 06' 07.57"	W81° 59' 41.42"	SB-9	1733415.9363	657814.832 ⁻¹
510	N29° 06′ 07.01″	W81° 59' 39.87"	SB-10	1733358.8437	657952.734
511	N29° 06' 02.90"	W81° 59' 39.09"	SB-11	1732943.4030	658021.372
512	N29° 06′ 00.28″	W81°59'36.51"	SB-12	1732679.7051	658250.334
513	N29° 05' 59.00"	W81° 59' 36.80"	SB-13	1732550.4028	658224.844
514	N29° 05' 59.40"	W81° 59' 37.94"	SB-14	1732590.8307	658123.743
515	N29° 05' 47.96"	W81° 59' 38.78"	SB-15	1731435.0546	658049.039
516	N29° 05' 49.09"	W81° 59' 35.82"	SB-16	1731548.6088	658311.8792
517	N29° 05' 47.53"	W81° 59′ 34.20″	SB-17	1731391.0413	658455.846
518	N29° 05' 45.99"	W81° 59' 32.53"	SB-18	1731235.6746	658603.776
519	N29° 05' 45.81"	W81° 59′ 34.09″	SB-19	1731217.4804	658465.518
520	N29° 05′ 43.40″	W81° 59' 35.73"	SB-20	1730974.2359	658319.363
521	N29° 05' 45.18"	W81° 59' 37.39"	SB-21	1731154.2501	658172.754 ⁻
522	N29° 05′ 46.83″	W81° 59' 38.29"	SB-22	1731320.6201	658092.626
526	N29° 05' 44.57"	W81° 59' 35.55"	SB-26	1731092.6126	658335.330
527	N29° 05' 58.00"	W81° 59' 49.89"	SB-27	1732448.8830	657063.104
528	N29° 05' 54.22"	W81° 59′ 33.78″	SB-28	1732066.9103	658492.408
529	N29° 05' 57.30"	W81° 59' 49.29"	SB-29	1732377.9133	657116.6960
530	N29° 05' 51.44"	W81° 59′ 34.37″	SB-30	1731785.9553	658440.579
531	N29° 05′ 50.45″	W81° 59' 36.79"	SB-31	1731686.7088	658225.601
532	N29° 05' 52.61"	W81° 59' 37.97"	SB-32	1731904.5402	658120.849
533	N29° 05' 53.50"	W81° 59' 36.82"	SB-33	1731994.2998	658223.4116
534	N29° 05' 53.50"	W81° 59' 35.06"	SB-34	1731994.5000	658379.516
535	N29° 05' 55.76"	W81°59'31.35"	SB-35	1732223.1532	658708.130
536	N29° 05' 56.64"	W81°59'29.36"	SB-36	1732311.3584	658884.994
537	N29° 05' 58.06"	W81° 59' 27.72"	SB-37	1732455.4674	659030.628
538	N29° 06′ 00.32″	W81° 59' 26.59"	SB-38	1732683.1504	659130.744 ⁻
539	N29° 06' 02.24"	W81° 59' 26.02"	SB-39	1732877.6297	659181.0400
540	N29° 06' 03.33"	W81° 59' 25.60"	SB-40	1732987.2021	659218.5242
541	N29° 06' 10.57"	W81° 59' 23.78"	SB-41	1733718.5053	659379.799
542	N29° 06′ 10.02″	W81° 59′ 24.47″	SB-42	1733663.1256	659318.1842
543	N29° 06' 04.72"	W81° 59' 44.41"	SB-43	1733127.4074	657549.279
544	N29° 06′ 06.54″	W81° 59' 23.16"	SB-44	1733311.2479	659435.027.
545	N29° 05' 56.72"	W81° 59' 31.29"	SB-45	1732319.8136	658713.1670
546	N29° 06′ 02.61″	W81° 59' 15.91"	SB-46	1732915.1811	660077.716
547	N29° 06' 05.12"	W81° 59' 16.96"	SB-47	1733168.4717	659985.020
548	N29° 06' 06.67"	W81° 59' 17.88"	SB-48	1733324.9764	659903.3116
549	N29° 06′ 08.29″	W81°59'21.26"	SB-49	1733488.3454	659603.252
550	N29° 06' 09.64"	W81° 59' 22.69"	SB-50	1733624.2573	659476.225
551	N29° 06′ 08.58″	W81° 59′ 23.50″	SB-51	1733517.8616	659404.128
553	N29° 06′ 07.44″	W81°59'21.85"	SB-53	1733402.5423	659551.068
554	N29° 06' 06.81"	W81° 59' 20.56"	SB-54	1733339.3913	659665.049
555	N29° 06' 05.77"	W81° 59' 18.81"	SB-55	1733234.3684	659820.915
556	N29° 06' 04.95"	W81° 59' 17.95"	SB-56	1733150.6246	659896.445
557	N29° 06′ 04.03″	W81° 59' 17.17"	SB-57	1733058.6438	659966.481
558	N29° 06' 10.22"	W81° 59' 52.36"	RB-1	1733682.7755	656844.821
559	N29° 06' 06.02"	W81° 59' 49.74"	RB-2	1733259.1774	657076.698
560	N29° 06′ 01.61″	W81° 59' 45.39"	RB-3	1732813.9551	657463.1172
561	N29° 06′ 00.34″	W81° 59' 38.79"	RB-4	1732685.3397	658048.395
562	N29° 05′ 58.09″	W81° 59' 32.61"	RB-5	1732457.5968	658596.869
563	N29° 05' 52.84"	W81° 59' 31.06"	RB-6	1731927.6678	658733.869
564	N29° 06' 07.49"	W81° 59' 46.73"	RB-7	1733407.4942	657343.615
565	N29° 06' 03.99"	W81° 59' 42.24"	RB-8	1733053.6113	657741.960
566	N29° 05' 56.74"	W81° 59' 48.93"	RB-9	1732321.2775	657148.668
567	N29° 05' 57.83"	W81° 59' 25.20"	RB-10	1732431.4870	659254.173
568	N29° 06′ 04.08″	W81° 59' 23.32"	RB-11	1733063.3987	659420.561
569	N29° 06' 01.76"	W81° 59' 18.26"	RB-12	1732828.6754	659869.220
570	N29° 05' 57.11"	W81° 59' 17.08"	RB-13	1732359.5651	659974.243
571	N29° 05' 51.32"	W81° 59' 17.69"	RB-14	1731774.3518	659919.702
572	N29° 05' 45.41"	W81° 59' 18.32"	RB-15	1731176.9407	659864.025
573	N29° 05' 59.42"	W81° 59' 20.90"	RB-16	1732592.8059	659634.882
574	N29° 05' 49.55"	W81°59'36.81"	RB-17	1731595.6903	658223.848
575	N29° 05′ 52.75″	W81° 59' 40.67"	RB-18	1731918.7190	657881.346
576	N29° 05' 54.44"	W81° 59' 38.05"	RB-19	1732089.7425	658114.1814
577	N29° 05' 55.60"	W81° 59' 45.84"	RB-20	1732206.7568	657423.208
578	N29° 05' 51.45"	W81° 59' 43.20"	RB-21	1731787.4398	657656.914
579	N29° 05' 43.22"	W81° 59' 32.78"	RB-22	1730955.6426	658581.876
580	N29° 05′ 40.70″	W81° 59' 31.56"	RB-23	1730701.4694	658690.058
	N29° 05' 41.27"	W81° 59' 36.46"	RB-24	1730759.6190	658255.406
581	_	l	RB-25	1731246.4328	657914.837
581	N29° 05' 46.09"	W81° 59' 40.29"			
	N29° 05′ 46.09″ N29° 05′ 47.42″	W81° 59′ 40.29″ W81° 59′ 42.50″	RB-26	1731380.4361	657719.3459

ounty\Dunwoody Estates\EXHIBITS\Soil borings Exhibit.dwg, 4/12/2021 3:22:39 PM, 1:1

		POINT	TABLE		
Point #	Latitude	Longitude	Point Name	Northing	Easting
586	N29° 06' 09.97"	W81° 59' 47.96"	SB-60	1733657.5216	657234.65
587	N29° 06' 02.61"	W81° 59' 26.89"	FP-4	1732914.2406	659103.41
588	N29° 06′ 08.59″	W81° 59' 28.39"	FP-5	1733518.3559	658970.38
590	N29° 06' 12.00"	W81° 59' 27.13"	FP-7	1733863.3876	659082.84
591	N29° 06′ 09.89″	W81° 59' 27.59"	FP-8	1733649.9432	659041.90
592	N29° 06′ 06.97″	W81° 59' 28.22"	FP-9	1733355.3155	658985.38
593	N29° 06' 04.06"	W81° 59' 28.86"	FP-10	1733060.6879	658928.86
594	N29° 06' 01.14"	W81° 59' 29.50"	FP-11	1732766.0602	658872.34
595	N29° 05' 58.22"	W81° 59' 30.14"	FP-12	1732471.4325	658815.82
596	N29° 05' 57.98"	W81° 59' 28.67"	FP-13	1732446.5932	658945.59
597	N29° 06′ 00.89″	W81° 59' 28.04"	FP-14	1732741.2443	659001.99
598	N29° 06′ 03.81″	W81° 59' 27.40"	FP-15	1733035.8953	659058.39
599	N29° 06′ 06.73″	W81° 59' 26.77"	FP-16	1733330.5464	659114.78
600	N29° 06′ 09.64″	W81° 59' 26.13"	FP-17	1733625.1975	659171.18
601	N29° 06' 10.78"	W81° 59' 25.88"	FP-18	1733739.7137	659193.66
602	N29° 06' 08.10"	W81° 59' 25.93"	FP-19	1733469.1702	659188.67
604	N29° 06′ 06.64″	W81° 59' 25.59"	FP-21	1733322.1661	659218.82
605	N29° 06′ 04.47″	W81° 59' 25.77"	FP-22	1733102.0458	659202.71



42

SHEET I OF 5 SHEETS

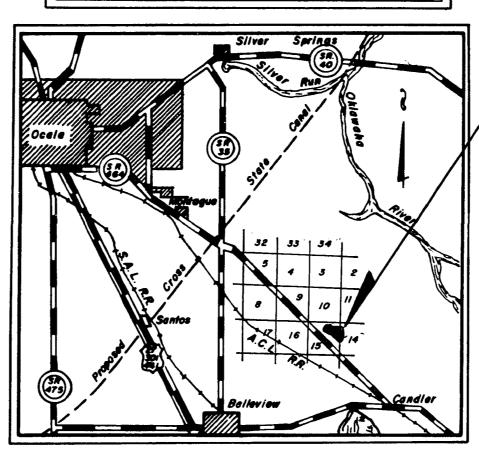
SILVER SPRINGS SHORES MARION COUNTY, FLORIDA UNIT NO. 6

DESCRIPTION:

All that certain tract or parcel of land lying and being situate in Sections IO and 15, Township 16 South, Range 23 East, Marion County, Florida; being more fully and particularly described as follows:

COMMENCE at the Point of Tangency of the Curve on the Northeasterly right-of-way line of Silver Road as shown on UNITI, SILVER SPRINGS SHORES as recorded in Plat Book "J", Page 120 of the Public Records of Marion County, Florida; which POINT OF COMMENCEMENT has a coordinate position of Y=1,732,002.40, X=501,011.74 . From the POINT OF COMMENCEMENT thus described proceed thence N 36°24'23"W a distance of 420.00 feet to the POINT OF BEGINNING to Y=1,732,340.43, X=500,762.47. Said POINT OF BEGINNING being on the Northeasterly right-of-way of Silver Road. From the POINT OF BEGINNING thus described continue N36°24'23" W a distance of 1119.27 feet to Y=1,733,241.26, X = 500,098.18 the point of curvature of a curve concave Northeasterly having a central angle of 08°00'00", a radius of 5,670.26 feet, a tangent of 396.50 feet; thence on the arc of said curve a distance of 791.72 feet to Y=1,733,909.13, X = 499,674.22; thence N 28° 24' 23"W a distance of 606.55 feet to Y=1,734,442.66, X=499,385.67 the point of curvature of a curve concave Southwesterly having a central angle of 18° 45' 47", a radius of 1,260.52 feet, a tangent of 208.26 feet; thence on the arc of said curve a distance of 4/2.79 feet to Y = 1,734,767.43, X = 499,/33.87 the point of tangency of said curve; thence N47°10'10"W a distance of 334.32 feet to Y = 1,734,994.69, X = 498,888.67; thence N69°30'00"E a distance of 2/8.15 feet to Y=1,735,071.09, X = 499,093.00; thence N 49°30'00"E a distance of 2/0.00 feet to Y=1,735,207.47, X=499,252.69; thence N 60° 50' 08" E a distance of 139.09 feet to Y=1,735,275.25, X = 499,374.15; thence N 18°25'49"W a distance of 273.93 feet to Y=1,735,535.13, X = 499,287.54; thence N 42° 12' 13" W a distance of 184.80 feet to Y = 1,735,672.03 X = 499,163.39; thence N 00° 26' 22" E a distance of 176.49 feet to Y=1,735,848.52, X=499,164.74; thence N 79°26'34"E a distance of 171.33 feet to Y=1,735,879.91, X=499,333.17; thence S 88°52'30"E a distance of 287.50 feet to Y=1,735,874.26, X = 499,620.62; thence N68°18'36"E a distance of 276.53 feet to Y=1,735,976.47 X=499,877.58; thence N 47°06'50"E a distance of 192.25 feet to Y=1,736,107.31 X=500,018.44; thence N 89° 18' 55" E a distance of 126.36 feet to Y=1,736,108.82. X=500,144.81 a point on a curve concave Southwesterly having a central angle of 06°11'37", a radius of 270.00 feet, a tangent of 14.61 feet; thence on the arc of said curve a distance of 29.17 feet to Y=1, 736,084.48, X = 500, 160.89; thence S 19°32'55" W a distance of 216.15 feet to Y = 1.735.880.79, X = 500.088.57: thence SOI° 30'10"W a distance of 228.14 feet to Y=1,735,652.72, X = 500,082.58; thence SI3°33'33"W a distance of 144.69 feet to Y=1.735.512.06, X=500.048.66; thence \$ 26° 57' 04" E a distance of 178.50 feet to Y=1,735,352.95 X=500,129.56; thence S41°49'01"E a distance of 209.69 feet to Y=1,735,196.66, X = 500,269.38; thence \$ 09° 14' 53" W a distance of 395.12 feet to Y = 1,734,806.68, X = 500,205.88; thence \$46°03'58"E a distance of 187.41 feet to Y=1,734,676.65, X = 500,340.84; thence N38°20'43"E a distance of 244.58 feet to Y=1,734,868.46, X = 500,492.57; thence N 23°14'35"E a distance of 412.74 feet to Y=1,735,247.71, X=500,655.46; thence N47°15'01"E a distance of 208.27 feet to Y=1,735,389.08, X=500,808.40; thence S 74°24'00"E a distance of 257.07 feet to Y=1,735,319.95 · X=501,056.00; thence \$ 20°41'00" E a distance of 109.44 feet to Y=1, 735, 217.56, X=501,094.65; thence \$53°59'23"W a distance of 220.33 feet to Y=1,735,088.03, X=500,916.42; thence \$32°24'44"E a distance of 139.09 feet to Y = 1,734,970.61, X = 500,990.97; thence S 78°44'58"E a distance of 407.39 feet to Y=1,734,891.12, X = 501,390.54; thence N 88°58'18"E a distance of 300.74 feet to Y=1,734,896.52, X=501,691.23; thence N 45°38'12"E a distance of 214.79 feet to Y=1,735,046.70, X = 501,844.78; thence N61°33'14"E a distance of 443.55 feet to Y=1,735,257.98, X=502,234.78; thence N37°07'34"E a distance of 170.91 feet to a point on a curve at Y=1,735,394.24, X=502,337.94 said curve having a central angle of 32°23'05", a radius of 460.00 feet, a tangent of 133.58 feet; thence on the arc of said curve a distance of 260.00 feet to Y=1,735,176.65, X=502,473.84, the point of tangency of said curve; thence \$ 15° 47' 45" E a distance of 180.00 feet to Y=1,735,003.44, X = 502.522.84 the point of curvature of a curve concave Southwesterly having a central angle of 17° 26'16", a radius of 460.00 feet, a tangent distance of 70.55 feet; thence on the arc of said curve a distance of 140.00 feet to Y=1,734,865.05, X = 502,540.02 a point on said curve; thence N 88° 21' 29"W a distance of 40.00 feet to Y=1,734,866.19, X = 502,500.04; thence S 51° 58' 41" W a distance of 336.52 feet to Y=1,734,658.91. X=502,234.94; thence \$45°04'04" W a distance of 307.88 feet to Y=1,734,441.46, X=502,016.98; thence S61°28'20"W a distance of 377.60 feet to Y=1,734,261.13, X=501,685.22; thence \$ 02°43'21"E a distance of 530.21 feet to Y=1,733,731.52, X=501,710.41; thence \$ 79°35'52"E a distance of 290.40 feet to Y=1,733,679.09, X=501,996.04; thence N 67°43'02" E a distance of 371.03 feet to Y = 1,733,819.77, X = 502,339.36; thence S 65° 31' 22"E a distance of 400.71 feet to Y=1,733,653.75, X = 502,704.06; thence \$10°48'25"W a distance of 1750.99 feet to Y = 1,731,933.81, X=527,375.75; thence N75°51'13"W a distance of 1663.74 feet to the POINT OF BEGINNING.

SILVER SPRINGS SHORES
UNIT NO. 6



Location Map

NOTES

Coordinates refer to Mercator Projection, Florida West Zone.

All cul-de-sac radii are 50.00 feet unless otherwise shown.

All lot corners at street intersections have a 25.00 feet radius unless otherwise shown. Distances shown extend to the point of intersection of street lines, but lot ownership extend only to the curve.

) = 4"x4" Concrete Permanent Reference Manuments.

D. E. = Drainage Easements.

SCALE IN FEET



GRAPHIC SCALE FOR PLAT SHEETS

STATE OF FLORIDA COUNTY OF MARION

The undersigned corporation which is duly organized under the laws of the State of Florida and the owner of the real estate included in this plat does hereby authorize the same to be recorded in the public records of Merion County, Florida, and does hereby dedicate to the public forever the roads, streets and water retention areas and easements as shown hereon for the benefit of the public.

Witness whereof said corporation has caused its seal to be affixed by the under-signed officials, duly authorized by the Board of Directors, this 15 day of 1971. Signed, sealed, and delivered in the presence of:

Wilness Lew E. Buis

SILVER SPRINGS SHORES, INC.

Clyde B. Larramore, Vice President

Thelma Patter

STATE OF FLORIDA COUNTY OF MARION

Before me this day personally appeared Clyde B. Larramore and Thelma Patten, Vice President and Assistant Secretary, respectively, of Silver Springs Shores, Inc., a Florida Corporation and acknowledged before me that they executed the dedication hereon shown for the uses and purposes therein stated on behalf of said Silver Springs Shores, Inc., as its free act and deed and have been duly authorized so to do by the Board of Directors thereof.

Witness my hand and official seal at Doubs, County of Manner, State of Florida,

Witness my hand and of this 15 day of Sance A.D. 1971.

My commission expires: Mov. 24, 1974

Inseph Martone

I, J.W. Jernigan, of the Marion Engineering Associates, Inc., maker of this plat, do hereby certify that it is a correct representation of the land platted and that permanent reference monuments have been placed thereon as called for under chapter 177, Florida Statutes.

J. W. Jernigen, Redistered Lend Surveyor
Constitute No. 574, State of Provide

This certifies that this plat was presented to the Board of County Commissioners of Marion County, Florida, and approved by them for record on the 19 day of

Attest: Other The Court

Vice Chairman, Goord of County Commissioners

I, John F. Nicholson, Clerk of the Circuit Court for Marion County, Florida, do hereby certify that this foregoing plat conforms to the provisions of chapter 177, Florida statutes, was filed in my office for record on the 19 day of 1914.D. 1971, and recorded in the public records of said County on the 19 day of 1910. 1971 in plat book 1 , pages 263 thru 267.

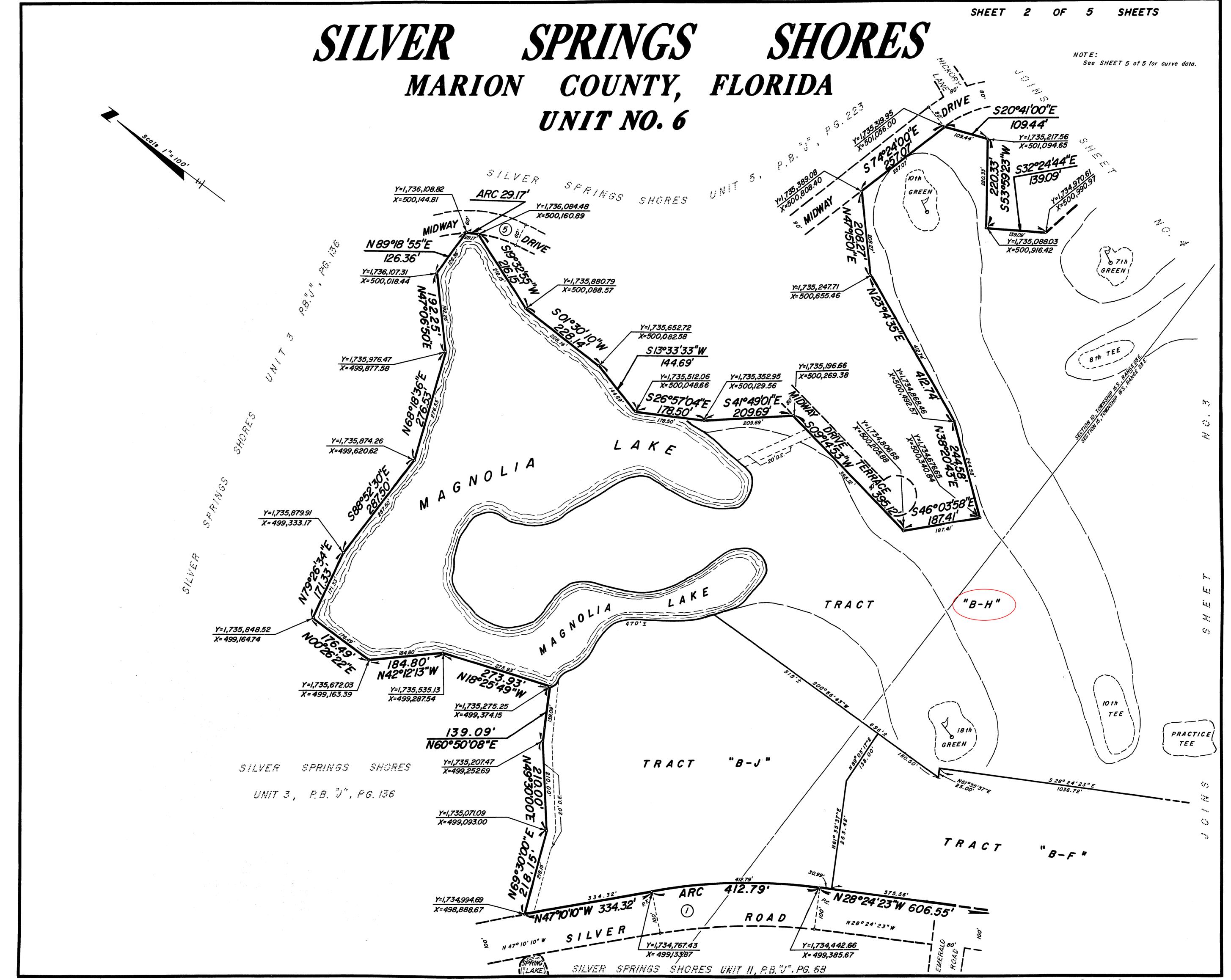
John Michela

"As a condition precedent to the recordation of this plat in the Public records of Marion County, Florida, the undersigned owners of this subdivision do hereby guarantee to each and every person, firm, copartnership, or corporation, their heirs, successors, and assigns, who shall purchase a lot or lots in said subdivision from said owners, that said owners shall within 60 months of the date of the sale thereof fully comply with each and every regulation of the Board of County Commissioners of Marion County, Florida, covering subdivisions in effect at the time of the filing of this final plat in so far as the same effects a lot or lots sold. Time of such performance being of the assence, which said guarantee shall be a part of each deed of conveyance or contract of sale covering lots in said subdivision, executed by said owners to the same extent and purpose as if said guarantee were incorporated verbatim in each said conveyance or contract of sale."

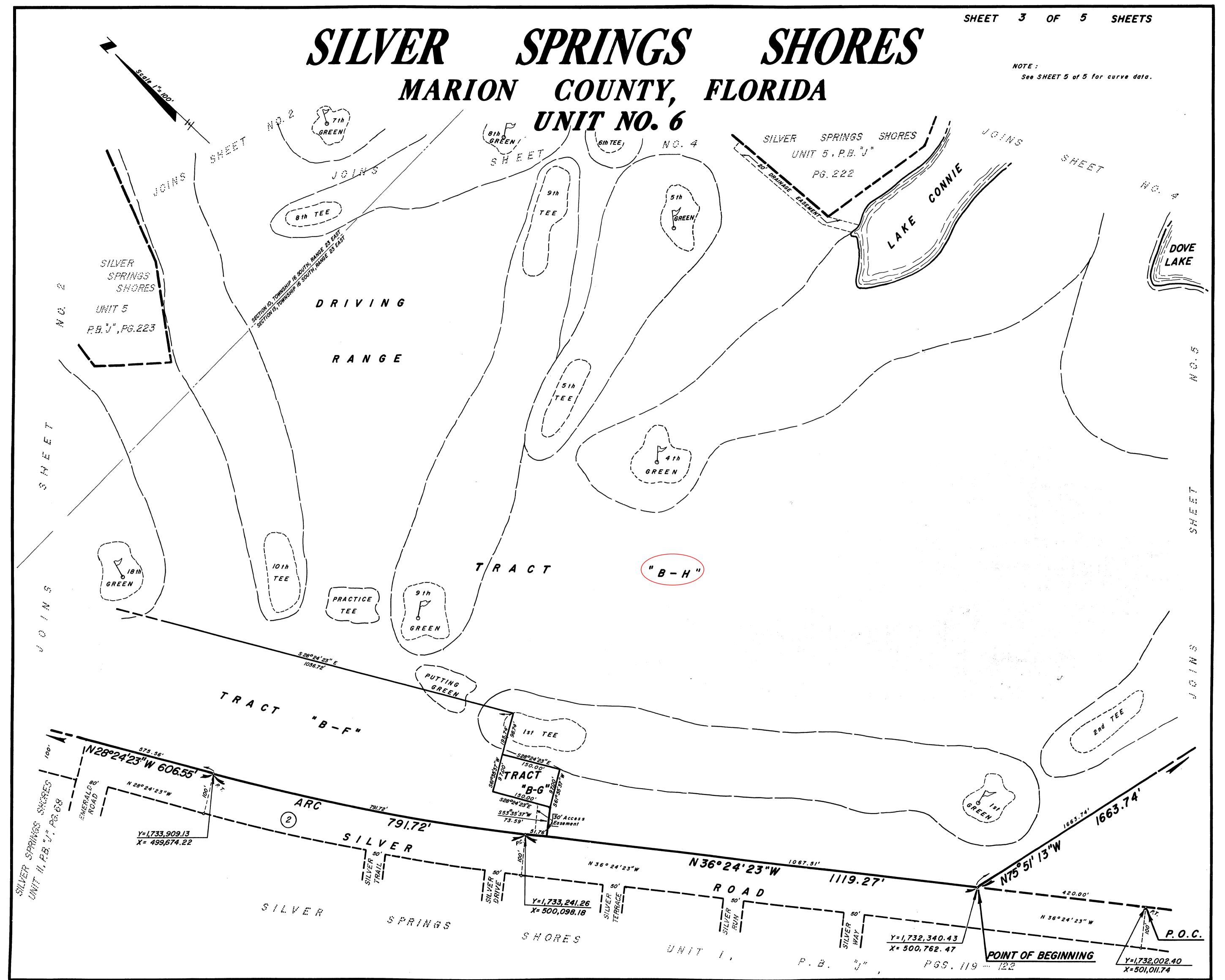
SILVER SPRINGS SHORES, INC.

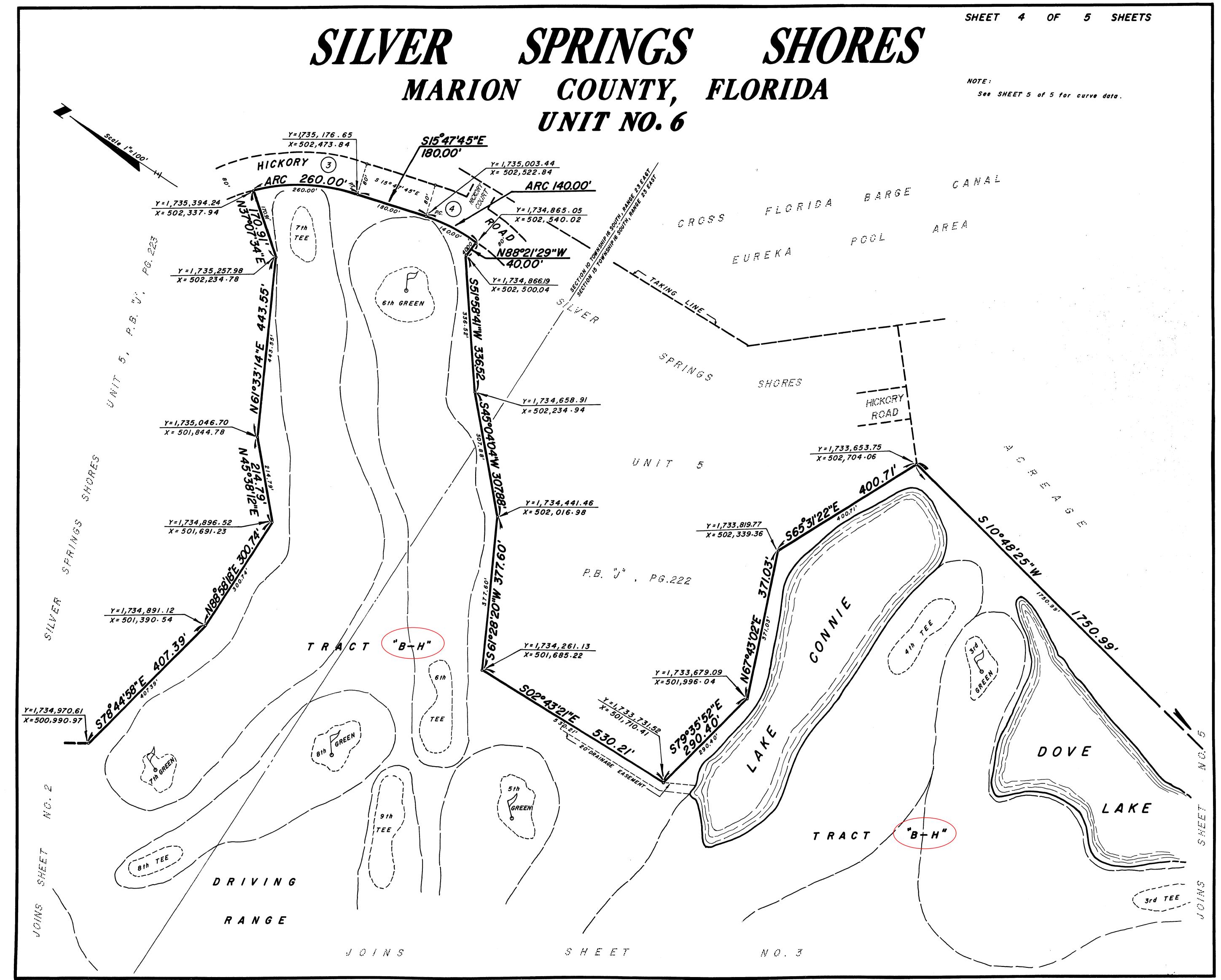
Clyde & Larramore, Vice President

Thelma Patter.
Theima Patter, Assistant Socretary



Prepared By
Marion Engineering Associates, Inc.
1759 S.W. 12th St., Ocala, Fla.

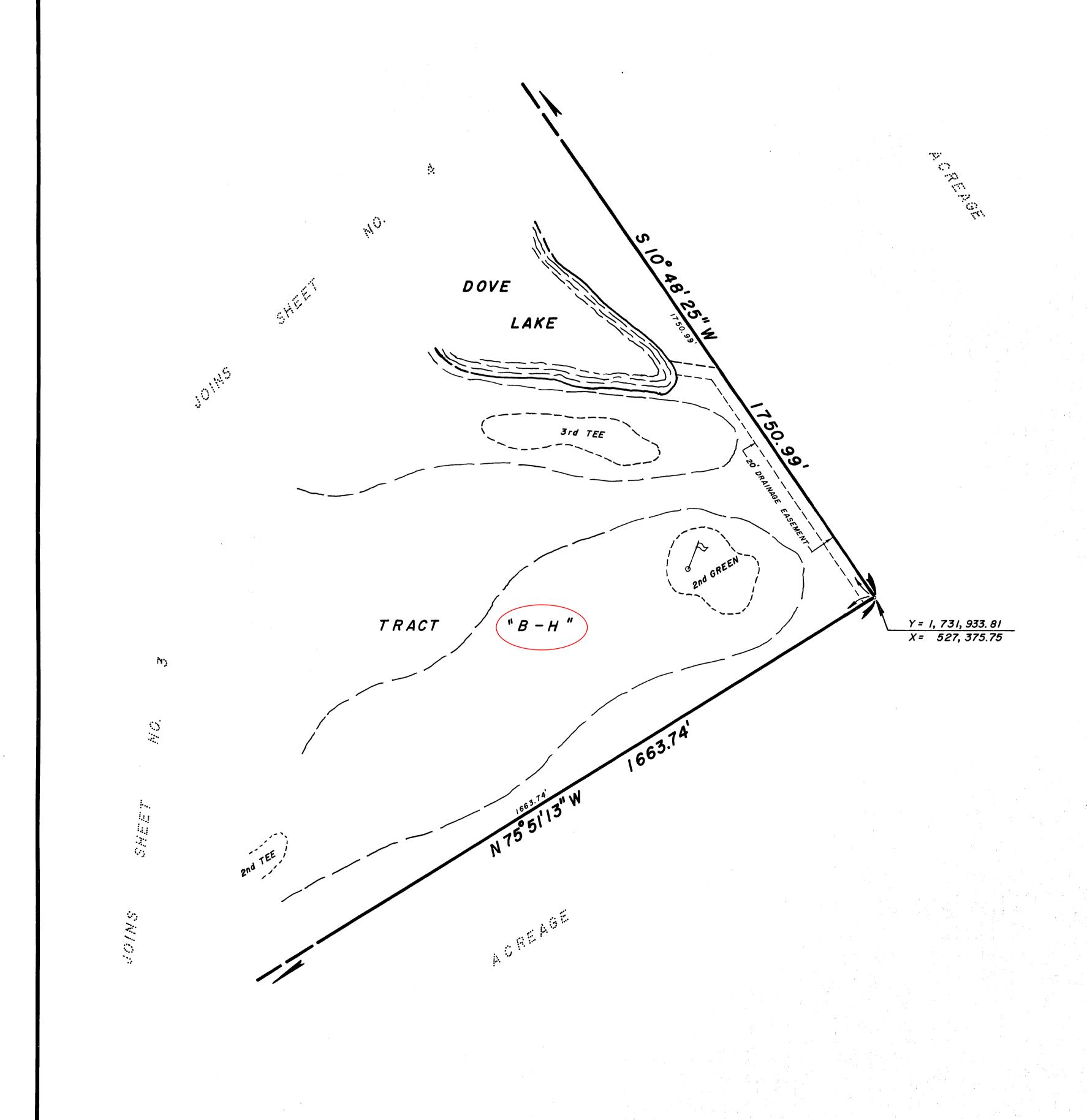




Prepared By Marion Engineering Associates, Inc. 1759 S.W. 12th St., Ocala, Fla.

SHEET 5 OF 5 SHEETS

SILVER SPRINGS SHORES MARION COUNTY, FLORIDA UNIT NO. 6



Ę	CURVE	DATA
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CURVE NO.	\triangle	TAN.	RADIUS	LENGTH
1	18° 45'47"	200.00	1210.52	396.42
2	08°00'00"	400.00	5720.26	798.70
3	79°08'46"	413.23	500.00	690.67
4	46°21'58"	214.13	500.00	404.62
5	51°21'31"	268.91	300.00	144.24



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3088 Agenda Date: 5/17/2021 Agenda No.: 6.1.

SUBJECT:

FALLS OF OCALA UNIT 2 - REZONING TO PUD WITH CONCEPT PLAN Project #2005040074 #26565 Parcel #23304-001-00 HALFF Associates

DRC recommendation to Planning & Zoning Commission on May 24, 2021. This is a rezoning from PUD to PUD to allow for a proposed single family residential community with 89 units.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

MAY 5, 2021

HALFF ASSOCIATES ISABELLE ALBERT 1000 N ASHLEY DR SUITE 900 TAMPA, FL 33602

SUBJECT: REZONING TO PUD COMMENTS LETTER

PROJECT NAME: FALLS OF OCALA UNIT 2

PROJECT #2005040074 APPLICATION #26565 PARCEL #23304-001-00

Dear Isabelle:

This letter is in regard to your recent Conceptual Plan submittal for the above referenced project. During the process of reviewing the plans for sufficiency, some items were found which must be addressed. Your plan will be scheduled for review and recommendation for the rezoning by the Development Review Committee prior to meeting with the Planning/Zoning Commission.

Per Resolution 10-R-629, please resolve these items within fifteen (15) working days. During this fifteen (15) working day resolution period, the reviewers will be available in a group setting on Thursday mornings to discuss these comments. After meeting with staff, your plan will be scheduled for review by the Development Review Committee at the next available DRC meeting. If you choose not to meet with staff, you may request to be scheduled for DRC's consideration immediately.

In either case, please contact me to arrange placement on the Thursday staff meeting agenda and/or the DRC agenda.

1. DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Rezoning STATUS OF REVIEW: INFO

REMARKS: REVIEWER DID NOT RESPOND

2. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Rezoning STATUS OF REVIEW: INFO

REMARKS: INFO. The project proposes 89 single family residential lots, 3 drainage retention areas, and a sewage treatment plant tract. Please be advised there may be offsite drainage contributing to Drainage Pond 1 and that FEMA Special Flood Hazard Areas are indicated along SW 80th Ave at the entrance of Falls of Ocala Unit 1. Please ensure LDC 6.13 is met with the Improvement Plans.

DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 4.2.31.F(2)(b)1 - The name of the proposed PUD shall be centered at the top of the sheet along the long dimension of the sheet

STATUS OF REVIEW: INFO

REMARKS: 5/5/21 - This plan is titled "Falls of Ocala". Isn't this submittal for "Falls of Ocala Unit 2"?

4. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 4.2.31.F(2)(b)2 - Vicinity map that depicts relationship of the site to the surrounding area

within a 1 mile radius

STATUS OF REVIEW: INFO

REMARKS: 5/5/21 - Street names illegible

5. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.L(1) - Parcel number

STATUS OF REVIEW: INFO REMARKS: 5/5/21 - Not provided

6. DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: Rezoning STATUS OF REVIEW: INFO

REMARKS: A traffic study is required. A methodology has been submitted and is under review. The traffic study must be approved prior to approval of a preliminary plat. Based on the traffic methodology, this development is expected to generate 94 new peak hour trips with all those trips entering and exiting the development from SW 80th Avenue. SW 80th Avenue is currently operating at about 50% capacity. This development will have a less than 5% impact on the capacity of SW 80th Avenue. The most significant traffic concerns with this development is to ensure the existing turn lanes are sufficient for the new traffic.

7. DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 4.2.31.F(2)(b)(14) - Preliminary sidewalk and multimodal circulation plan

STATUS OF REVIEW: INFO

REMARKS: Internal sidewalks will be required along one side of the internal roadways.

8. DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 4.2.31.F(2)(b)(15) - Proposed parallel access locations

STATUS OF REVIEW: INFO

REMARKS: The plan indicates primary access will be provided through the original phase of this development with a future second connection to SW 8th Street. A development of this size is required to have two access points at the time of development; however, SW 8th Street is currently a non-County maintained unpaved roadway which lies within a 30' wide ingress/egress easement and not public right-of-way. In order to make a connection to SW 8th Street, the roadway is required to be paved to the project entrance. Since the road lies within an easement and not right-of-way, it is unclear if it can be paved

without the property owners permission. It is recommended that the "future access" be stabilized and a connection made to SW 8th Street to allow for a second emergency access subject to providing a paved connection should SW 8th Street ever get paved.

DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: 6.18.2 - Fire Flow/Fire Hydrant

6.18.2 - Fire Flow/Fire Hydrant STATUS OF REVIEW: INFO

REMARKS: Hydrants shall be provided for water supply and shall be tested and installed per NFPA 291

10. DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: NFPA 1 Chapter 18.2.3 Fire Dept Access Roads

STATUS OF REVIEW: INFO

REMARKS: A secondary emergency exit shall be provided at a minimum of 20ft width and must be stabilized to support the weight of a fire department engine.

11. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Proposed PUD Uses & Densities are consistent with Land Use Designation?

STATUS OF REVIEW: INFO

REMARKS: Staff understands this PUD Rezoning Application will increase the number of dwelling units in the project and reduce the proposed individual lot development standards; along with revitalizing the PUD.

12. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 3.2.3/6.6/5.2.5/flood - RESIDENTIAL - Complies with Min/Max Density?

STATUS OF REVIEW: INFO

REMARKS: The Sheet 2 Project Summary table lists 89 lots but Sheet 3 identifies 92 lots. While both densities will comply with the site's future land use designation, clarification as to the maximum proposed units in the PUD is required.

13. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.5/1.8.2.F - Is Concurrency Approval or Deferral Elected?

STATUS OF REVIEW: INFO

REMARKS: Concurrency approval and certification is not required for conceptual/rezoning actions, though an applicant may purse certification if desired. Subsequent development applications, including the Final Master Plan or equivalent, will need to address concurrency certification or elect deferral by providing the following note on the plan(s):

"This proposed project has not been granted concurrency approval and/or granted and/or reserved any public facility capacities. Future rights to develop the property are subject to a deferred concurrency determination, and final approval to develop the property has not been obtained. The completion of concurrency review and/or approval has been deferred to later development review stages, such as, but not limited to, Master Plan, Preliminary Plat, Improvement Plan, Final Plat, Site Plan, or Building Permit review."

14. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public water service area/provider

STATUS OF REVIEW: INFO

REMARKS: Project is within Marion County Utilities water service area, but provider does not have mains within connection distance. The City of Ocala has water in the area; if connection is required to the City, developer shall submit annexation agreement to MCU to clear relevant checklist item(s) for any forthcoming Improvement Plan.

15. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.14.2.A(1) - Public sewer service area/provider

STATUS OF REVIEW: INFO

REMARKS: Project is within Marion County Utilities water service area, but provider does not have mains within connection distance.

16. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity

STATUS OF REVIEW: INFO

REMARKS: Defer to MCFR - MCU will not supply water to this development

17. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.16.2 - Decentralized Wastewater Treatment Plant (WWTP)

STATUS OF REVIEW: INFO

REMARKS: Developer shall provide proof of effluent quality requirements within LDC before approval of the onsite sewer plant site can be approved. Applicant shall demonstrate the number of proposed lots in Unit 2 supports the original design of this sewer plant.

18. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.2.31.F(2)(b) - Conceptual plan in compliance with Division 2.13 and 2.11.

STATUS OF REVIEW: INFO

REMARKS: Clarify the maximum number of units/lots proposed for the PUD - sheet 2 states 89 while sheet 3 show 92 lots.

19. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.2.31.F(1)(b) - Front page requirements.

STATUS OF REVIEW: INFO

REMARKS: The final Master Plan or subsequent plan must include all appropriate plan and application data per the LDC.

20. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.2.31.F(2)(b)(1) - The name of the proposed PUD shall be centered at the top of the sheet along the long dimension of the sheet.

STATUS OF REVIEW: INFO

REMARKS: The final Master Plan or subsequent plan must note the plans are for Falls of Ocala Phase 2

21. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.2.31.F(2)(b)(8) / 4.2.31.F(2)(13) - A typical drawing of an interior lot, corner lot, and cul-de-sac lot noting setback requirements and parking lot locations.

STATUS OF REVIEW: INFO

REMARKS: Staff notes 2 typical lot dimension sets (50' wide and 60' wide) are proposed.

22. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.2.31.F(2)(b)(11) / 4.2.31.E(6) / 6.8.6 - Identify proposed buffers.

STATUS OF REVIEW: INFO

REMARKS: Staff understands the applicant is proposing modified buffers as follows:

North - modified E-Type Buffer

West - No buffer.

South - No buffer.

West - No buffer.

An internal buffer to the WWTP site is proposed, however no details on the design are provided.

23. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.2.31.F(2)(b)(16) - Show 100 year floodplain and on site.

STATUS OF REVIEW: INFO

REMARKS: Flood zone and Flood Prone areas are present and will need to be addressed by any site

development per the LDC.

24. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.2.31.F(2)(b)(18) / 4.2.31.E(7) - Identify any proposed parks or open spaces.

STATUS OF REVIEW: INFO

REMARKS: Please confirm if this project will be utilizing the existing amenities in Falls of Ocala Phase

1. If not, what amenities will be provided related to this project?

25. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: Rezoning STATUS OF REVIEW: INFO REMARKS: no comments

26. DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Rezoning STATUS OF REVIEW: INFO REMARKS: APPROVED

27. DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale

STATUS OF REVIEW: INFO REMARKS: APPROVED

If you have any questions please contact me at (352) 671-8682 or carla.sansone@marioncountyfl.org.

Sincerely,

Carla Sansone

Development Review Coordinator

911 - (671-8460)

DOH - Ed Brown (622-7744)

ENGDRN - James Hulsey (671-8686)

ENGIN - Carla Sansone (671-8682)

ENGPJ - Bert Yancey (671-8683)

ENGSUR - Jerry Gowen (671-8686)

ENGTRF - Chris Zeigler (671-8378)

ENRAA - Cheryl Weaver (671-8679)

FRMSH - Ken McCann (291-8000)

LSCAPE - Susan Heyen (671-8556)

LUCURR - Chris Rison (438-2600)

UTIL - Carrie Hyde (307-6168)

ZONE - Zoning Department (438-2675)



Marion County Board of County Commissioners

Growth Services ■ Planning & Zoning

2106073 AR#: 26565 PA#: 23304-001-00

2710 E. Silver Springs Blvd. Ocala, FL 34470 Phone: 352-438-2675

Fax: 352-438-2676

APPLICATION FOR REZONING

Application No.: 3106073
The undersigned hereby requests a zoning change of the Marion County Land Development Code, Article 4,
Zoning, on the below described property and area, from 0.26 miles east of SW 80th Avenue PVD (PDO6)
to north of SW 75th Ave PUD,, for the intended use of:
89 single-family residential units Fells of Oco.Ca.
Legal description: (please attach a copy of the deed and location map)
Parcel account number(s): 23304-001-00
Property dimensions: Total acreage: 28.58
Directions: The property is located on SW 8th Street and immediately east of Falls of Ocala residential development.
Situs: 7745 SW 6th Place, Ocala, FR
The property owner must sign this application unless he has attached written authorization naming an agent to act on his/her
behalf.
CMH PARKS INC. / CLAYTON PROPERTIES GROUP. C. L. Isabelle Albert. AICP. Halff Associates. Inc.
CMH PARKS INC / CLAYTON PROPERTIES GROUP Property owner name (please print) D, Joseph Applicant or agent name (please print) 1000 N ASHLEY DRIVE, SUITE 900
5000 CLAYTON ROAD / 1000 N ASHLEY DRIVE, SUITE 900
Mailing address MARYVILLE, TN 37804 Mailing address TAMPA, FL 33602
City, state, zip code City, state, zip code
(813) 620-4500
Phone number (please include area code) Phone number (please include area code)
SEE AFFIDAVIT
Signature Signature
Please note: the zoning change will not become effective until 14 days after a final decision is made by the Marion County Board of County Commissioners. The owner, applicant or agent is encouraged to attend the public hearing where this application will be discussed. If no representative is present and the board requires additional information, the request may be postponed or denied. Notice of said hearing will be mailed to the above-listed address(es). All information given by the applicant or agent must be correct and legible to be processed. The filing fee is \$1,000.00, and is non-refundable. For more information, please contact the Zoning Division at 352-438-2675. ***********************************
RECEIVED BY: 46 DATE: 47121 ZONING MAP NO.: 128 Rev. 01/11/2021
MDR, PUD, 18/15/21/
AR: 26565 project: 2005040074
Empowering Marion for Success



#2106073

April 5, 2021

Kimberleigh Dinkins Senior Planner Growth Services Department 2710 East Silver Springs Blvd. Ocala, FL 34470 Sent via Email: kimberleigh.dinkins@marionfl.org

Dear Ms. Dinkins,

The applicant is seeking to rezone approximately 28.58 acres (parcel number 23304-001-00) to a Planned Unit Development (PUD) zoning district to allow for an 89-unit single-family residential community. The developable acreage of the site consists of 24.4 acres without the existing Wastewater Treatment Plant (WWTP) and 30-foot right-of-way dedication on SW 8th Street.

The subject area is located to the north of SW 8th Street and immediately east of the Falls of Ocala residential development. The property was originally phase II of the Falls of Ocala PUD. Phase I, adjacent to the west of the subject site, was constructed in 1985 with single-family residential units. The subject site, Phase II, had construction plans permitted in 2003 that have since expired. The subject site is currently vacant with an existing access to the west through the existing Falls of Ocala residential development.

Adjacent zoning to the north, south and east of the subject site is General Agriculture (A-1). The property to the north has a Low Residential (LR) future land use category with one existing mobile home residence located more than 840 feet west from the subject site property boundary. The development is proposing a 5-foot-wide buffer with a 6-foot opaque fence and 2 shade trees for every 100 linear feet (LF) to the north as part of the platted lots to meet the buffering requirement intent per Section 6.8.6. in the Land Development Code. To the northeast adjacent to the wastewater treatment plant has a land use category of LR and is currently vacant land. There is an existing buffer along the site for this portion. To the east has a future land use category of Public (P) and is in use as a recycling center owned by Marion County. To the south across SW 8th Street has a land use category of LR and is developed with single-family residential units.

There is an existing WWTP with an existing chain-link fence buffer on the northeast corner of the subject site servicing the Falls of Ocala development to the west. The WWTP will also be servicing the proposed new development. The future land use category for this site is Medium Residential (MR) which allows for four (4) dwelling units per one (1) gross acre. Our request for 89 single-family units is compatible with the MR category.

The applicant has submitted a Traffic Assessment Methodology to the County and the Traffic Study is currently in progress. The site will be accessed through the existing Falls of Ocala development on the west which leads to SW 80th Avenue. The development will also have an emergency access only to the south on SW 8th Street where the applicant is proposing a 30-foot right-of-way dedication. For non-vehicular/pedestrian access, the site will provide internal sidewalks, as well as walking paths around the



drainage areas for residents to use recreationally and for walking their dogs. Adding the walking paths, as well as the landscape buffer throughout the development, provides 3.01 acres of open space which is 12.34 percent of the total acreage. Although it is required in the LDC to provide a minimum of 20 percent open space, we believe the applicant has in the best of their ability met the intent by working closely with Marion County growth services staff to provide as much open space as possible within the developments limitations due to the WWTP on site and stormwater requirements.

The project will be built in compliance with all applicable regulations of the Land Development Code and other applicable regulations, unless shown otherwise by this PUD.

Sincerely,

Isabelle Albert

Isabelle Albert, AICP

AFFIDAVIT TO AUTHORIZE AGENT

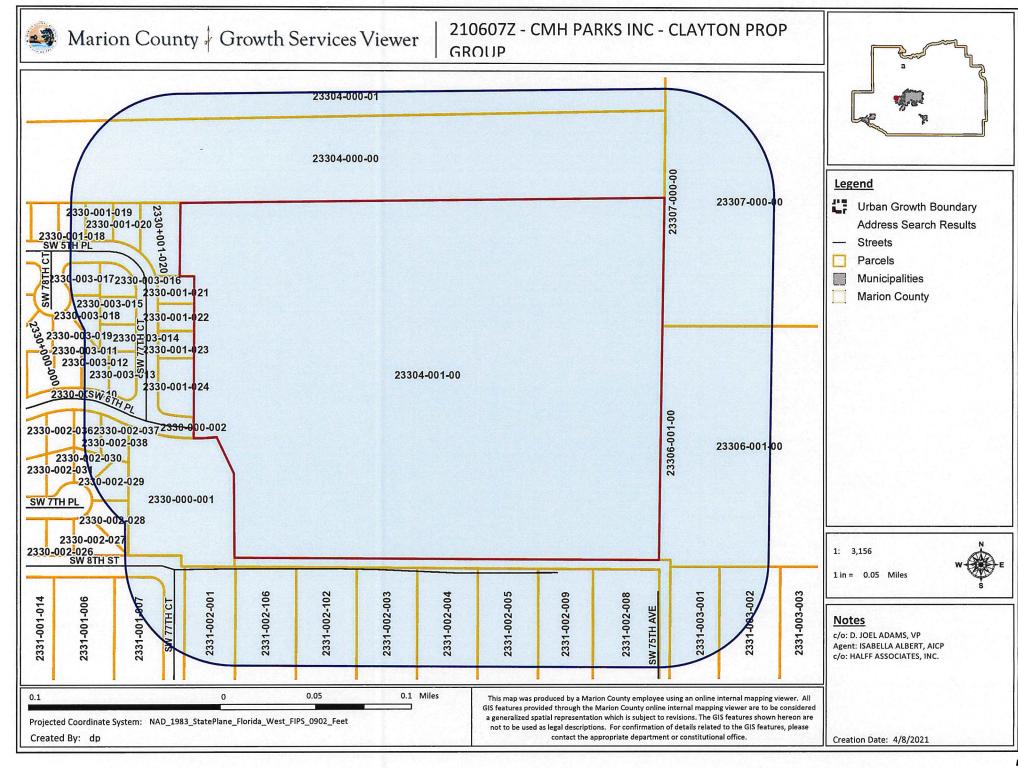
STATE OF FLORIDA COUNTY OF MARION

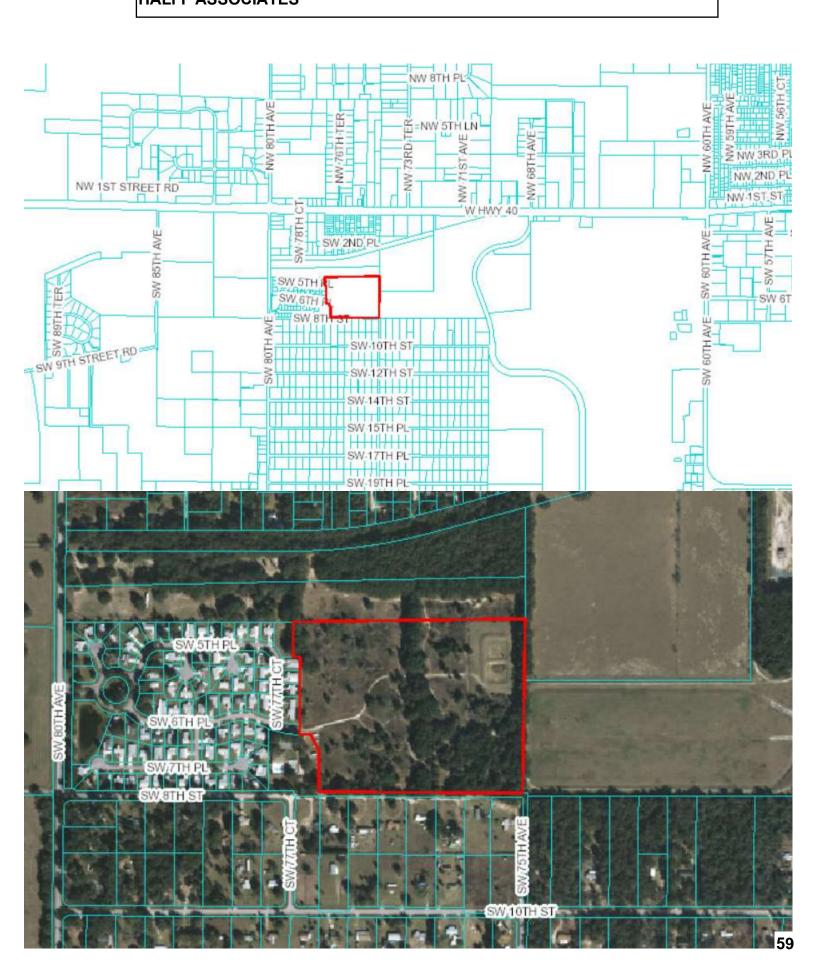


D. JOE I Adams, V. Pres, Clarks ?	op Groy, Inc.
(NAME OF ALL PROPERTY OWNERS), being first duly	sworn, depose(s) and say(s):
1. That (I am/we are) the owner(s) and record title hold	er(s) of the following described property, to wit:
ADDRESS OR GENERAL LOCATIONS: 7745 SW 6th	Parcel ID: 23304-001-00
2. That this property constitutes the property for which Rezoning to a Planned Unit Development zoning	district (NATURE OF REQUEST)
is being applied to the Board of County Commissioners, M.	
5. That the undersigned (has/have) appointed	& Halff Associates
(his/their) agent(s) to execute any permits or other docume	nts necessary to affect such permit.
4. That this affidavit has been executed to induce Mari described property; 5. That (I'we), le undersigned authority, hereby certify the light of t	hat the foregoing is true and correct.
STATE OF FLORIDA COUNTY OF MARION The foregoing instrument was acknowledged before me this (DATE) 3/30/2021 by D. JOCI Addims who: (Property Owner) Personally known to me Florida driver's license Other type of identification:	STATE OF FLORIDA COUNTY OF MARION The foregoing instrument was acknowledged before me this (DATE) by who: (Property Owner) Personally known to me Florida driver's license
and who: did did not take an oath.	☐ Other type of identification: and who: ☐ did ☐ did not take an oath.
(Signature of Notary taking acknowledgment)	(Signature of Notary taking acknowledgment)
Type or Print Name of Notary Public	Type or Print Name of Notary Public
Commission Number Expiration Date	Commission Number Expiration Date



Page 2 of 2





#2106073

PUD CONCEPTUAL PLAN FOR FALLS OF OCALA

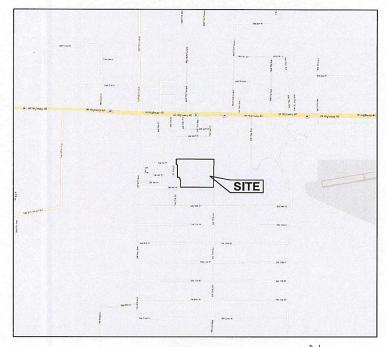
SECTION 18 TOWNSHIP 15S RANGE 21E

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARION, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

THE SOUTH 694 OF FEET OF THE SW 1/4 OF SECTION 18, TOWNSHIP 15 SOUTH, RAINGE 21 EAST, MARBON COUNTY, FLORIDA, LESS AND EXCEPT THE FALLS OF OCALA UNIT NO, 1, RECORDED IN PLAT BOOK Y, PAGE 8, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA AND ALSO LESS AND EXCEPT THE WESTERLY SOLOF FEET FOR COUNTY ROAD RIGHT OF WAY.

CONTAINING 28,58 ACRES, MORE OR LESS



OWNER/DEVELOPER/APPLICANT:

HIGHLAND HOMES
3020 S. FLORIDA AVENUE
SUITE 101
LAKELAND, FL 33803
MILTON ANDRADE, DIRECTOR OF LAND DEVELOPMENT
PHONE: (863) 619-7103 EXT. 334
MANDRADE@HIGHLANDHOMES.ORG

ENGINEER/SURVEYOR:

BESH HALFF 902 SINCLAIR AVENUE TAVARES, FL. 32778 BRETT TOBIAS, P.E. (352) 343-8481 BTOBIAS@HALFF.COM

VICINITY MAP

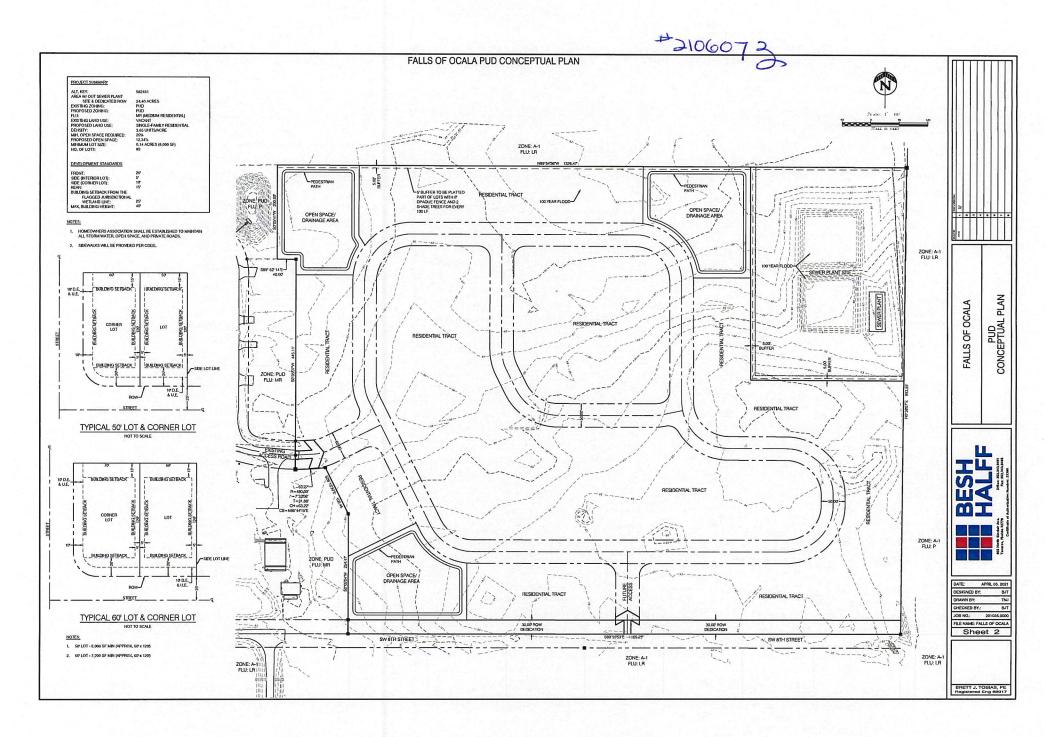


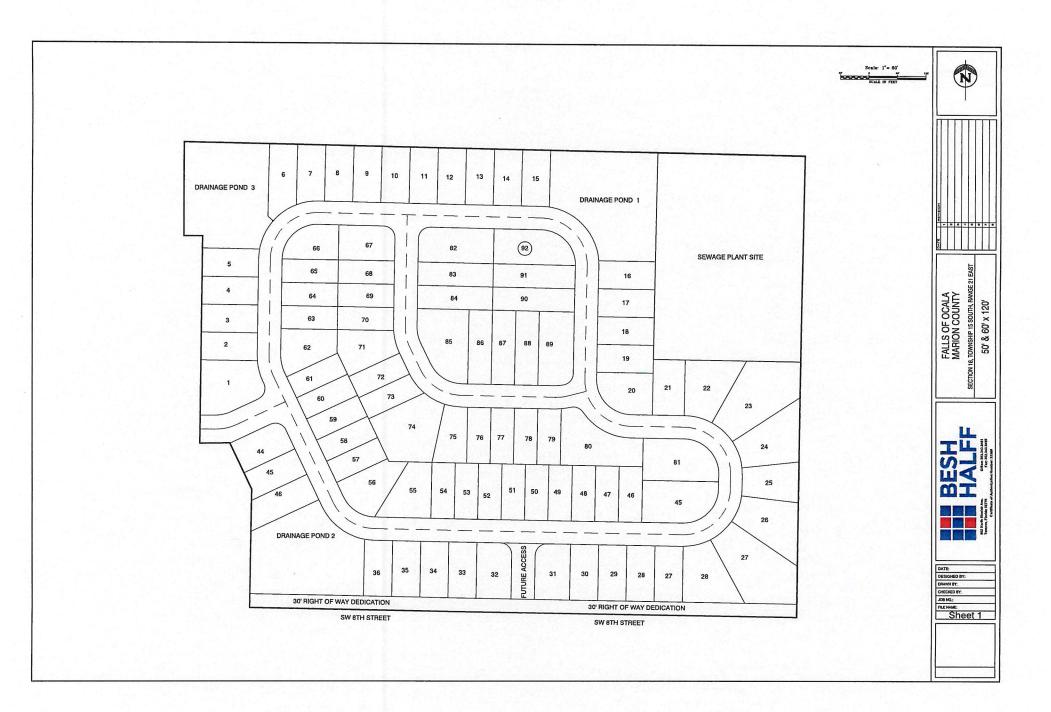
INDEX OF SHEETS

1 COVER SHEET 2 PUD MASTER PLAN



APRIL 05, 2021, SUBMITTAL #1 (NOT FOR CONSTRUCTION UNTIL CONFORMED)









Falls of Ocala PUD Architectural Renderings













Marion County

Development Review Committee

Agenda Item

File No.: 2021-3166 Agenda Date: 5/17/2021 Agenda No.: 6.2.

SUBJECT:

LAUCK PROPERTY, JAMES - WAIVER REQUEST OAK HOLLOW LOT 1

Project #2020120112 #25991 Parcel #48332-000-01 Permit #2020121306

James Lauck

Applicant requests reconsideration of this waiver request in order to obtain the CO for the home and follow up with the constructed stormwater controls within 60 days. The DRC motion on January 11, 2021 was to approve subject to working with stormwater on controls, to providing sketches of the proposed stormwater for controls, placing final holds on the building permits until such inspections can be done to confirm that the controls are in place, and that vegetative cover must be established at that time of final hold inspections.

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver for future improvements to the property consisting of a 4,152 square foot home, a 1,300 square foot detached garage, enlarging the apron between the garages, and adding a pool. The future improvements to the property will total 11,289 square feet of impervious area as described on the site plan.

DRC 1/11/21:

LAUCK PROPERTY, JAMES - WAIVER REQUEST OAK HOLLOW LOT 1

Project #2020120112 #25991 Parcel #48332-000-01 Permit #2020121306 James Lauck

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver for future improvements to the property consisting of a 25' x 51' (1,275 square foot) detached garage, enlarging the apron between the garages, and adding a pool. The future improvements to the property will total 11,289 square feet of impervious area as described on the site plan.

Motion by Tracy Straub to approve subject to working with stormwater controls, to providing sketches of the proposed stormwater controls, placing final holds on the building permits until such inspections can be done to confirm that the controls are in place, and that vegetative cover must be established at that time of final hold inspections, seconded by Michael Brown

Motion carried 5-0



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	Date: 12/28/2020 Parcel Number(s): 48332-000-01 Permit Number: 20201	21306
	mm/dd/yyyy	
A.	A. PROJECT INFORMATION: Fill in below as applicable:	
	Lauck Property, James	
	Project Name: JAMES E LAUCK Commercial or Resid	dential 🗹
	Subdivision Name (if applicable): OAK HOLLOW UnitBlockLot1	
B.	B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign	below
	authorizing the applicant to act on the owner's behalf for this waiver request:	
	December 1 ALICE TO LANGE TO ALICE	
	Property Owner's Name (print): JAMES E LAUCK	
	Property Owner's Signature: Property Owner's Mailing Address: 9371 SE 173RD SURREY LANE	
	City: THE VILLAGES State: FL Zip Code: 32162 Phone #TEL: 804-271-700	00
C.	C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will	receive
	correspondence.	
	Firm Name (if applicable):Contact Name: JAMES E LAU	CK
	Mailing Address: 9371 SE 173RD SURRY LANE City: THE VILLAGES State: FL Zip Code:	32162
	Phone #804-271-7000 Alternate Phone #	
	Email address: DEPCO7@OMCAST.NET	
D.	D. WAIVER INFORMATION:	
	Section & Title of Code: 2.21.1.A - MAJOR SITE PLAN	THE
	Reason/Justification for Waiver Request: ADDED THE DETACHED GARAGE (25' X 51') AND LARGER APRON BETWEEN GARAGES. and pool.) I DE
	LARGER APRON BETWEEN GARAGES. and pool.	
	total impervious with future additions 11,289 sq ft.	
-	· · · · · · · · · · · · · · · · · · ·	
DE	DEVELOPMENT REVIEW USE:	
]	Received By: Date Processed: 12 29/20 Project # 2020 120112 AR # 25	5991
ZO	ZONING USE: Parcel of record: Yes \(\Delta \) No \(\Delta \) Eligible to apply for Family Division: Yes \(\Delta \)	□ No □
	Zoned: ESOZ: P.O.M Must Vacate Plat: Yes I Land Use: Date: Verified by:	□ No □
	Land Use:Venned by:	_
Rev	Revised 5/2017	

Empowering Marion for Success

January 7, 2021

PROJECT NAME: LAUCK PROPERTY, JAMES - WAIVER REQUEST

PROJECT NUMBER: 2020120112 APPLICATION: #25991

2.21.1.A - MAJOR SITE PLAN

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: N/A

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: Defer to OCE-Stormwater, and subject to all other LDC provisions.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: APPROVED

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REMARKS: **APPROVED** - Parcel within Marion County Utilities public service area but outside connection distance to utility provider's closest available water or sewer at this time. When water or sewer become available from the public utility provider, parcel shall connect to respective service(s) within 365 days of notification. Not within any primary springs protection zone.

5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REMARKS: N/A

6 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: APPROVED

7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REMARKS: REVIEWER DID NOT RESPOND

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

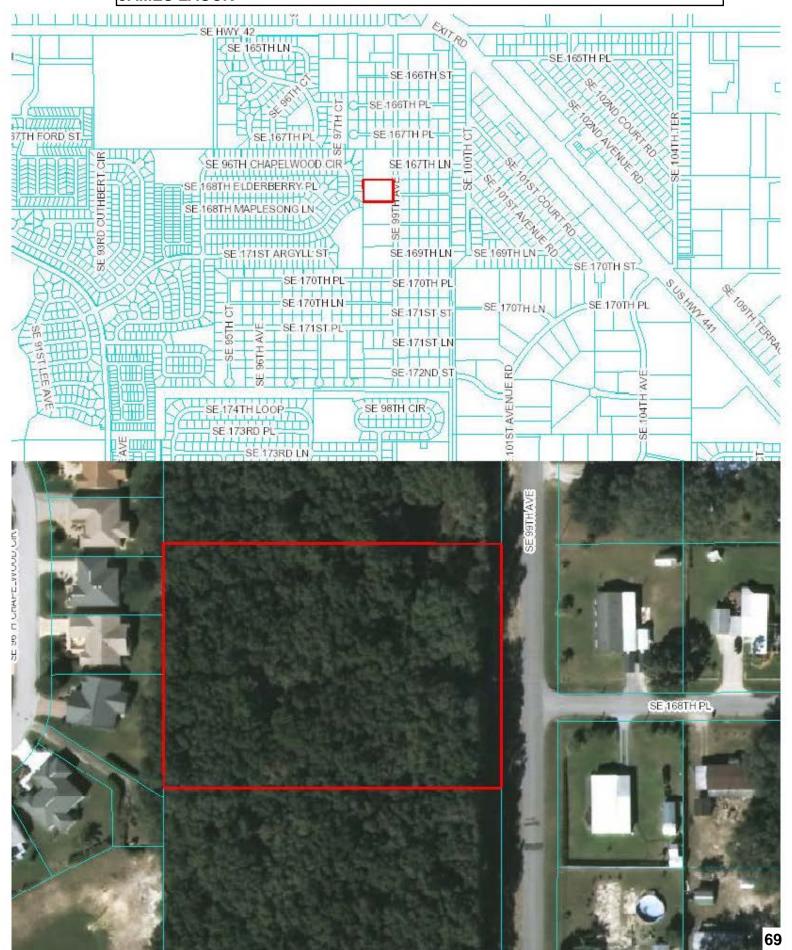
REMARKS: APPROVED

9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REMARKS: **CONDITIONAL APPROVAL** subject to working with Stormwater staff under the following conditions: 1) The applicant must provide stormwater control of the additional runoff from all impervious coverage on-site at the 100 year, 24 hour storm. It would be beneficial for the applicant to work with a private engineer on the project. 2) A permit/inspection hold will be in effect until a sketch of the proposed stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that stormwater controls and all disturbed areas must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

Per the Oak Hollow plat, a stormwater management system is required for each lot regardless of the amount of impervious coverage. Maintenance of the stormwater facility will be the responsibility of the individual owners. The applicant owns a 1.88-acre parcel located on the west side of SE 99th Avenue at the intersection with SE 168th Place. According to the MCPA, there is no existing impervious area on-site. The applicant is proposing to add 11,289 sf (13.75%) of impervious surface for residence and improvements. The site is within the Marshall Swamp watershed. There is no FEMA Special Flood Hazard Areas or Flood Prone Areas on the property.

LAUCK PROPERTY, JAMES - WAIVER REQUEST
OAK HOLLOW LOT 1
Project #2020120112 #25991 Parcel #48332-000-01 Permit #2020121306
JAMES LAUCK



SHEET 1 OF 2

ADVISORY NOTICES:

1. THE CURRENT FUTURE LAND USE DESIGNATION AND ZONING CLASSIFICATION FOR THE PROPERTY DESCRIBED HEREON IS LOW DENSITY RESIDENTIAL AND R-E.

2. FUTURE DEVELOPMENT OF EACH LOT WILL REQUIRE PERMITTING FROM MARION COUNTY.

3. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (N.F.I.P.) FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY NUMBER 12083C, PANEL 0905, SUFFIX D, MARION COUNTY, FLORIDA, DATED AUGUST 28, 2008, THE PROPERTY DESCRIBED HEREON LIES IN FLOOD ZONES "X". ALL PERSONS WITH AN INTEREST IN THE LANDS DESCRIBED HEREON SHOULD EVALUATE CURRENT FLOODPLAIN LIMITS AS THEY MAY BE AMENDED FROM TIME TO TIME AS DETERMINED BY F.E.M.A.

4. THIS PLAT CONTAINS 7.53 ACRES, 4 LOTS AND 0.00 LINEAR MILES OF PRIVATE ROADS.

5. THE STORMWATER MANAGEMENT FACILITIES FOR THIS SUBDIVISION WILL BE PRIVATE. EACH LOT WILL BE REQUIRED TO HAVE A STORMWATER MANAGEMENT FACILITY, REGARDLESS OF THE AMOUNT OF IMPERVIOUS COVERAGE. MAINTENANCE OF THE STORMWATER FACILITY WILL BE THE RESPONSIBILITY OF THE INDIVIDUAL OWNERS.

6. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, AS A CONDITION OF PRECEDENT TO THE APPROVAL AND ACCEPTANCE OF THIS PLAT FOR RECORDING IN THE PUBLIC RECORDS, DOES HEREBY NOTIFY ALL PRESENT AND FUTURE OWNERS OF THE PROPERTY DESCRIBED HEREON THAT THE LANDS INCLUDED IN THIS PLAT ARE SUBJECT TO SPECIAL ASSESSMENTS AS MAY BE PERMITTED BY LAW TO FINANCE COSTS INCURRED IN CONNECTION WITH MAINTENANCE, OPERATION, AND CONSTRUCTION OF INFRASTRUCTURE AS DETERMINED NECESSARY IN THE OPINION OF SAID BOARD OR OTHER GOVERNING BODY HAVING JURISDICTION.

GENERAL NOTES:

1. THIS PLAT DEPICTS A SURVEY PERFORMED FOR THE SPECIFIC PURPOSE OF RECORDING A SUBDIVISION PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES.

2. ALL DISTANCES SHOWN BETWEEN THE PERMANENT REFERENCE MONUMENTS ARE FIELD MEASURED DISTANCES.
3. NO LOT OR TRACT AS SHOWN ON THIS PLAT SHALL BE DIVIDED OR RE—SUBDIVIDED EXCEPT FOR THE SOLE PURPOSE OF PROVIDING ADDITIONAL AREA TO ADJACENT LOTS OR TRACTS OR UNTIL A REPLAT IS FILED WITH MARION COUNTY WHICH PLAT COMPLIES WITH THE PROVISIONS OF THE LAND DEVELOPMENT CODE. VIOLATION OF THIS PROVISION MAY BE PUNISHABLE AS PROVIDED IN THE CODE OF MARION COUNTY

OF THIS PROVISION MAY BE PUNISHABLE AS PROVIDED IN THE CODE OF MARION COUNTY.

4. THE UTILITY EASEMENT SHOWN HEREON IS EXCLUSIVELY GRANTED TO MARION COUNTY UTILITIES DEPARTMENT FOR THE INSTALLATION AND MAINTENANCE OF WATER AND SANITARY SEWER UTILITIES. NO OTHER UTILITY COMPANIES (PUBLIC OR PRIVATE) ARE GRANTED THE RIGHT TO UTILIZE THIS EASEMENT AS CREATED BY THIS

5. SITE PLAN APPROVAL SHALL BE REQUIRED AT THE TIME OF APPLICATION FOR A BUILDING PERMIT.

6. STATE PLANE COORDINATES ARE BASED ON FLORIDA WEST ZONE (TRANSVERSE MERCATOR) MARION COUNTY FLORS 43 AZ MK AND "Q424 1994" (NAD 83/1990 ADJUSTMENT) AVERAGE SCALE FACTOR 0.999941193.

7. THE FIELD MEASURED BEARINGS DEPICTED HEREON ARE ASSUMED, BASED ON THE WEST BOUNDARY OF THE EAST 1/2 OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 27, TOWNSHIP 17 SOUTH, RANGE 23 EAST, AS BEING NOO*20'12"E, AS SHOWN ON THE RECORD PLAT OF VILLAGES OF MARION,

8. ALL LOTS IN THIS PLAT WILL BE SERVICED BY INDIVIDUAL WELLS AND SEPTIC SYSTEMS.

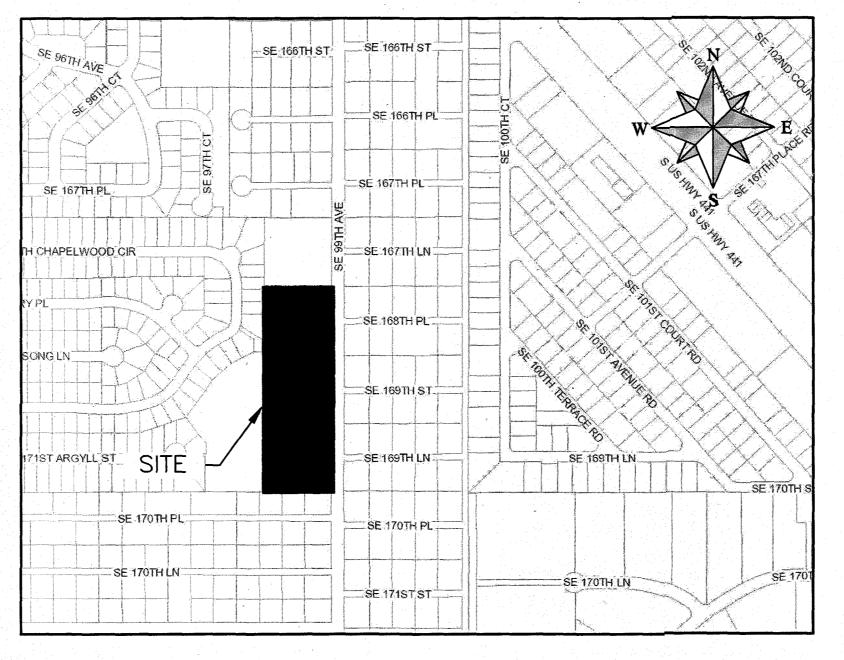
9. THIS PROPERTY IS LOCATED IN THE SECONDARY SPRINGS PROTECTION ZONE.

10. THE 25' CONSERVATION BUFFER EASEMENT SHALL REMAIN UNDISTURBED AND IS RESTRICTED FROM REMOVAL OF ANY TREES OR UNDERBRUSH.

11. THE MEMORANDUM AND NUTICE OF FINAL JUDGMENT BY FLORIDA POWER CORPORATION IN O.R. BOOK 5161, PAGE 1544, REFERRED TO IN THE OPINION OF TITLE, IS NOT A SURVEY MATTER AND IS NOT DISPLAYED HEREON.

OAK HOLLOW

MARION COUNTY, FLORIDA
LYING IN SECTION 27, TOWNSHIP 17 SOUTH, RANGE 23 EAST



LOCATION MAP

APPROVAL OF OFFICIALS - DEVELOPMENT REVIEW COMMITTEE

Y: _____ COUNTY ENGINEERING

10 mg

COUNTY FIRE SERVICES

BY: COUNTY SURVEYOR

COUNTY UTILITIES

r: Muleale COUNTY BUILDING SAFETY

SURVEYOR'S CERTIFICATION:

I CERTIFY THIS PLAT, PREPARED UNDER MY DIRECTION AND SUPERVISION, COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, IS ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, AND THAT THIS PLAT DOES NOT ADVERSELY AFFECT THE LEGAL ACCESS OF ADJACENT PARCELS.

BY: 12-13-1

RODNEY K. ROGERS, P.S.M.

REGISTRATION NO. 5274

STATE OF FLORIDA

CERTIFICATE OF APPROVAL BY BOARD OF COUNTY COMMISSIONERS

THIS IS TO CERTIFY, THAT ON JAN / 7 /2020, THE FOREGOING PLAT WAS APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA.

BY: CATHY BRYANT, CHAIRMAN
BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA
ATTEST:

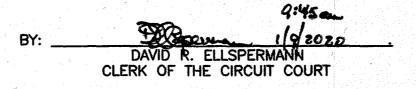
BY:

DAVID R. ELLSPERMANN'

CLERK OF THE CIRCUIT COURT

CLERK'S CERTIFICATION:

I, CLERK OF CIRCUIT COURT OF MARION COUNTY, FLORIDA, DO HEREBY ACCEPT THIS PLAT OF OAK HOLLOW FOR RECORDING. THIS PLAT FILED FOR RECORD THIS A.M. P.M. AND RECORDED ON PAGE(S) 182 \$ 183 OF PLAT BOOK 13 IN THE OFFICE OF THE CLERK OF CIRCUIT COURT OF MARION COUNTY, FLORIDA.



OWNER'S ACKNOWLEDGEMENT AND DEDICATION

KNOWN ALL MEN BY THESE PRESENTS THAT MCDONALD PROPERTIES AND INVESTMENTS LLC, A FLORIDA LIMITED LIABILITY COMPANY, AS TRUSTEE ONLY, UNDER THE FLORIDA LAND TRUST 314159 (HEREINAFTER REFERRED TO AS "MCDONALD PROPERTIES"), HAS CAUSED TO BE MADE THIS PLAT OF OAK HOLLOW, THE SAME BEING A SUBDIVISION OF LAND AS HEREIN DESCRIBED; AND THAT AN EXCLUSIVE EASEMENT, AS SHOWN HEREON, IS HEREBY GRANTED TO MARION COUNTY UTILITIES DEPARTMENT TO UTILIZE THIS EASEMENT CREATED BY THIS PLAT FOR THE INSTALLATION AND MAINTENANCE OF WATER AND SANITARY SEWER UTILITIES; AND THAT THE CONSERVATION BUFFER EASEMENT, AS SHOWN HEREON, SHALL BE RESTRICTED FROM REMOVAL OF LIVE TREES AND UNDERBRUSH WITH THE EXCEPTION OF THE MINIMUM REQUIRED FOR INSTALLATION OF FENCING ALONG THE PROPERTY LINE.

IT IS NOT THE INTENT OF THE OWNERS TO DEDICATE ANY LAND IN OAK HOLLOW TO THE GENERAL PUBLIC.

IN WITNESS WHEREOF MCDONALD PROPERTIES AND INVESTMENTS LLC, A FLORIDA LIMITED LIABILITY COMPANY, AS TRUSTEE ONLY UNDER THE FLORIDA LAND TRUST 314159, HAS CAUSED THESE PRESENTS TO BE SIGNED ON THIS 1215 DAY OF

PRINT NAME: Mekelle Boyer

PRINT NAME: Mekelle Boyer

THOMAS MCDONALD. AS MANAGER OF

THOMAS MCDONALD, AS MANAGER OF MCDONALD PROPERTIES AND INVESTMENTS, LLC

NOTARY ACKNOWLEDGMENT:
STATE OF FLORIDA

<u>December</u>, -2020: 2019

COUNTY OF MARION

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 12th DAY OF DECember, 2019

BY THOMAS MCDONALD OF MCDONALD PROPERTIES AND INVESTMENTS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ON BEHALF OF THE LIMITED LIABILITY COMPANY.

NOTARY PUBLIC, STATE OF FLORIDA
NAME: Melinda Clemons
(PLEASE PRINT)

COMMISSION NUMBER: GGOY 2890

PERSONALLY KNOWN OR

PRODUCED IDENTIFICATION (IF THIS BOXED IS CHECKED, FILL IN THE BLANK BELOW)

TYPE OF IDENTIFICATION PRODUCED:

LEGAL DESCRIPTION

THE EAST 1/2 OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 27, TOWNSHIP 17 SOUTH, RANGE 23 EAST, MARION COUNTY, FLORIDA, EXCEPT THE NORTH 330.77 FEET THEREOF.

CONTAINING 7.53 ACRES, MORE OR LESS.

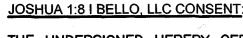
NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

PREPARED BY:

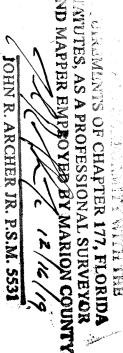
ROGERS ENGINEERING, LLC
Civil Engineering & Land Surveying

1105 S.E. 3rd Avenue ● Ocala, Florida 34471 ● Ph. (352) 622-9214 ● Lic. Bus. #4074



THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF A MORTGAGE UPON THE PROPERTY DESCRIBED HEREON AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNER THEREOF AND AGREES THAT ITS MORTGAGE WHICH IS RECORDED IN OFFICIAL RECORDS BOOK 6462, PAGE 148 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.

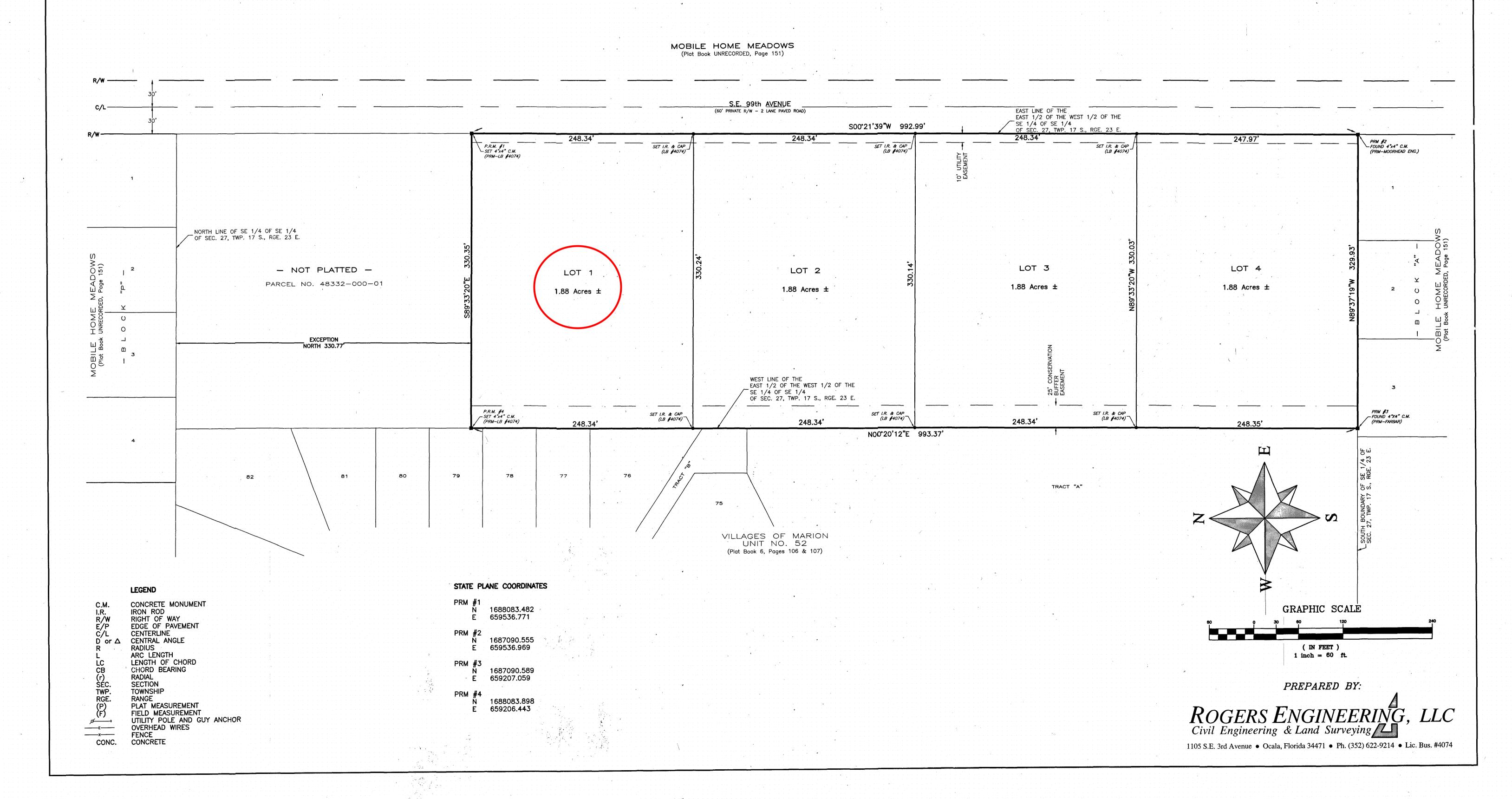
SIGNATURE Wendy L Grabe



SHEET 2 OF 2

OAK HOLLOW

MARION COUNTY, FLORIDA LYING IN SECTION 27, TOWNSHIP 17 SOUTH, RANGE 23 EAST





Marion County

Development Review Committee

Agenda Item

File No.: 2021-3167 Agenda Date: 5/17/2021 Agenda No.: 6.3.

SUBJECT:

SLACK PROPERTY, DUANE & TAMMY - WAIVER REQUEST 3801 WEST ANTHONY RD OCALA

Project #2003110019 #26732 Parcel #15391-002-02 Permit #2021030101

Abshier Engineering

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver to add a 60' x 40' (2,400 square feet) detached garage and a 14,705 square foot driveway. The proposed DRA will mitigate the extra runoff created.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 05-05	-21 Parcel Number(s):	15391-002-02	Permit Number: 2021030101
	NFORMATION: Fill in below	v as applicable:	
Subdivision N	: Slack Residence Name (if applicable): N/A		Commercial
Unit	BlockLot		
	OWNER'S AUTHORIZA applicant to act on the owner's beh		ne owner(s) or the owner(s) may sign below
Property Own Property Own	ner's Name (print): Duane & ner's Signature: Name (print): Duane & ner's Mailing Address: 3801	W Anthony Rd	
City:	Ocala State:	FL Zip Code: 34475	Phone # 804-4887
correspondence.			ct during this waiver process and will receive
Mailing Addr Phone # 352- Email address	ress: P.O. Box 2770 245-8592 s: ed@abshiereng.com	City: Belleview Alternate Phone	ct Name: Ed Abshier State: FL Zip Code: 34421 # 352-266-9555
Section & Tit Reason/Justif this site will DRA will mit	exceed 9,000sf. The attactigate the extra runoff creating	thed plan and calculation ted. Proposed det	A(1) Major Site Plan detached garage and paved D/W ns will shows that the proposed ach garage is 60' × 40' 14.705 square feet
	TREVIEW USE: CG Date Processed	: 5 5 21 Project #_	2003 110019 AR # 26132
Zoned:	Parcel of record: Yes December 19 Process Proc		pply for Family Division: Yes \(\Dag{N} \) No \(\Dag{N} \) Must Vacate Plat: Yes \(\Dag{N} \) No \(\Dag{N} \)

Revised 5/2017

May 12, 2021

PROJECT NAME: SLACK PROPERTY, DUANE & TAMMY - WAIVER REQUEST

PROJECT NUMBER: 2003110019 APPLICATION: #26732

2.21.1.A - MAJOR SITE PLAN

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: APPROVED

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: Defer to OCE-Stormwater. [Site is zoned R-E. No measurements provided on the plan though improvements appear able to meet setbacks, but formal site/permit plans will need to provide full dimensions and meet setbacks.]

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: Defer to OCE - Stormwater for runoff mitigation. Zoning approval contingent on setbacks being met for R-E zoning.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REMARKS: **APPROVED** - Parcel lies within Marion County Utilities service area but outside connection distance to its closest water or sewer mains. The City of Ocala has water and sewer available along West Anthony Rd; if the detached garage will include any flows, connection to the City's utility (requiring future annexation in to the City of Ocala) may be required if availability and capacity exist. Parcel lies within the Silver Springs primary springs protection zone.

5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REMARKS: N/A

6 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: APPROVED

7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REMARKS: N/A

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REMARKS: APPROVED

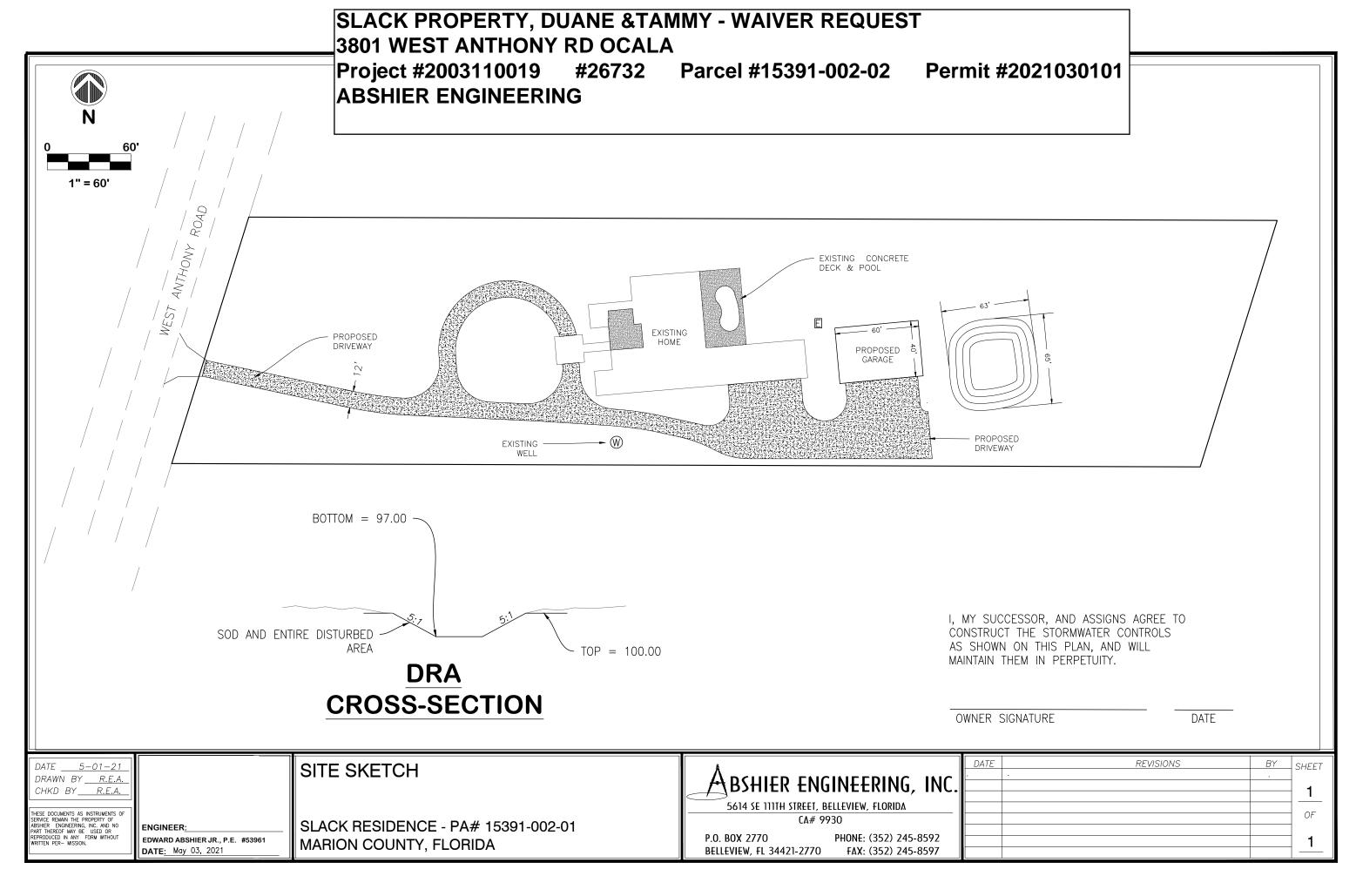
9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REMARKS: **CONDITIONAL APPROVAL**. Staff recommends approval subject to the following conditions: 1) a. The applicant must provide on-site stormwater control for the additional runoff from the new impervious areas. The plan by Ed Abshier, PE shows a portion of the new driveway (9,000sf) and new garage (2,400sf) will be constructed to drain to a new stormwater retention area. 2) A permit/inspection hold will be in effect until a sketch of the stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that all areas disturbed by construction must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

Note: The subject parcel is a 3-acre parcel (PID 15391-002-02) located off W Anthony Rd (County road). The existing impervious coverage is 9,359sf. The proposed driveway and garage is approximately 17,105sf for a total of 26,464sf. Staff recommends approval with conditions.

SLACK PROPERTY, DUANE &TAMMY - WAIVER REQUEST 3801 WEST ANTHONY RD OCALA Project #2003110019 #26732 Parcel #15391-002-02 Permit #2021030101 ABSHIER ENGINEERING





Drainage Calculations

For

Slack Residence

Abshier Engineering Inc. P.O. Box 2770 Belleview, FL 34421-2770 (352) 245-8592



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY EDWARD ABSHIER, P.E., ON THE DATE IN THE DIGITAL SIGNATURE AJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Edward by Edward Abshier Date: 2021.05.05 14:51:07 -04'00'

Engineer:

Project Summary:

Attached are drainage calculations demonstrating the proposed "DRA" will mitigate for the increased runoff caused by the construction of the garage and the paved D/W. I used conservative values for the Type A soils the shown on the Soils Map for this area in the Calculations. Using the county topo it appears that there is a break in the water shed about the midpoint of the house, so only that area was used as the watershed area for the calculations. The topo for the area is very flat without much change in elevation.

Miscellaneous Calculations & Other Additional Information

Slack Overall CN

PRE-DEVELOPMENT

DESCRIPTION	AREAS				CURVE #
Open Space Type "A" Soils	121,316	FT^2	2.79	ACRES	39
Existing Buildings	8,283	FT^2	.19	ACRES	98
Existing Deck Around Pool	1,083	FT^2	.02	ACRES	98
		FT^2	•	ACRES	
		FT^2		ACRES	
TOTAL AREA	130,682	FT^2	3.00	ACRES ACRES	
	ŕ				
PRECIPITATION	11.0	INCHES			
COMPOSITE CURVE #	43.23				
S = (1000/CN)-10	13.13				
$Q = [P-(0.2)*(S)]^2/[P+(0.8)*(S)]$	3.26	INCHES			
PERMITTED DEVELOPMENT VOLUME	35,506	FT^3	0.815	ACRE-FT	
POST-DEVELOPMENT					
POST-DEVELOPMENT DESCRIPTION	AREAS				CURVE#
DESCRIPTION	AREAS 9,366	FT^2	0.22	ACRES	CURVE # 98
DESCRIPTION Existing Impervious Proposed Building	9,366 2,400	FT^2	.06	ACRES	98 98
DESCRIPTION Existing Impervious Proposed Building Proposed Driveway	9,366 2,400 14,705	FT^2 FT^2	.06 .34	ACRES ACRES	98 98 98
DESCRIPTION Existing Impervious Proposed Building Proposed Driveway	9,366 2,400	FT^2 FT^2 FT^2	.06 .34 2.39	ACRES ACRES ACRES	98 98
DESCRIPTION Existing Impervious Proposed Building Proposed Driveway	9,366 2,400 14,705	FT^2 FT^2 FT^2 FT^2	.06 .34	ACRES ACRES ACRES ACRES	98 98 98
	9,366 2,400 14,705	FT^2 FT^2 FT^2	.06 .34 2.39	ACRES ACRES ACRES	98 98 98
DESCRIPTION Existing Impervious Proposed Building Proposed Driveway Open Space Type "A" Soils	9,366 2,400 14,705 104,211	FT^2 FT^2 FT^2 FT^2 FT^2	.06 .34 2.39	ACRES ACRES ACRES ACRES ACRES	98 98 98
DESCRIPTION Existing Impervious Proposed Building Proposed Driveway Open Space Type "A" Soils TOTAL AREA	9,366 2,400 14,705 104,211	FT^2 FT^2 FT^2 FT^2 FT^2	.06 .34 2.39	ACRES ACRES ACRES ACRES ACRES	98 98 98
DESCRIPTION Existing Impervious Proposed Building Proposed Driveway Open Space Type "A" Soils TOTAL AREA PRECIPITATION	9,366 2,400 14,705 104,211	FT^2 FT^2 FT^2 FT^2 FT^2	.06 .34 2.39	ACRES ACRES ACRES ACRES ACRES	98 98 98
DESCRIPTION Existing Impervious Proposed Building Proposed Driveway Open Space Type "A" Soils TOTAL AREA PRECIPITATION COMPOSITE CURVE #	9,366 2,400 14,705 104,211 130,682	FT^2 FT^2 FT^2 FT^2 FT^2	.06 .34 2.39	ACRES ACRES ACRES ACRES ACRES	98 98 98
DESCRIPTION Existing Impervious Proposed Building Proposed Driveway Open Space Type "A" Soils TOTAL AREA PRECIPITATION COMPOSITE CURVE # S = (1000/CN)-10	9,366 2,400 14,705 104,211 130,682 11.0	FT^2 FT^2 FT^2 FT^2 FT^2	.06 .34 2.39	ACRES ACRES ACRES ACRES ACRES	98 98 98
DESCRIPTION Existing Impervious Proposed Building Proposed Driveway Open Space Type "A" Soils	9,366 2,400 14,705 104,211 130,682 11.0 50.95	FT^2 FT^2 FT^2 FT^2 FT^2	.06 .34 2.39	ACRES ACRES ACRES ACRES ACRES	98 98 98

Slack Residence - Area to DRA

PRE-DEVELOPMENT

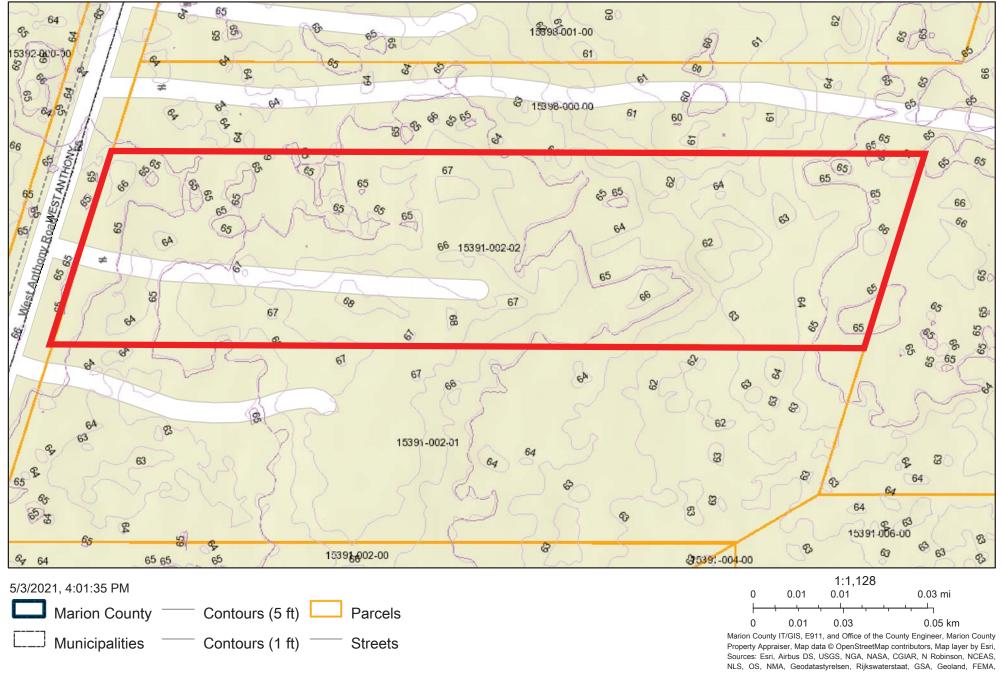
DESCRIPTION	AREAS				CURVE #
Open Space A Soils	67,599	FT^2	1.55	ACRES	39
Existing Impervious	5,661	FT^2	.13	ACRES	98
		FT^2		ACRES	
		FT^2	•	ACRES	
		FT^2		ACRES	
TOTAL AREA	73,260	FT^2 FT^2	1.68	ACRES ACRES	
PRECIPITATION	11.0	INCHES			
COMPOSITE CURVE #	43.56				
S = (1000/CN)-10	12.96				
Q = [P-(0.2)*(S)]^2/[P+(0.8)*(S)]	3.31	INCHES			
PRE-DEVELOPMENT VOLUME	20,203	FT^3	0.464	ACRE-FT	
POST-DEVELOPMENT	AREAS				CURVE#
DESCRIPTION Open Space A	59,739	FT^2	1.37	ACRES	39
Buildings	2,400	FT^2	.06	ACRES	98
Driveways	9,040	FT^2	0.21	ACRES	98
	-,-	FT^2	0.00	ACRES	
		FT^2	0.00	ACRES	
DRA	1,081	FT^2	0.02	ACRES	98
TOTAL AREA	72,260	FT^2	1.66	ACRES	
PRECIPITATION	11.0	INCHES			
COMPOSITE CURVE #	49.22				
S = (1000/CN)-10	10.32				
$Q = [P-(0.2)*(S)]^2/[P+(0.8)*(S)]$	4.15	INCHES			
POST-DEVELOPMENT VOLUME	24,978	FT^3	0.573	ACRE-FT	
PRE-POST VOLUME	4,774	FT^3	0.110	ACRE-FT	

Slack DRA Volume

				TOTAL			TOTAL
	ELEV.	FT^2	FT^3	FT^3	ACRES	ACRE-FT	ACRE-FT
1.	97.00	1,081			0.02		
			1,428			0.03	
2.	98.00	1,775		1,428	0.04		0.03
			2,351			0.05	
3.	99.00	2,927		3,779	0.07		0.09
			3,282			0.08	
4.	100.00	3,636		7,061	0.08		0.16
5							
TOTAL V	OLUME	7,061	FT^3		0.1621	ACRE-FT	

DRA VOL.xls 83

Marion County Florida - Interactive Map





Web Soil Survey

MAP LEGEND

Area of Interest (AOI)

Area of Interest (AOI)

Soils

Soil Map Unit Polygons



Soil Map Unit Points

Special Point Features

Blowout

Borrow Pit

Clay Spot

Closed Depression

Gravel Pit

Gravelly Spot

Landfill

Lava Flow

Marsh or swamp

Mine or Quarry

Miscellaneous Water

Perennial Water

Saline Spot
Sandy Spot

Severely Eroded Spot

Sinkhole

Slide or Slip

Sodic Spot

.110

Stony Spot

Very Stony Spot

Spoil Area

Wet Spot
 Other

Special Line Features

Water Features

Δ

Streams and Canals

Transportation

Rails

Interstate Highways

US Routes

Major Roads

Local Roads

Background

Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15.800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Marion County Area, Florida Survey Area Data: Version 18, Jun 9, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Data not available.

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
9	Arredondo sand, 0 to 5 percent slopes	2.3	42.5%
44	Kendrick loamy sand, 0 to 5 percent slopes	3.1	57.5%
Totals for Area of Interest		5.4	100.0%

PONDS Calculations

Project Data

Project Name: Slack Residence
Simulation Description: Storm Routing

Project Number:

Engineer : Edward Abshier, P.E.
Supervising Engineer: Edward Abshier, P.E.

Date: 05-03-2021

Aquifer Data

Base Of Aquifer Elevation, [B] (ft datum):	92.00
Water Table Elevation, [WT] (ft datum):	93.00
Horizontal Saturated Hydraulic Conductivity, [Kh] (ft/day):	10.00
Fillable Porosity, [n] (%):	25.00
Unsaturated Vertical Infiltration Rate, [lv] (ft/day):	5.0
Maximum Area For Unsaturated Infiltration, [Av] (ft²):	3500.0

Geometry Data

Equivalent Pond Length, [L] (ft): 65.0 Equivalent Pond Width, [W] (ft): 60.0

Ground water mound is expected to intersect the pond bottom

Stage vs Area Data

Stage	Area
(ft datum)	(ft²)
97.00	1081.0
98.00	1775.0
99.00	2957.0
100.00	3636.0

Slack Residence 05-03-2021 14:58:53 Page 1

Discharge Structures

Discharge Structure #1 is active as weir

Structure Parameters

Description: DRA Top

Weir elevation, (ft datum): 99.99
Weir coefficient: 2.861
Weir length, (ft): 130
Weir exponent: 1.5

Tailwater - disabled, free discharge

Discharge Structure #2 is inactive

Discharge Structure #3 is inactive

Slack Residence 05-03-2021 14:58:54 Page 2

Scenario Input Data

Scenario 1 :: 100YR - 24HR

Hydrograph Type: Inline SCS

Modflow Routing: Routed with infiltration

Repetitions: 1

Basin Area (acres) 1.680
Time Of Concentration (minutes) 10.0
DCIA (%) 0.0
Curve Number 49.22
Design Rainfall Depth (inches) 11.0
Design Rainfall Duration (hours) 24.0
Shape Factor UHG 323

Shape Factor UHG 323
Rainfall Distribution SCS Type II Florida Modified

Initial ground water level (ft datum) 93.00 (default)

| Time After
Storm Event
(days) |
|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| 0.100 | 2.900 | 5.700 | 8.500 | 11.300 |
| 0.200 | 3.000 | 5.800 | 8.600 | 11.400 |
| 0.300 | 3.100 | 5.900 | 8.700 | 11.500 |
| 0.400 | 3.200 | 6.000 | 8.800 | 11.600 |
| 0.500 | 3.300 | 6.100 | 8.900 | 11.700 |
| 0.600 | 3.400 | 6.200 | 9.000 | 11.800 |
| 0.700 | 3.500 | 6.300 | 9.100 | 11.900 |
| 0.800 | 3.600 | 6.400 | 9.200 | 12.000 |
| 0.900 | 3.700 | 6.500 | 9.300 | 12.100 |
| 1.000 | 3.800 | 6.600 | 9.400 | 12.200 |
| 1.100 | 3.900 | 6.700 | 9.500 | 12.300 |
| 1.200 | 4.000 | 6.800 | 9.600 | 12.400 |
| 1.300 | 4.100 | 6.900 | 9.700 | 12.500 |
| 1.400 | 4.200 | 7.000 | 9.800 | 12.600 |
| 1.500 | 4.300 | 7.100 | 9.900 | 12.700 |
| 1.600 | 4.400 | 7.200 | 10.000 | 12.800 |
| 1.700 | 4.500 | 7.300 | 10.100 | 12.900 |
| 1.800 | 4.600 | 7.400 | 10.200 | 13.000 |
| 1.900 | 4.700 | 7.500 | 10.300 | 13.100 |
| 2.000 | 4.800 | 7.600 | 10.400 | 13.200 |
| 2.100 | 4.900 | 7.700 | 10.500 | 13.300 |
| 2.200 | 5.000 | 7.800 | 10.600 | 13.400 |
| 2.300 | 5.100 | 7.900 | 10.700 | 13.500 |
| 2.400 | 5.200 | 8.000 | 10.800 | 13.600 |
| 2.500 | 5.300 | 8.100 | 10.900 | 13.700 |
| 2.600 | 5.400 | 8.200 | 11.000 | 13.800 |
| 2.700 | 5.500 | 8.300 | 11.100 | 13.900 |
| 2.800 | 5.600 | 8.400 | 11.200 | 14.000 |

Slack Residence 05-03-2021 14:58:54 Page 3

Summary of Results :: Scenario 1 :: 100YR - 24HR

	Time (hours)	Stage (ft datum)	Rate (ft³/s)	Volume (ft³)
Stage Minimum Maximum	0.000 12.200	93.00 100.03		
Inflow Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	12.044 None 24.844 None 360.911		4.6371 None	25372.8 None 25372.8
Infiltration Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	17.556 None 116.111 None 360.911		0.4578 None	15367.8 None 15367.8
Combined Discharge Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	12.200 None 24.200 None 360.911		3.1627 None	10005.0 None 10005.0
Discharge Structure 1 - simple weir Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	12.200 None 24.200 None 360.911		3.1627 None	10005.0 None 10005.0
Discharge Structure 2 - inactive Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	disabled disabled disabled disabled disabled		disabled disabled	disabled disabled disabled
Discharge Structure 3 - inactive Rate - Maximum - Positive Rate - Maximum - Negative Cumulative Volume - Maximum Positive Cumulative Volume - Maximum Negative Cumulative Volume - End of Simulation	disabled disabled disabled disabled disabled		disabled disabled	disabled disabled disabled
Pollution Abatement: 36 Hour Stage and Infiltration Volume 72 Hour Stage and Infiltration Volume	N.A. N.A.	N.A. N.A.		N.A. N.A.

Slack Residence 05-03-2021 14:58:54 Page 4



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3168 Agenda Date: 5/17/2021 Agenda No.: 6.4.

SUBJECT:

LAMBERT PROPERTY, TONY - WAIVER REQUEST

Project #2021050018 #26728 Parcel #51265-001-00

RLW Realty

LDC 2.16.1.B(10) - Family Division

CODE states a parcel of record as of January 1, 1992 that is located in the Rural Land may be subdivided for use of immediate family members for their primary residences. Within the Farmland Preservation area, each new tract and the remaining parent tract must be at least three (3) acres in size. Within the Rural Land outside the Farmland Preservation area each new tract and the remaining parent tract must be at least one (1) acre in size.

APPLICANT requests waiver to divide the parcel into four parts. The applicant will keep parcel 1 (9.25 acres) as the parent parcel, his sister will receive parcel 2 (9.23 acres), his oldest son will receive parcel 3 (5.65 acres), and his youngest son will receive parcel 4 (5.65 acres).



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM
	Date: 04/30/2021 Parcel Number(s): 51265-001-00 Permit Number: Permit Number:
A.	PROJECT INFORMATION: Fill in below as applicable:
	Project Name: Lambert Family Division Commercial or Residential Manual Commercial Description Commercial Descripti
В.	PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:
	Property Owner's Name (print): Tony lumbert Property Owner's Signature: Day lambert Property Owner's Mailing Address: Flags City: Altoona State: Flags Code: 32702 Phone # 352-266-0934
C.	APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.
	Firm Name (if applicable): RLW Realty Contact Name: Logan Wilson Mailing Address: 680 N. Central Ave City: Umatilla State: FL Zip Code: 32784 Phone #352-516-6330 Alternate Phone #_352-771-2560 Email address: logan@rlwrealty.com
	WAIVER INFORMATION: Section & Title of Code: Reason/Justification for Waiver Request: Parent parcel for Tony Lambert will be exhibit parcel 1 (9.25 acres), his sister will receive exhibit parcel 2 (9.23 acres) his oldest son will receive exhibit parcel 4 (5.65 acres)
ZO1 ZO1 Z	VELOPMENT REVIEW USE: ecceived By: CG Date Processed: 5 5 21 Project # 202 050018 AR # 26728 VING USE: Parcel of record: Yes
Revi	sed 5/2017
	Empowering Marlon for Success DRC 5 17 21

94

May 13, 2021

PROJECT NAME: LAMBERT PROPERTY, TONY - WAIVER REQUEST

PROJECT NUMBER: 2021050018 APPLICATION: #26728

2.16.1.B(10) - FAMILY DIVISION

1 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: APPROVED

2 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REMARKS: N/A

3 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REMARKS: **DISCUSSION NEEEDED**. The applicant is requesting to divide the 29.8-acre subject parcel (PID 51265-001-00) into four (4) to create two (2) 5.6-acre parcels (south), and two (2) 9.2-acre parcels (north). Adjacent parcels range in size from 4.9 acres to 26 acres. The proposed driveway access or ingress/egress easement is not shown on the plans.

There is 0sf existing impervious coverage on subject parcel. There is a FMEA A-Zone and NWI Wetland (pond) on a portion of the property. The applicant should note that a Major Site Plan or waiver is required when any of the resulting parcels exceed 9,000 sf of impervious coverage.

4 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: APPROVED

5 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REMARKS: **DISCUSSION NEEEDED** - The parent parcel has access to SE 180th Street Road which is not maintained by Marion County. It appears as though the road is maintained by Lake County. It is proposed for three lots to share a driveway access to SE 180th Street Road through a 40' wide easement while the fourth parcel will have its own separate access. The applicant should coordinate with Lake County to ensure they will permit the two driveway connections.

6 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: APPROVED

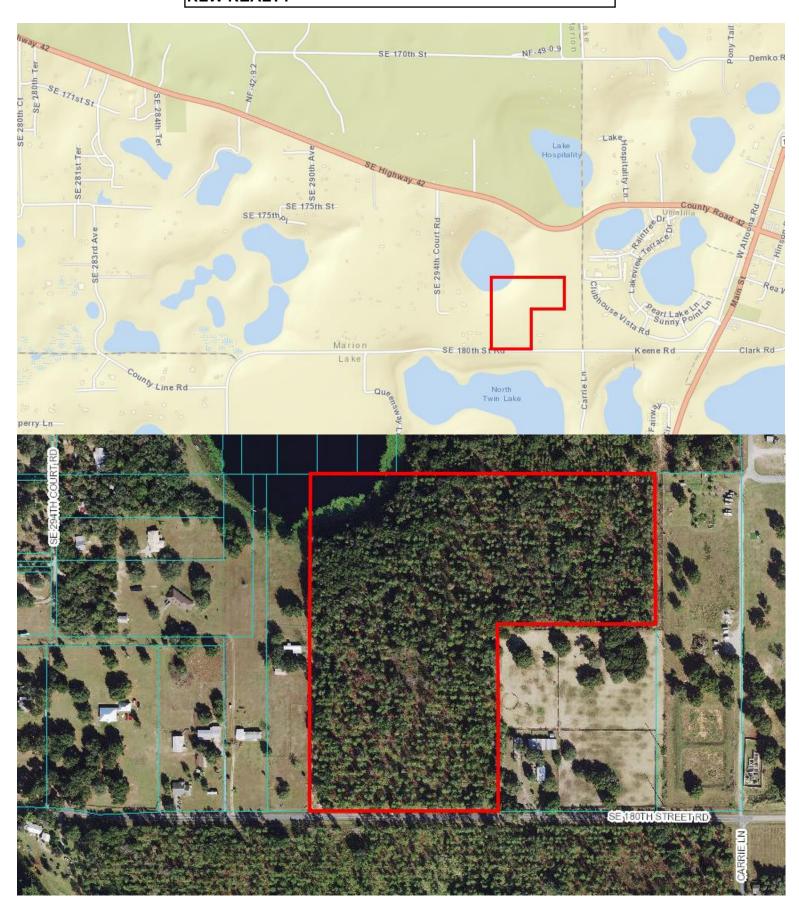
7 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: **CONDITIONAL APPROVAL**. Development on each parcel must maintain 25 feet setback to all structures. Each deed to family member must include the easement legal description for access. Note, access will be to Keene Rd, Lake County.

8 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REMARKS: **APPROVED** - Parcel within Marion County Utilities public service area but outside connection distance to utility provider's closest available water or sewer at this time. When water or sewer become available from the public utility provider, parcel shall connect to respective service(s) within 365 days of notification. Not within any primary springs protection zone.

LAMBERT PROPERTY, TONY - WAIVER REQUEST
Project #2021050018 #26728 Parcel #51265-001-00
RLW REALTY



LAMBERT PROPERTY, TONY - WAIVER REQUEST Parcel #51265-001-00 /LOT SPLIT Project #2021050018 #26728 **RLW REALTY** FOUND 4X4 CM PIN LB 8397 NO ID 1.72' S N LINE SE 1/4 SE 1/4 36-17-26 N89'49'32"W 1328.89 251.57 664,44 664.44 50.00 LAKE FOUND 4X4 CM PIN LS4044 EDGE OF WATER PARCEL 1 FOUND 4X4 CM NO ID NEW PARCEL 1 NEW PARCEL 2 TOTAL 9.23 ACRES TOTAL 9.25 ACRES WETLAND 1.35 ACRES UPLAND 7.88 ACRES SET IRON SET IRON SET IRON PIN LB 8397 PIN LB 8397 PIN LB 8397 N89'45'02"W 664.46 S89'45'02"E 664,46 5177 360.39 360.39 608.15 1328.92 720.78 FOUND IRON POB NEW PARCEL 1&2 E 1/2 E 1/2 SW 1/4 36-17-26 FOUND IRON PIN LS 2510 PIN LS 2510 W LINE **NEW PARCEL 4** NEW PARCEL 3 TOTAL 5.65 ACRES TOTAL 5.65 ACRES LESS FOUND 4X4 FOUND IRON CM NO ID SET IRON SW COR SE PIN NO ID PIN LB 8397 SET IRON PIN LB 8397 1/4 36-17-26 360,40 360.40 N89°45'01"W N89°45'01"W 330.00 995.47 608.15 360.40 720.80' N89°45'02"W KEENE ROAD 938.15 SURVEYORS CERTIFICATION: I HEREBY CERTIFY TO : 50,00 S LINE SE 1/4 36-17-26 PARCEL 3&4 LAMBERT PROPERTIES GROUP, LLC THAT THE SKETCH AND DESCRIPTION, AS REFLECTED HEREON, WAS PERFORMED UNDER MY RESPONSIBLE SUPERVISION AND DIRECTION, AND FOUND 3X3 MEETS THE MINIMUM TECHNICAL STANDARDS RULE 5J-17.052. ALUMINUM PLATE SE COR 36-17-26 STEVEN B. WILEY FLORIDA PROFESSIONAL SURVEYOR & MAPPER NOTES: CERTIFICATE NUMBER 5951 1) SURVEY WAS COMPLETED IN THE FIELD FEBRUARY 25, 2021. 2) BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 18400 BAKER ROAD OF 36-17-26 AS BEING N89'45'01"W PROPERTY. UMATILLA, FLORIDA 32784 3) UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF FLORIDA LICENSED SURVEYOR AND MAPPER, THIS SURVEY IS FOR PHONE: (352) 355-9827 EASTLAKESURVEY@GMAIL.COM

PROFESSIONAL SURVEYORS AND MAPPERS

LB 8397

INFORMATIONAL PURPOSE ONLY AND IS NOT VALID

OF WAY, OWNERSHIP OR OTHER MATTERS OF RECORD BY THIS FIRM.

DESCRIPTION PARENT PARCEL:

FROM THE S.E. CORNER OF SEC. 36, TWP. 17S, RGE. 26E., MARION COUNTY FLORIDA, RUN THENCE N 89 DEGREES 35' 30" W. ALONG THE SOUTH LINE OF THE S.E. 1/4 OF SAID SEC. 36 330 FT.; THENCE NORTH 0 DEGREES 17' 00" E., AND PARALLEL WITH THE EAST LINE OF SAID SEC. 36, 716.28 FT. TO THE POINT OF BEGINNING; FROM SAID P.O.B., CONTINUE N. O DEGREES 17' 00" E., AND PARALLEL WITH THE EAST LINE OF SEC. 36 606.56 FT. TO THE NORTH LINE OF THE S.E. 1/4 OF THE S.E. 1/4 OF SAID SEC. 36; THENCE N. 89 DEGREES 40' 00" W., ALONG THE NORTH LINE OF THE S.E. 1/4 OF THE S.E. 1/4 1328.89 FT. TO THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF THE S.W. 1/4 OF S.E. 1/4 OF SAID SEC. 36; THENCE S. O DEGREES 17' 08" W. ALONG THE WEST LINE OF THE EAST 1/2 OF EAST 1/2 OF S.W. 1/4 OF S.E. 1/4, 604.82 FT.; THENCE S. 89 DEGREES 35' 30" E., 1328.92 FT. TO THE P.O.B.

DESCRIPTION PARENT PARCEL 2:

FROM THE S.E. CORNER OF SEC. 36, TWP. 17S, RGE. 26E., MARION COUNTY FLORIDA, RUN THENCE N 89 DEGREES 35' 30" W. ALONG THE SOUTH LINE OF THE S.E. 1/4 OF SAID SEC. 36 901.0 FT. TO THE POINT OF BEGINNING; THENCE N. 1 DEGREES 11' 54" E., 386.44 FT.; THENCE N. 89 DEGREES 35' 30" W., 764.11 FT. TO THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF THE S.W. 1/4 OF S.E. 1/4 OF SAID SEC. 36; THENCE S. O DEGREES 17' 08" W. ALONG SAID WEST LINE 386.40 FT. TO THE SOUTH LINE OF THE S.E. 1/4 OF SEC. 36; THENCE S. 89 DEGREES 35' 30" E. ALONG THE SOUTH LINE OF THE S.E. 1/4 757.95 FT. TO THE P.O.B., LESS THAT PORTION CONVEYED TO LAKE COUNTY BY VIRTUE OF QUIT CLAIM DEED RECORDED IN O.R. BOOK 2739, PAGE 1402, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

DESCRIPTION PARENT PARCEL 3:

FROM THE S.E. CORNER OF SEC. 36, TWP. 17S, RGE. 26E., MARION COUNTY FLORIDA, RUN THENCE N 89 DEGREES 35' 30" W. ALONG THE SOUTH LINE OF THE S.E. 1/4 OF SAID SEC. 36 330.0 FT. TO THE POINT OF BEGINNING: RUN THENCE N. O DEGREES 17' 00" E., AND PARALLEL WITH THE EAST LINE OF THE S.E. 1/4 OF SAID SEC. 36 716.28 FT.; THENCE N. 89 DEGREES 35' 30" W., 1328,92 FT. TO THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF THE S.W. 1/4 OF S.E. 1/4 OF SAID SEC. 36; THENCE S. O DEGREES 17' 08" W. ALONG SAID WEST LINE 329.89 FT.; THENCE S. 89 DEGREES 35' 30" E., 764.11 FT.; THENCE S. 1 DEGREE 11' 54" W., 56.44 FT.; THENCE S. 89 DEGREES 35' 30" E., 62.0 FT.; THENCE S. 1 DEGREE 11' 54" W., 60.0 FT.; THENCE S. 89 DEGREES 35' 30" E., 89.0 FT.; THENCE S. 1 DEGREE 11' 54" W., 270.0 FT. TO THE SOUTH LINE OF THE S.E. 1/4 OF SEC. 36; THENCE S. 89 DEGREES 35' 30" E. ALONG THE SOUTH LINE 420.0 FT. TO THE P.O.B.

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 36 TOWNSHIP 17 SOUTH RANGE 26 EAST MARION COUNTY, FLORIDA, RUN NORTH 89'39' 30" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 36, 330.00 FEET TO THE POINT 35'30" WEST ALONG SAID SOUTH LINE 608.15 FEET: THENCE NORTH 0017'00" EAST 716.28 FEET: THENCE SOUTH 8935'30" EAST 608.15 FEET: THENCE SOUTH 0017'00" EAST 716.28 FEET TO THE POINT OF BEGINNING.

DESCRIPTION NEW PARCEL 1:

THE EAST 1/2 OF THE FOLLOWING DESCRIBED PARCEL:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 17S, RANGE 26E., MARION COUNTY, FLORIDA, RUN THENCE N 89° 45'02" W. ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 36 330.00 FEET., THENCE N. 0007'28" E., AND PARALLEL WITH THE EAST LINE OF SAID SECTION 36, 716.28 FEET TO THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE N. 0°07'28" E. 606.56 FEET TO THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 36; THENCE N. 89'49'32" W., ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 1328.89 FEET. TO THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SOUTHEAST 1/4 OF SAID SECTION 36; THENCE S. 89'45'02" E. 1328.92 FEET TO THE POINT OF BEGINNING. TOGETHER WITH THE FOLLOWING DESCRIBED EASEMENT FOR INGRESS AND EGRESS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 17S, RANGE 26E., MARION COUNTY, FLORIDA, RUN THENCE N89'45'02"W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 36 938.15 FEET TO THE POINT OF BEGINNING, THENCE RUN THE FOLLOWING COURSES; NO0'07'28"E, 716.28 FEET; S89'45'02"E, 31.31 FEET; N00'07'33"E, 605.69 FEET; N89'49'32"W, 50.00 FEET; S00'07'33"W, 605.69 FEET; S17"14'26"E, 104.90 FEET; S00"07'28"W, 616.28 FEET; S89"45'02"E, 50.00 FEET TO THE POINT OF BEGINNING.

DESCRIPTION NEW PARCEL 2:

THE WEST 1/2 OF THE FOLLOWING DESCRIBED PARCEL:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 17S, RANGE 26E., MARION COUNTY, FLORIDA, RUN THENCE N 89° 45'02" W. ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 36 330.00 FEET., THENCE N. 00'07'28" E., AND PARALLEL WITH THE EAST LINE OF SAID SECTION 36, 716.28 FEET TO THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE N. 0'07'28" E. 606.56 FEET TO THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 36; THENCE N. 89'49'32" W., ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 1328.89 FEET. TO THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SOUTHEAST 1/4 OF SAID SECTION 36; THENCE S. 89'45'02" E. 1328.92 FEET TO THE POINT OF BEGINNING. TOGETHER WITH THE FOLLOWING DESCRIBED EASEMENT FOR INGRESS AND EGRESS

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 17S, RANGE 26E., MARION COUNTY, FLORIDA, RUN THENCE N89°45'02"W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 36 938.15 FEET TO THE POINT OF BEGINNING, THENCE RUN THE FOLLOWING COURSES; NO0"07'28"E, 716.28 FEET; S89'45'02"E, 31.31 FEET; NO0"07'33"E, 605.69 FEET; N89'49'32"W, 50.00 FEET; S00"07'33"W, 605.69 FEET: \$17"14'26"E, 104.90 FEET: \$00"07'28"W, 616.28 FEET: \$89"45'02"E, 50.00 FEET TO THE POINT OF BEGINNING.

DESCRIPTION NEW PARCEL 3:

THE EAST 1/2 OF THE FOLLOWING DESCRIBED PARCEL:

N89'45'02"W COMMENCE AT THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 17S, RANGE 26E., MARION COUNTY, FLORIDA, RUN THENCE N 89'45'02" W ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 36 938.15 FEET TO THE POINT OF BEGINNING, THENCE N. 00°07'28" E., AND PARALLEL WITH THE EAST LINE OF SAID SECTION 36, 716.28 FEET; THENCE N. 89 45 02" W. 720.78 FEET TO THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SOUTHEAST 1/4 OF SAID SECTION 36; THENCE S. 00°07'38" W. 716.28 FEET TO THE SOUTH LINE OF SAID SOUTHEAST 1/4., THENCE N 89'45'02" W. 720.80 FEET TO THE POINT OF BEGINNING,

SUBJECT TO THE FOLLOWING DESCRIBED EASEMENT FOR INGRESS AND EGRESS.

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 17S, RANGE 26E., MARION COUNTY, FLORIDA, RUN THENCE N89'45'02"W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 36 938.15 FEET TO THE POINT OF BEGINNING, THENCE RUN THE FOLLOWING COURSES; NO0°07'28"E, 716.28 FEET; S89'45'02"E, 31.31 FEET; NO0°07'33"E, 605.69 FEET; N89'49'32"W, 50.00 FEET; S00°07'33"W, 605.69 FEET; \$17"14'26"E, 104.90 FEET; \$00"07'28"W, 616.28 FEET; \$89"45"02"E, 50.00 FEET TO THE POINT OF BEGINNING.

DESCRIPTION NEW PARCEL 4:

THE WEST 1/2 OF THE FOLLOWING DESCRIBED PARCEL:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 17S, RANGE 26E., MARION COUNTY, FLORIDA, RUN THENCE N 89°45'02" W. ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 36 938.15 FEET TO THE POINT OF BEGINNING, THENCE N. 00'07'28" E., AND PARALLEL WITH THE EAST LINE OF SAID SECTION 36, 716.28 FEET; THENCE N. 89'45'02" W. 720.78 FEET TO THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SOUTHEAST 1/4 OF SAID SECTION 36; THENCE S. 00'07'38" W. 716.28 FEET TO THE SOUTH LINE

OF SAID SOUTHEAST 1/4., THENCE N 89'45'02" W. 720.80 FEET TO THE POINT OF BEGINNING.

4) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS. RIGHT DRAWN: 03/02/21 BY: SBW FILED: B065 JOB NO: 21065



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3169 Agenda Date: 5/17/2021 Agenda No.: 6.5.

SUBJECT:

ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-018 - WAIVER REQUEST OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLOCK C LOT 18 5069 SW 91ST ST OCALA

Project #2021040119 #26661 Parcel #3573-003-018 Permit #2020122792 Adams Homes of Northwest Florida

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver for a proposed single family residence (total 3,520 square feet under roof) plus a 519 square foot driveway, totaling 4,039 square feet of impervious coverage. Per the final plat calculations, the maximum per lot for Phase 1 is 3,598 square feet of impervious coverage.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	Date: 4/29/2021 Parcel Number(s): 3573-003-018 Permit Number: 2020122792
A.	PROJECT INFORMATION: Fill in below as applicable:
	Project Name: OX018C Adams Homes of Northwest Florida PID #3573-003-018 Subdivision Name (if applicable): Oaks at Ocala Crossings South Ph 1 Unit Block_C Lot_18
B.	PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:
	Property Owner's Name (print): Adams Homes of Northwest Florida, Inc.
	Property Owner's Name (print): Adams Homes of Northwest Florida, Inc. Property Owner's Signature: Property Owner'
	Property Owner's Mailing Address: 3000 Gulf Breeze Pkwy.
	City: Gulf Breeze State: FL Zip Code: 32563 Phone #352-592-7513
C.	APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.
	Firm Name (if applicable): Adams Homes of Northwest Florida Inc. Contact Name: Francine Riale
	Mailing Address: 3000 Gulf Breeze Pkwy City: Gulf Breeze State: FL Zip Code: 32563
	Phone # 352-592-7513 Alternate Phone #
	Email address: shpermits@adamshoomes.com
D.	WAIVER INFORMATION: Section & Title of Code:
	Reason/Justification for Waiver Request: 2.21.1.A - Major Site Plan
	Proposed SFR total under roof at 3520sf + concrete driveway at 519sf totals 4039sf.
	Per final plat calculations, maximum per lot for Phase 1 is 3598sf of impervious coverage.
CIDENT .	
DE	Received By: CG Date Processed: 4 30 21 Project # 2021 04 0119 AR # 26661
	NING USE: Parcel of record: Yes I No I Eligible to apply for Family Division: Yes I No I Zoned: ESOZ: P.O.M Must Vacate Plat: Yes I No I Land Use: Date: Verified by:
	Land Use: Date:Verified by:
Rev	rised 7/2017
	1 1

Empowering Marton for Success DRC 5/17/21

May 12, 2021

PROJECT NAME: ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-018 - WAIVER

REQUEST

PROJECT NUMBER: 2021040119 APPLICATION: #26661

2.21.1.A - MAJOR SITE PLAN

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: **APPROVED** defer to OCE

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: Defer to OCE-Stormwater.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: **APPROVED** with setbacks as shown on site plan.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REMARKS: APPROVED - will connect to water and sewer service as provided by Marion County

Utilities. Not in any primary springs protection zone.

5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REMARKS: N/A

6 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: APPROVED

7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REMARKS: N/A

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REMARKS: APPROVED

9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REMARKS: **CONDITIONAL APPROVAL**. Staff recommends approval subject to the following conditions: 1) a. The applicant must provide the Acknowledgement And Acceptance of Additional Stormwater letter from the Developer (O&M Entity) for the 820 sf impervious in excess of 3,600 sf on the lot., OR b. The applicant must provide on-site stormwater control for the additional runoff from the impervious areas in excess of 3,600 square feet, and a letter of no-objection from the Developer. 2) A permit/inspection hold will be in effect until a sketch of the stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that all areas disturbed by construction must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

Note: The subject parcel is a 0.21-acre parcel (PID 3573-003-018) in the Oaks at Ocala Crossings South Phase 1 subdivision (private roads and private drainage). The proposed impervious coverage is 4,420sf based on the site plan measurements. The Improvement Plans (AR# 22884) assume 3,600 sf impervious coverage per lot. Staff recommends approval with conditions.

ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-018 - WAIVER REQUEST OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLOCK C LOT 18 5069 SW 91ST ST OCALA

Project #2021040119 #26661 Parcel #3573-003-018 Permit #2020122792 ADAMS HOMES OF NORTHWEST FLORIDA



5069 SW 91ST ST OCALA Project #2021040119 #26661 Parcel #3573-003-018 Permit #2020122792 JOB # AD21-022PP ADAMS HOMES OF NORTHWEST FLORIDA PLOT PLAN FOR ADAMS HOMES **LEGAL DESCRIPTION:** (AS FURNISHED) LOT 5 BLOCK "C" LOT 18 BLOCK "C" OAKS AT OCALA CROSSINGS SOUTH PHASE ONE. AS PER PLAT S89°38'04"E 75.00 THEREOF RECORDED IN PLAT BOOK 14 PAGES 12-13 OF THE PUBLIC RECORDS LOT 18 BLOCK "C" OF MARION COUNTY, FLORIDA. Proposed 3,520 square foot home 7.50' 58.7 SPECIAL NOTE: THE ABOVE DESCRIBED APPEARS TO BE IN ZONE "X" (NOT PRONE TO FLOODING) ACCORDING TO FEMA FLOOD MAP 12083C0507D PROPOSED LOT 17 2508-3CG LOT 19 BLOCK "C" RESIDENCE BLOCK "C" V00**·**21'58"E LAND SURVEYORS LEGEND: WATER VALVE PERMANENT REFERENCE FOUND CONCRETE MONUMENT MONUMENT Proposed 519 square foot driveway POINT OF BEGINNING SET CONCRETE MONUMENT POC POINT OF COMMENCEMENT FOUND REBAR AND CAP PR0 PROPOSED O SET REBAR AND CAP RGE RANGE FOUND NAIL AND TAB RES RESIDENCE O SET NAIL AND TAB R/W RIGHT OF WAY ALMOND FLORIDA POLE WW WELL SEC SECTION ☐ WATER METER N89'38'04"W 75.00 ST SEPTIC TANK UTILITY BOX TWP TOWNSHIP POINT OF CURVATURE TYP TYPICAL PT POINT OF TANGENCY U/C UNDER CONSTRUCTION **PROFESSIONAL** SW 91ST STREET - WIRE FENCE UTILITY EASEMENT ASPH ASPHALT UDE UTILITY/DRAINAGE EASEMEN OCALA, BLK BLOCK ¢. CENTERLINE BOUNDARY BDY -GUY WIRE OR ANCHOR CONC CONCRETE DRAINAGE RETENTION AREA DRA ELEVATION EL E ELECTRIC BOX 25. FIELD MEASURED FM PERMANENT CONTROL POINT WPF WOOD PRIVACY FENCE TEMPORARY BENCHMARK OHL OVERHEAD LINES PROPOSED ELEVATION E-EXISTING ELEVATION — EASEMENT BOUNDARY NO FIELD WORK DONE TO THIS PLOT PLAN. SURVEY TO: SW 49TH COURT TOS BHAGONAS No. LS4265 THIS IS NOT A BOUNDARY SURVEY. THIS IS A PLOT PLAN BASED ON PLATTED STATE OF 01/22/2021 LOT DIMENSIONS. THIS PLOT PLAN GENERATED FOR USE SOLELY AS A VISUAL AID FOR SALES OR PERMITTING PURPOSES ONLY ANY USE OTHER THAN THAT SPECIFIED IS UNWARRANTED BY THIS COMPANY. ACTUAL LOT DIMENSIONS CAN CARLOS SILVESTRE Signature Date ONLY BE DETERMINED AFTER COMPLETION OF AN ACCURATE BOUNDARY SURVEY. PROFESSIONAL LAND SURVEYOR CONTRACTOR/BUILDER MUST DETERMINE AND COMPLY WITH ALL BUILDING STATE OF FLORIDA No. LS 4265 COPYRIGHT SETBACK REQUIREMENTS.

ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-018 - WAIVER REQUEST

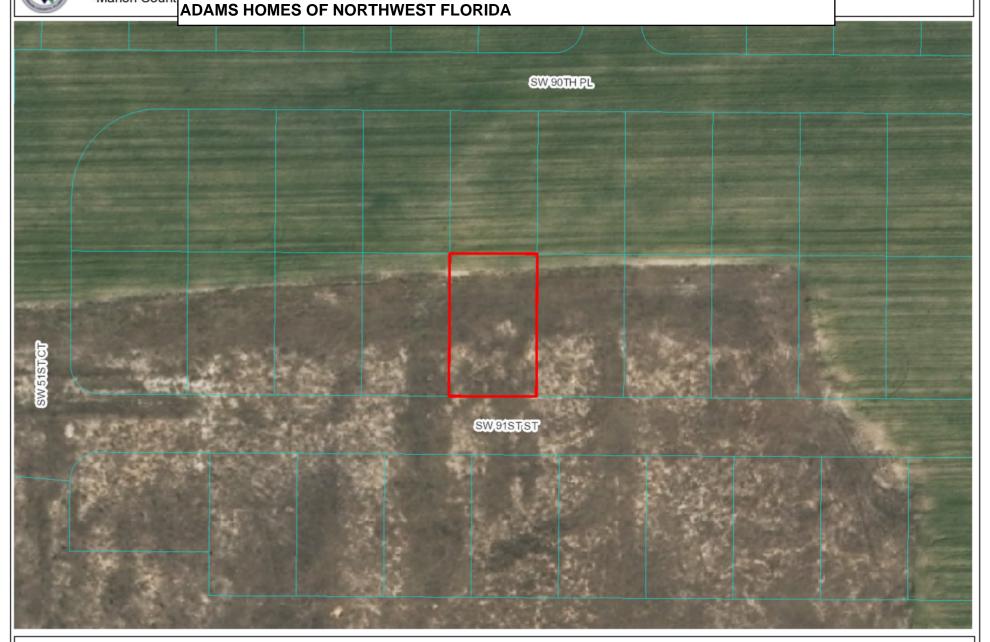
OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLOCK C LOT 18

ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-018 - WAIVER REQUEST OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLOCK C LOT 18 5069 SW 91ST ST OCALA

Jimmy H. (

Project #2021040119 #26661 Parcel #3573-003-018 Permit #2020122792

ng Application t Updated: 04/05/2021



DISCLAIMER: This is a work in progress. This application was compiled by the Marion County Property Appraiser's Office solely for the governmental purpose of property assessment. These are NOT surveys. Our goal is to provide the most accurate data available, however, no warranties, expressed or implied are provided with this data, its use, or interpretation. All information subject to change without notice. Use at your own risk.

OAKS AT OCALA CROSSINGS SOUTH PHASE ONE

PLAT BOOK <u>14</u> PAGE <u>12</u>

SHEET 1 OF 2

A PLANNED UNIT DEVELOPMENT A PORTION OF SECTIONS 21 & 22, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

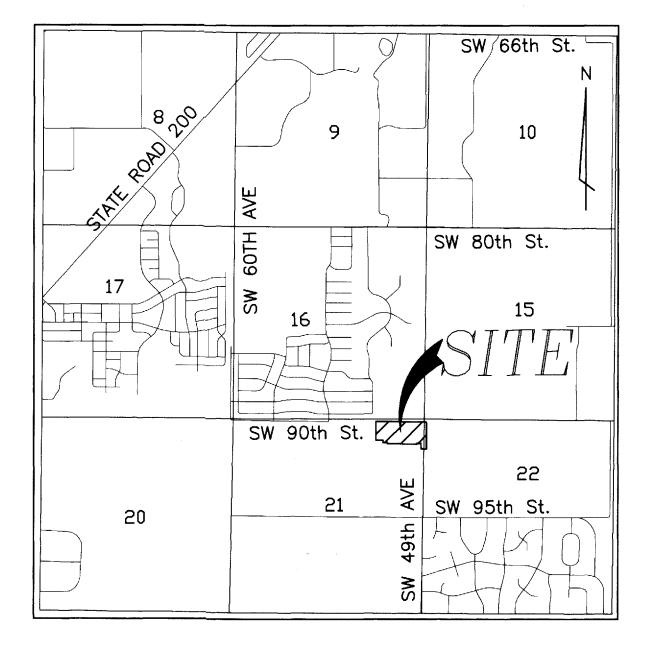
DESCRIPTION

A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST, AND A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, SAID PORTIONS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A CONCRETE MONUMENT AT THE NE CORNER OF SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE S00°29'02"W, ALONG THE EAST BOUNDARY OF SAID SECTION 21, A DISTANCE OF 40.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SW 90TH STREET AS PER RIGHT-OF-WAY DEED RECORDED IN OFFICIAL RECORDS BOOK 6558, PAGES 1743-1747 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, SAID POINT BEING ALSO THE POINT OF BEGINNING; THENCE S89°26'40"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 45.02 FEET; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, S75°08'01"E, 12.36 FEET; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, S30°09'45"E, 25.50 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SW 49TH AVENUE AS PER RIGHT-OF-WAY DEED RECORDED IN OFFICIAL RECORDS BOOK 6558, PAGES 1733-1742 OF THE PUBLIC RECORDS OF MARION COUNTY FLORIDA; THENCE SO0°29'53"W, ALONG SAID WEST RIGHT-OF-WAY LINE, 714.79 FEET; THENCE N89°38'04"W, 144.22 FEET; THENCE N00°21'56"E, 150.00 FEET; THENCE N89°38'04"W, 120.00 FEET; THENCE S00°21'56"W, 17.50 FEET; THENCE N89°38'04"W, 810.00 FEET: THENCE NO0°21'56"E, 37.50 FEET: THENCE N89°38'04"W, 120.00 FEET; THENCE N00°21'56"E, 60.00 FEET; THENCE N85°03'38"W, 50.16 FEET; THENCE N89°38'04"W, 145.83 FEET TO A POINT ON THE EASTERLY PLAT BOUNDARY OF "BRADFORD FARMS" AS RECORDED IN PLAT BOOK 7, PAGES 193-194 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE NOO°29'45"E, ALONG SAID EASTERLY PLAT BOUNDARY, 506.00 FEET TO A POINT ON THE AFORESAID SOUTH RIGHT-OF-WAY LINE OF SW 90TH STREET; THENCE S89°38'04"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 1320.62 FEET TO THE POINT OF BEGINNING.

CONTAINING 19.22 ACRES, MORE OR LESS.

8. SECTION 6.4.4.C FILE CCR 03-02-2020 9. SECTION 6.3.1.F (1) MSBU 03-02-2020



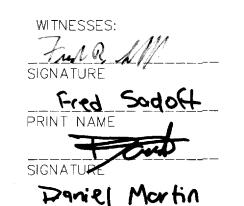
VICINITY MAP SCALE: 1" = 1/2 mile

APPROVAL OF COUNTY OFFICIALS: (DEVELOR	PMENT REVIEW COMMITTEE)
BY July Str	COUNTY ENGINEERING
BY (One Of C	COUNTY FIRE SERVICES
BY	COUNTY GROWTH SERVICES
BY - All	COUNTY SURVEYOR
BY A THE TOTAL OF THE PARTY OF	COUNTY UTILITIES
BY Mallel to	COUNTY BUILDING SAFETY

DEVELOPER'S ACKNOWLEDGMENT AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT OCALA CROSSINGS DEVELOPMENT LLC, A FLORIDA LIMITED LIABILITY COMPANY, FEE SIMPLE OWNER OF THE LAND DESCRIBED AND PLATTED HEREIN, AS OAKS AT OCALA CROSSINGS SOUTH PHASE ONE, BEING IN MARION COUNTY, HAS CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DOES HEREBY DEDICATE AS FOLLOWS: (A) ALL STREETS AND RIGHTS OF WAY SHOWN ON THIS PLAT ARE HEREBY DEDICATED PRIVATELY TO OAKS AT OCALA CROSSINGS SOUTH HOMEOWNERS ASSOCIATION, INC., ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK. (B) ALL UTILITY EASEMENTS AND UTILITY TRACTS SHOWN OR NOTED ARE DEDICATED PRIVATE FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND IRRIGATION FACILITIES AND FOR NO USE INCONSISTENT THEREWITH AND ARE FURTHER RESERVED FOR SUCH USES BY UTILITIES (MUNICIPAL AND PRIVATE) INCLUDING ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION TO WHOM RIGHTS IN SUCH EASEMENTS SHALL BE GRANTED FROM TIME TO TIME BY THE DEDICATOR OR ITS SUCCESSORS IN INTEREST (C) A INGRESS/EGRESS/UTILITY EASEMENT IS HEREBY GRANTED OVER THE PRIVATE STREETS AND RIGHTS OF WAY FOR GAS, TELEPHONE, ELECTRIC, CABLE, WATER AND SEWER. (D) ALL DRAINAGE EASEMENTS AND STORMWATER MANAGEMENT TRACTS AS SHOWN OR NOTED ARE DEDICATED PRIVATE FOR THE CONSTRUCTION AND MAINTENANCE OF SUCH FACILITIES. MARION COUNTY IS GRANTED THE RIGHT TO PERFORM EMERGENCY MAINTENANCE ON THE STORMWATER EASEMENT AND/OR MANAGEMENT TRACTS, IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK. (E) NEITHER THE EASEMENTS HEREIN GRANTED NOR THE LIMITATIONS HEREIN MADE SHALL CONSTITUTE A DEDICATION TO THE GENERAL PUBLIC OF MARION COUNTY AND THAT NO OBLIGATION IS IMPOSED UPON THE COUNTY OR ANY OTHER PUBLIC BODY FOR IMPROVEMENT OR MAINTENANCE OF THE RIGHTS OF WAY, STORM WATER DRAINAGE FACILITIES OR

IN WITNESS WHEREOF THE DEDICATOR HAS CAUSED THESE PRESENTS TO BE SIGNED ON THIS 25 DAY OF March 2020.



PRINT NAME

OCALA CROSSINGS DEVELOPMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY BY: EXECUTIVE REAL ESTATE HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY ITS MANAGER BY: S & S FISCHER HOLDINGS, L.P. A FLORIDA LIMITED LIABILITY PARTNERSHIP ITS MANAGER BY: S&S FISCHER HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY ITS MANAGER



STATE OF FLUNDA COUNTY OF Broward

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS MPHYSICAL PRESENCE [] ONLINE NOTARIZATION THIS 25 DAY OF MOVEN, 2020, BY STEVEN FISCHER, AS MANAGER OF S&S FISCHER HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ON BEHALF OF THE COMPANY.

NOTARY: CHECK ONE OF THE FOLLOWING PERSONALLY KNOWN OR PRODUCED IDENTIFICATION IDENTIFICATION PRODUCED



Daniel Mortin NOTARY PUBLIC PRINTED NAME COMMISSION NUMBER 65-961459 COMMISSION EXPIRES 02 28 2024

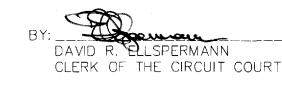
NOTES:

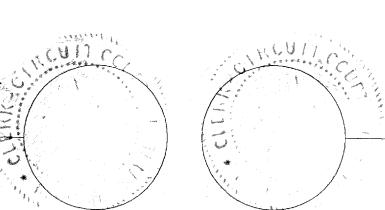
- 1. THE CURRENT FUTURE LAND USE DESIGNATION AND ZONING CLASSIFICATION FOR THE PROPERTY DESCRIBED HEREON IS MEDIUM DENSITY RESIDENTIAL AND PUD RESPECTIVELY.
- 2. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL #12083C0704E, MARION COUNTY, FLORIDA, DATED 4-19-2017, THE PROPERTY DESCRIBED HEREON LIES IN FLOOD ZONE X. THE FLOODING LIMITS HAVE BEEN IDENTIFIED HERE WITHIN AS CURRENTLY ESTABLISHED AT THE TIME OF FINAL PLAT RECORDING. ALL PERSONS WITH AN INTEREST IN THE LANDS DESCRIBED HEREON SHOULD EVALUATE CURRENT FLOODPLAIN LIMITS AS THEY MAY BE AMENDED FROM TIME TO TIME AS DETERMINED BY FEMA.
- 3. ALL LOTS/TRACTS SHALL USE THIS SUBDIVISION INTERNAL ROADWAYS FOR VEHICLE/DRIVEWAY ACCESS. DIRECT VEHICLE/DRIVEWAY ACCESS TO SW 49TH AVENUE AND SW 90TH STREET IS PROHIBITED. 4. THIS PLAT CONTAINS 55 RESIDENTIAL LOTS AND 0.52 MILES OF ROAD.
- 5. BEARINGS BASED ON GRID NORTH WITH THE NORTH BOUNDARY OF THE NE 1/4 OF
- SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST BEARING S89°38'04"E. 6. HORIZONTAL DATUM SHOWN HEREON BASED ON STATE PLANE COORDINATE SYSTEM FLORIDA WEST ZONE (902), NORTH AMERICAN DATUM 1983 DERIVED UTILIZING THE
- FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK. 7. NO LOT OR TRACT AS SHOWN ON THIS PLAT SHALL BE DIVIDED OR RESUBDIVIDED EXCEPT FOR THE SOLE PURPOSE OF PROVIDING ADDITIONAL AREA TO ADJACENT LOTS OR TRACTS OR UNTIL A REPLAT IS FILED WITH THE MARION COUNTY AND SAID REPLAT COMPLIES WITH THE PROVISIONS OF THE LAND DEVELOPMENT CODE
- 8. ALL LOT CORNERS AND PERMANENT CONTROL POINTS WILL BE SET WITHIN ONE YEAR OF THE RECORDING OF THIS PLAT, OR PRIOR TO THE EXPIRATION OF SURETY. 9. THIS PLAT IS SUPPORTED BY A BOUNDARY SURVEY BY A.M. GAUDET & ASSOCIATES
- INC. DATED FEBRUARY 4TH, 2020 OF THE HEREON DESCRIBED LANDS. 10. COVENANTS, RESTRICTIONS, AND/OR RESERVATIONS AFFECTING THE OWNERSHIP OR USE OF THE PROPERTY SHOWN ON THIS PLAT ARE SET FORTH IN THE INSTRUMENT RECORDED IN OR BOOK 7186, PAGE 1216, PUBLIC RECORDS OF MARION
- 11. THERE IS A MINIMUM 10' WIDE UTILITY AND DRAINAGE EASEMENT ADJACENT AND PARALLEL TO ALL FRONT LOT LINES AND A MINIMUM 5' WIDE UTILITY AND DRAINAGE EASEMENT ADJACENT AND PARALLEL TO ALL SIDE AND REAR LOT LINES UNLESS A DIFFERENT DIMENSION IS OTHERWISE SPECIFIED HEREON. ADDITIONALLY THERE IS A MINIMUM 10' WIDE UTILITY AND DRAINAGE EASEMENT ADJACENT TO ALL STREETS AND RIGHTS OF WAY WHERE LOTS ARE NOT PRESENT, SHOULD MULTIPLE LOTS BE UTILIZED FOR ONE BUILDING SITE, EASEMENTS ALONG COMMON LOT LINES SHALL BE REMOVED
- UNLESS EXISTING DRAINAGE OR UTILITIES EXIST THEREIN. 12. TRACTS B & C ARE FOR LANDSCAPING AND SIGN USE AND INCLUDES A BLANKET UTILITY AND DRAINAGE EASEMENT, BUT ARE NOT DEDICATED FOR, OR LIMITED TO, SUCH
- 13. TRACT A & D ARE DESIGNATED FOR DRAINAGE RETENTION AND INCLUDE A BLANKET
- UTILITY AND DRAINAGE EASEMENT. 14. ALL DISTANCES SHOWN ON THIS PLAT ARE GROUND DISTANCES.
- 15. THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITIES CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTIES ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO. BUILDING PERMIT REVIEW.
- 16. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY FLORIDA AS A CONDITION JE PRECEDENT TO THE APPROVAL AND ACCEPTANCE OF THIS PLAT FOR RECORDING THE PUBLIC RECORDS, DOES HEREBY NOTIFY ALL PRESENT AND FUTURE OWNERS OF THE PROPERTY DESCRIBED HEREON THAT THE LANDS INCLUDED IN THIS PLAT ARE SUBJECT TO SPECIAL ASSESSMENTS AS MAY BE PERMITTED BY LAW TO FINANCE COSTS INCURRED IN CONNECTION WITH THE MAINTENANCE, OPERATION, AND CONSTRUCTION OF INFRASTRUCTURE AS DETERMINED NECESSARY IN THE OPINION OF SAID BOARD OR OTHER GOVERNING BODY HAVING JURISDICTION
- 17. SIGHT TRIANGLE NOTE: NO FENCE, WALL, HEDGE, SHRUB, STRUCTURE OR OTHER OBSTRUCTION TO VISION, BETWEEN A HEIGHT OF TWO AND ONE-HALF FEET AND EIGHT FEET ABOVE THE CENTER LINE GRADES OF INTERSECTING STREETS SHALL BE ERECTED, PLACED OR MAINTAINED WITHIN THE TRIANGLE FORMED BY THE TANGENTS AND THE
- CHORD CONNECTING THE BEGINNING AND THE END OF A 25' RIGHT OF WAY CURVE. 18. DEVELOPMENT AGREEMENTS FOR THIS SUBDIVISION ARE RECORDED IN OFFICIAL RECORDS
- BOOK 6144, PAGE 300, PUBLIC RECORD OF MARION COUNTY FLORIDA.
- 19. A 10' WIDE LANDSCAPE BUFFER EXISTS ALONG THE WEST BOUNDARY AND A 15' LANDSCAPE BUFFER EXIST ALONG THE NORTH BOUNDARY OF THIS SUBDIVISION.
- 20. RECORDED NOTICE OF ENVIRONMENTAL RESOURCE PERMIT RECORDED IN OFFICIAL RECORDS BOOK 7071, PAGE 1849 PUBLIC RECORDS OF MARION COUNTY, FLORIDA SPECIFICALLY STATES THAT "THIS NOTICE IS NOT AN ENCUMBRANCE"
- ·21. TRACTS A,B,C,D, AND AREAS DESIGNATED AS "LANDSCAPE BUFFER" AND "LANDSCAPE EASEMENT" DEPICTED HEREON ARE DESIGNATED AS MARION FRIENDLY LANDSCAPE AREAS AS IDENTIFIED ON THE IMPROVEMENT PLANS, AS APPROVED BY MARION COUNTY FOR DEVELOPMENT OF THIS SUBDIVISION. MARION FRIENDLY LANDSCAPE AREAS ARE DEFINED AS THAT PORTION OF A NEW OR EXPANDED DEVELOPMENT THAT THROUGH THE APPROVED DEVELOPMENT PLANS, DOCUMENTS, AND DEED RESTRICTIONS, IS IDENTIFIED TO BE MAINTAINED AS MARION FRIENDLY LANDSCAPING AND WHERE THE USE OF HIGH VOLUME IRRIGATION, NON-DROUGHT TOLERANT PLANTS, AND LAWN CHEMICALS
- (FERTILIZER AND PESTICIDES) ON TURFGRASS IS PROHIBITED.
 THIS PLAT IS SUBJECT TO AN ORDINANCE ESTABLISHING OAKS AT OCALA CROSSINGS SOUTH PHASE ONE TO A MUNICIPAL SERVICE BENEFIT UNIT IMPROVEMENT AREA.
- 23. ACKNOWLEDGEMENT OF CONTIGUOUS SUSTAINABLE AGRICULTURAL LAND. THE DEVELOPER, SUCCESSORS, AND ASSIGNS, HEREBY ACKNOWLEDGE AND UNDERSTAND THE SUBDIVISION HEREIN DESCRIBED AND ESTABLISHED IS CONTIGUOUS TO SUSTAINABLE AGRICULTURAL LAND AS SHOWN ON THIS PLAT. IT IS ACKNOWLEDGED AND UNDERSTOOD BY THE PARTIES THAT THE FARM OPERATIONS ON THE CONTIGUOUS SUSTAINABLE AGRICULTURAL LAND IDENTIFIED HEREIN MAY BE CONDUCTED ACCORDING TO GENERALLY ACCEPTED AGRICULTURAL PRACTICES AS PROVIDED IN THE FLORIDA RIGHT TO FARM ACT, SECTION 823.14, FLORIDA STATUTES.

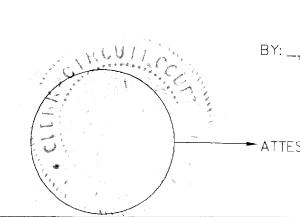


CLERK'S CERTIFICATE:

, CLERK OF CIRCUIT COURT OF MARION COUNTY, FLORIDA, DO HEREBY ACCEPT THIS PLAT of oaks at ocala crossings south phase one for recording. This plat filed for record this 5^{+-} day of May , 2020, at / : 25 PM and recorded on page /2 of plat book /4 in the office of the clerk of the CIRCUIT COURT OF MARION COUNTY, FLORIDA.



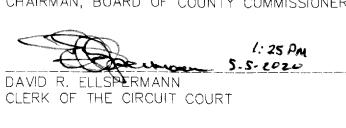


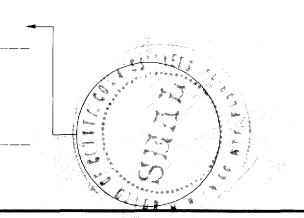


APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA. CHAIRMAN, BOARD OF COUNTY COMMISSIONERS

CERTIFICATE OF APPROVAL BY BOARD OF COUNTY COMMISSIONERS

THIS IS TO CERTIFY THAT ON THE $\frac{5}{2}$ day of $\frac{MA}{2}$, 2020 the foregoing plat was





SURVEYOR'S CERTIFICATE:

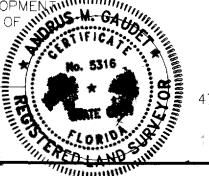
ADJACENT PARCELS

PROJECT SURVEYOR

I CERTIFY THIS PLAT OF OAKS AT OCALA CROSSINGS SOUTH PHASE ONE, PREPARED UNDER MY DIRECTION AND SUPERVISION, COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177. FLORIDA STATUTES, THAT THE PERMANENT REFERENCE MONUMENTS AS SHOWN HEREON WERE IN PLACE ON THE 4TH DAY OF FEBRUARY, 2020, THAT THE BOUNDARY SURVEY WHICH SUPPORTS THIS PLAT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE, AND THAT THIS PLAT DOES NOT ADVERSELY AFFECT THE LEGAL ACCESS OF

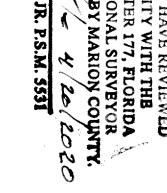
IDRUS M. GAUDET – P.S.M. #5316

A.M. GAUDET & ASSOCIATES INC. L.B. #7158



PREPARED BY A.M. GAUDET & ASSOCIATES INC. LAND SURVEYING - LAND PLANNING

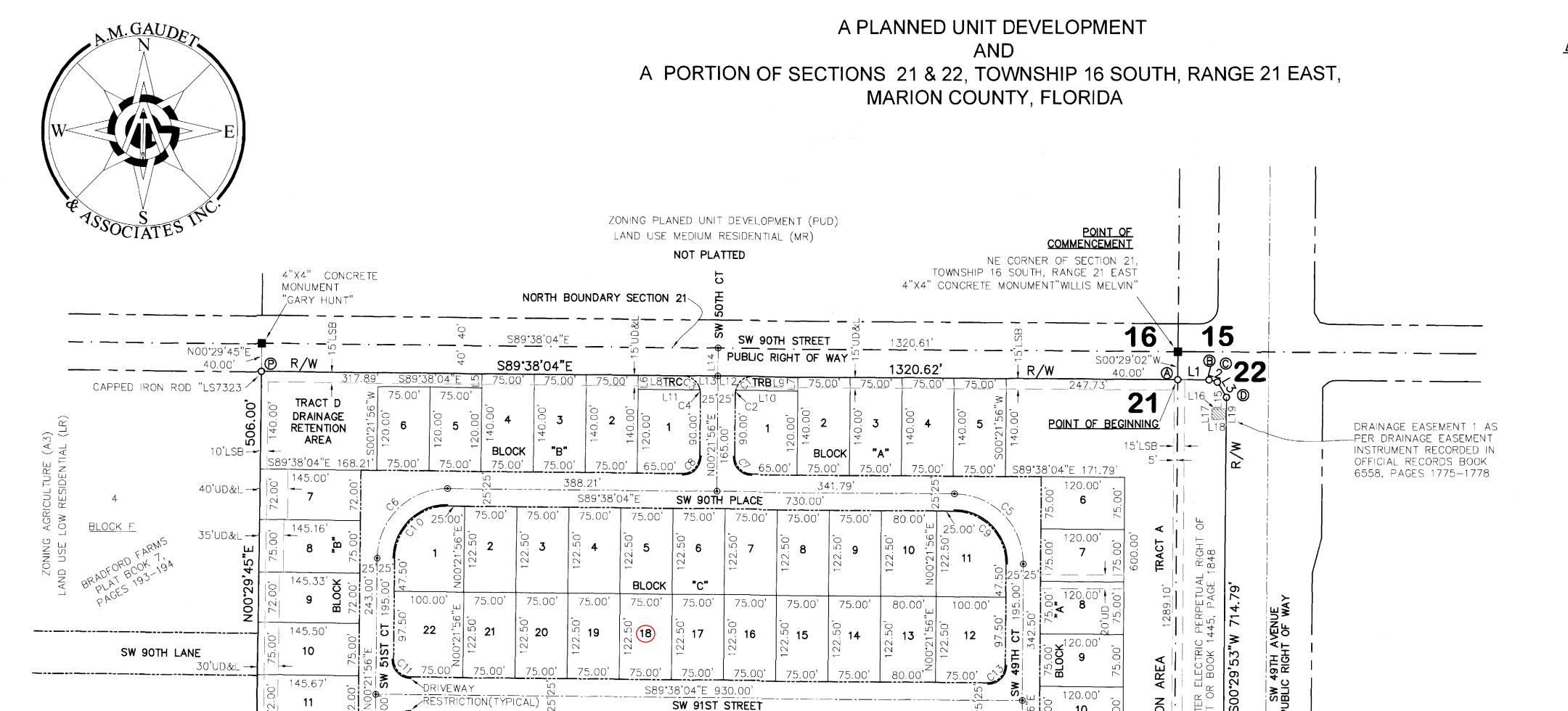
709 SE 102nd PLACE, SUITE 3, BELLEVIEW, FLORIDA 34420 PHONE: (352) 245-2708 FAX: (352) 245-2883



OAKS AT OCALA CROSSINGS SOUTH PHASE ONE

PLAT BOOK <u>14</u> PAGE <u>13</u>

SHEET 2 OF 2



N89'38'04"W 810.00'

NOT PLATTED

LAND USE MEDIUM RESIDENTIAL (MR)

\$89°37'47"E 1320.89'

ZONING PLANED UNIT DEVELOPMENT (PUD)

SUSTAINABLE AGRICULTURAL LAND - SEE ADVISORY NOTICE 23 ON SHEET ONE OF THIS PLAT.

LEGEND:

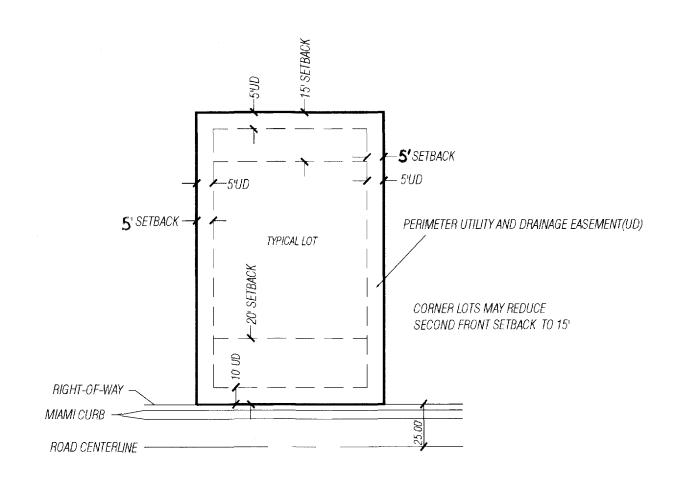
- = FOUND 4"x 4" CONCRETE MONUMENT AS NOTED
- = SET NAIL WITH DISK "LS 5316 PCP" UNLESS OTHERWISE NOTED
- O = SET 5/8" IRON ROD WITH CAP "LS 5316 PRM" UNLESS OTHERWISE NOTED

UD&L = UTILITY, DRAINAGE AND LANDSCAPE EASEMENT.

UD = UTILITY AND DRAINAGE EASEMENT. LSB = LANDSCAPE BUFFER - SEE NOTE 19

TR = TRACT

R/W = RIGHT OF WAY



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C1	34.23	25.00	78°27'13"	20.41	S51°08'19"W	31.62
C2	5.04	25.00	11°32'47"	2.53	S06°08'19"W	5.03
C3	34.23	25.00	78°27'13"	20.41	N50°24'28"W	31.62
C4	5.04	25.00	11°32'47"	2.53	N05°24'28"W	5.03
C5	157.08	100.00	90°00'00"	100.00	N44°38'04"W	141.42
C6	157.08	100.00	90°00'00"	100.00	S45°21'56"W	141.42
C7	39.27	25.00	90°00'00"	25.00	S44°38'04"E	35.36
C8	39.27	25.00	90°00'00"	25.00	N45°21'56"E	35.36
C9	117.81	75.00	90°00'00"	75.00	N44°38'04"W	106.07
C10	117.81	75.00	90°00'00"	75.00	S45°21'56"W	106.07
C11	39.27	25.00	90,00,00,,	25.00	S44°38'04"E	35.36
C12	39.27	25.00	90°00'00"	25.00	S45°21'56"W	35.36
C13	39.27	25.00	90°00'00"	25.00	N45°21'56"E	35.36
C14	39.27	25.00	90°00'00"	25.00	N44°38'04"W	35.36

E		521111110
L1	45.02	S89°26'40"E
L2	12.36	S75°08'01"E
L3	25.50	S30°09'45"E
L4	50.16	N85°03'38"W
L5	20.00	S00°21'56"W
L6	20.00	S00°21'56"W
L7	20.00	S00°21'56"W
L8	65.00	N89 ° 38'04"W
L9	65.00	N89°38'04"W
L10	89.49	S89°38'04"E
L11	89.49	S89°38'04"E
L12	50.00	N89°38'04"W
L13	50.00	N89°38'04"W
L14	40.00	S00°21'56"W
L15	16.70	S00°29'53"W
L16	20.50	N89°30'07"W
L17	15.01	S00'29'53"W
L18	20.50	S89°30'07"E
L19	15.00	N00°29'53"E

LINE TABLE

LENGTH BEARING

STATE PLANE COORDINATES				
POINT	NORTHING	EASTING	SCALE FACTOR	
A	1729737.47	591636.22	0.999945949	
₿	1729737.03	591681.23	0.999945942	
0	1729733.85	591693.17	0.999945940	
0	1729711.81	591705.98	0.999945938	
Ē	1728997.08	591699.69	0.999945939	
Ð	1728998.02	591555.49	0.999945961	
©	1729148.01	591556.46	0.999945960	
(1)	1729148.78	591436.47	0.999945978	
0	1729131.29	591436.36	0.999945978	
0	1729136.54	590626.42	0.999946099	
®	1729174.03	590626.66	0.999946099	
Q	1729174.81	590506.67	0.999946117	
W	1729234.81	590507.06	0.999946117	
Ø	1729239.13	590457.09	0.999946125	
0	1729240.08	590311.27	0.999946147	
Ø	1729746.03	590315.70	0.999946146	

PREPARED BY A.M. GAUDET & ASSOCIATES INC. LAND SURVEYING - LAND PLANNING 4709 SE 102ND PLACE SUITE 3 BELLEVIEW, FLORIDA 34420 PHONE: (352) 245-2708 FAX: (352) 245-2883

(IN FEET) 1 inch = 100 ft.

4"X4" CONCRETE MONUMENT PRM LB 4074

17.50

60' | 65'

144.22

4"X4" CONCRETE MONUMENT

PRM LB 4074

GRAPHIC SCALE

N89°38'04"W (N) L4

N00°21'56"É 60.00'

37.50'

BLOCK C



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3170 **Agenda Date: 5/17/2021** Agenda No.: 6.6.

SUBJECT:

ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-022 - WAIVER REQUEST OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLK C LOT 22 **5141 SW 91ST ST OCALA**

Project #2021040120 #26663 Parcel #3573-003-022 Permit #2021021920 Adams Homes of Northwest Florida

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver for a proposed single family residence (total 3,520 square feet under roof) plus a 519 square foot driveway, totaling 4,039 square feet of impervious coverage. Per the final plat calculations, the maximum per lot for Phase 1 is 3,598 square feet of impervious coverage.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave, Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	- 4/20/2021 ·
	Date: 4/29/2021 Parcel Number(s): 3573-003-022 Permit Number: 2021021920
A.	PROJECT INFORMATION: Fill in below as applicable:
	Project Name: OXO22C Adams Homes of Northwest Florida PD Commercial or Residential Subdivision Name (if applicable): Oaks at Ocala Crossings South Ph 1 UnitBlock_CLot_22
B.	PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:
	Property Owner's Name (print): Adams Homes of Northwest Florida, Inc. Property Owner's Signature: Property Owner's Mailing Address: 3000 Gulf Breeze Pkwy.
	Property Owner's Signature: 1000 Gulf Prooze Physic
	City: Gulf Breeze State: FL Zip Code: 32563 Phone #352-592-7513
	Ony Diate Dip Code Dip Code I Holle # 002-002 1010
C.	APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.
	Firm Name (if applicable): Adams Homes of Northwest Florida Inc. Contact Name: Francine Riale
	Mailing Address: 3000 Gulf Breeze Pkwy City: Gulf Breeze State: FL Zip Code: 32563
	Mailing Address: 3000 Gulf Breeze Pkwy City: Gulf Breeze State: FL Zip Code: 32563 Phone #352-592-7513 Alternate Phone #
	Email address: shpermits@adamshoomes.com
ID.	WAIVER INFORMATION:
D,	Section & Title of Code:
	Reason/Justification for Waiver Request: 2.21.1.A - Major Site Plan
	(Proposed SFR total under roof at 3520sf + concrete driveway at 519sf totals 4039sf.
	Per final plat calculations, maximum per lot for Phase 1 is 3598sf of impervious coverage.
	VELOPMENT REVIEW USE: Received By: CG Date Processed: 4/30/21 Project # 2021040120 AR # 26663
	Acceived by. CQ Date Processed: 1130[2] Project # 2021 040 [20] AR # 26663
ZO	NING USE: Parcel of record: Yes \(\Delta \) No \(\Delta \) Zoned: ESOZ: P.O.M Must Vacate Plat: Yes \(\Delta \) No \(\Delta \)
	Zoned: ESOZ: P.O.M Must Vacate Plat: Yes \(\sigma\) No \(\sigma\) Land Use: Date: Verified by:
	sed 7/2017
	:000 -1-1
	Empowering Marion for Success DRC 5 17 21

107

May 12, 2021

PROJECT NAME: ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-022 - WAIVER

REQUEST

PROJECT NUMBER: 2021040120 APPLICATION: #26663

2.21.1.A - MAJOR SITE PLAN

DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: APPROVED defer to OCE

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: Defer to OCE-Stormwater.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: **APPROVED** with setbacks as shown on site plan.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REMARKS: APPROVED - will connect to water and sewer service as provided by Marion County

Utilities. Not in any primary springs protection zone.

5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REMARKS: N/A

5 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: APPROVED

7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REMARKS: N/A

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

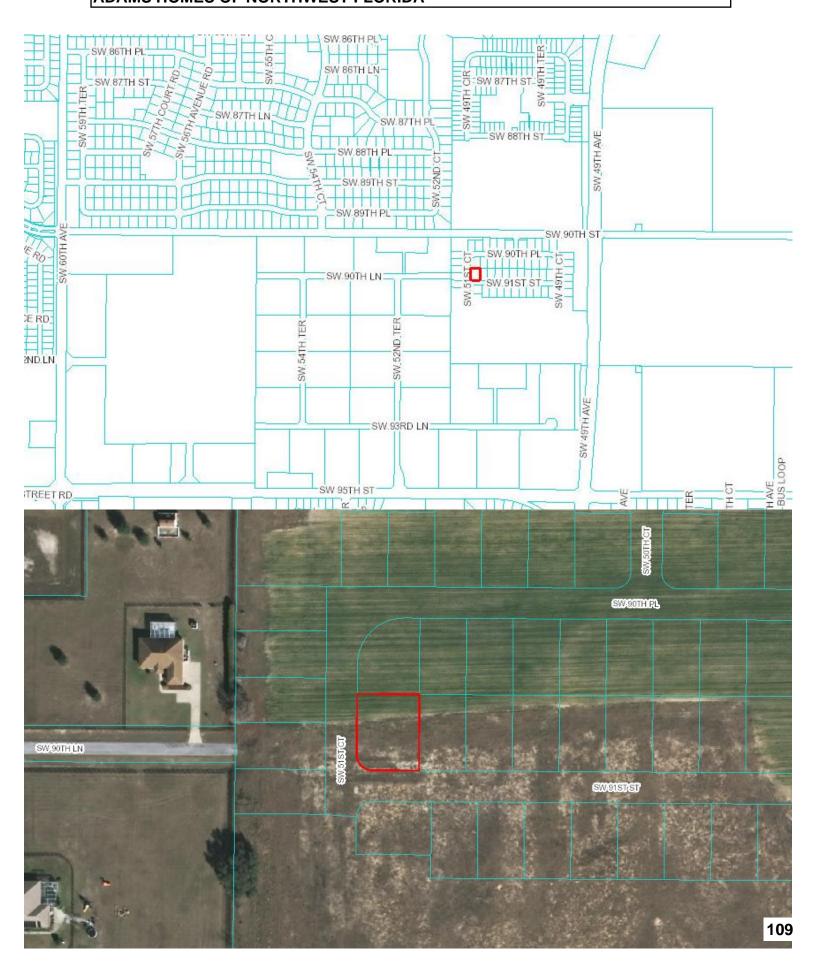
REMARKS: APPROVED

9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REMARKS: **CONDITIONAL APPROVAL**. Staff recommends approval subject to the following conditions: 1) a. The applicant must provide the Acknowledgement And Acceptance of Additional Stormwater letter from the Developer (O&M Entity) for the 883 sf impervious in excess of 3,600 sf on the lot., OR b. The applicant must provide on-site stormwater control for the additional runoff from the impervious areas in excess of 3,600 square feet, and a letter of no-objection from the Developer. 2) A permit/inspection hold will be in effect until a sketch of the stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that all areas disturbed by construction must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

Note: The subject parcel is a 0.28-acre parcel (PID 3573-003-022) in the Oaks at Ocala Crossings South Phase 1 subdivision (private roads and private drainage). The proposed impervious coverage is 4,480sf based on the site plan measurements. The Improvement Plans (AR# 22884) assume 3,600 sf impervious coverage per lot. Staff recommends approval with conditions.

ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-022 - WAIVER REQUEST OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLK C LOT 22 Project #2021040120 #26663 Parcel #3573-003-022 Permit #2021021920 ADAMS HOMES OF NORTHWEST FLORIDA



OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLK C LOT 22 Parcel #3573-003-022 Permit #2021021920 Project #2021040120 #26663 JOB # AD21-040PP PLOT PLAN FOR ADAMS HOMES OF NORTHWEST FLORIDA ADAMS HOMES BLOCK "C" **LEGAL DESCRIPTION:** (AS FURNISHED) BLOCK "C" LOT 22 BLOCK "C" OAKS AT OCALA CROSSINGS SOUTH PHASE ONE. AS PER PLAT N89°38'04"W 100.00' THEREOF RECORDED IN PLAT BOOK 14 PAGES 12-13 OF THE PUBLIC RECORDS 50 LOT 22 OF MARION COUNTY, BLOCK Proposed 3,520 square foot home **N** FLORIDA. 9 33.33 8.00' 58.7 SPECIAL NOTE: THE ABOVE DESCRIBED APPEARS TO BE IN ZONE "X" (NOT PRONE TO FLOODING) ACCORDING TO FEMA FLOOD MAP 12083C0507D COUR **PROPOSED** BLOCK "C" 2508-3CG LOT 20 RESIDENCE BLOCK "C" ST ,26, 51 500.21 SW Proposed 519 square foot driveway 💢 FIRE HYDRANT SURVEYORS LEGEND: WATER VALVE PERMANENT REFERENCE 32.00' MONUMENT FOUND CONCRETE MONUMENT POINT OF BEGINNING SET CONCRETE MONUMENT POC POINT OF COMMENCEMENT FOUND REBAR AND CAP PR0 PROPOSED (O) SET REBAR AND CAP RGE RANGE FOUND NAIL AND TAB RES RESIDENCE O SET NAIL AND TAB R/W RIGHT OF WAY LAND POLE WW WELL ALMOND FLORIDA SEC SECTION □ WATER METER \$89*38'04"E ST SEPTIC TANK 75.00 ☐ UTILITY BOX TWP TOWNSHIP POINT OF CURVATURE TYP TYPICAL POINT OF TANGENCY U/C UNDER CONSTRUCTION **PROFESSIONAL** — WIRE FENCE UTILITY EASEMENT SW 91ST STREET ASPH ASPHALT UTILITY/DRAINAGE EASEMEN BLK BLOCK CENTERI INF BOUNDARY BDY -GUY WIRE OR ANCHOR CONC CONCRETE DRAINAGE RETENTION AREA DRA ELEVATION E ELECTRIC BOX FIELD MEASURED PERMANENT CONTROL POINT WPF WOOD PRIVACY FENCE TEMPORARY BENCHMARK OHL OVERHEAD LINES PROPOSED ELEVATION E-EXISTING ELEVATION - EASEMENT BOUNDARY NO FIELD WORK DONE TO SUPPORT THIS PLOT PLAN. SURVEY DATE SHOWN ABOVE IS DATE DRAWING WAS GENERATED. THIS IS NOT A BOUNDARY SURVEY. THIS IS A PLOT PLAN BASED ON PLATTED LOT DIMENSIONS. THIS PLOT PLAN GENERATED FOR USE SOLELY AS A VISUAL AID FOR SALES OR PERMITTING PURPOSES ONLY ANY USE OTHER THAN THAT SPECIFIED IS UNWARRANTED BY THIS COMPANY. ACTUAL LOT DIMENSIONS CAN CARLOS SILVESTRE JR. Signature Date ONLY BE DETERMINED AFTER COMPLETION OF AN ACCURATE BOUNDARY SURVEY. PROFESSIONAL LAND SURVEYOR CONTRACTOR/BUILDER MUST DETERMINE AND COMPLY WITH ALL BUILDING STATE OF FLORIDA No. LS 4265 COPYRIGHT (C) SETRACK REQUIREMENTS

ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-022 - WAIVER REQUEST



ADAMS HOMES OF NORTHWEST FLORIDA PID #3573-003-022 - WAIVER REQUEST OAKS AT OCALA CROSSINGS SOUTH PHASE ONE BLK C LOT 22

Jimm Project #2021040120 #26663 Parcel #3573-003-022 Permit #2021021920 |
| Marion | ADAMS HOMES OF NORTHWEST FLORIDA

Mapping Application Last Updated: 04/05/2021



DISCLAIMER: This is a work in progress. This application was compiled by the Marion County Property Appraiser's Office solely for the governmental purpose of property assessment. These are NOT surveys. Our goal is to provide the most accurate data available, however, no warranties, expressed or implied are provided with this data, its use, or interpretation. All information subject to change without notice. Use at your own risk.

OAKS AT OCALA CROSSINGS SOUTH PHASE ONE

PLAT BOOK <u>14</u> PAGE <u>12</u>

SHEET 1 OF 2

A PLANNED UNIT DEVELOPMENT A PORTION OF SECTIONS 21 & 22, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

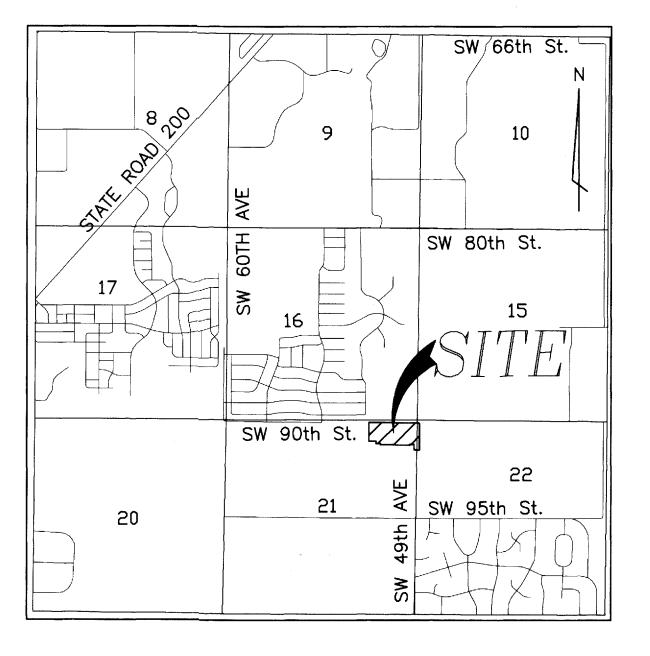
DESCRIPTION

A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST, AND A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SECTION 22, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, SAID PORTIONS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A CONCRETE MONUMENT AT THE NE CORNER OF SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE S00°29'02"W, ALONG THE EAST BOUNDARY OF SAID SECTION 21, A DISTANCE OF 40.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SW 90TH STREET AS PER RIGHT-OF-WAY DEED RECORDED IN OFFICIAL RECORDS BOOK 6558, PAGES 1743-1747 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA, SAID POINT BEING ALSO THE POINT OF BEGINNING; THENCE S89°26'40"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 45.02 FEET; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, S75°08'01"E, 12.36 FEET; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE, S30'09'45"E, 25.50 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF SW 49TH AVENUE AS PER RIGHT-OF-WAY DEED RECORDED IN OFFICIAL RECORDS BOOK 6558, PAGES 1733-1742 OF THE PUBLIC RECORDS OF MARION COUNTY FLORIDA; THENCE SO0°29'53"W, ALONG SAID WEST RIGHT-OF-WAY LINE, 714.79 FEET; THENCE N89°38'04"W, 144.22 FEET; THENCE N00°21'56"E, 150.00 FEET; THENCE N89°38'04"W, 120.00 FEET; THENCE S00°21'56"W, 17.50 FEET; THENCE N89°38'04"W, 810.00 FEET: THENCE NO0°21'56"E, 37.50 FEET: THENCE N89°38'04"W, 120.00 FEET; THENCE N00°21'56"E, 60.00 FEET; THENCE N85°03'38"W, 50.16 FEET; THENCE N89°38'04"W, 145.83 FEET TO A POINT ON THE EASTERLY PLAT BOUNDARY OF "BRADFORD FARMS" AS RECORDED IN PLAT BOOK 7, PAGES 193-194 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE NOO'29'45"E, ALONG SAID EASTERLY PLAT BOUNDARY, 506.00 FEET TO A POINT ON THE AFORESAID SOUTH RIGHT-OF-WAY LINE OF SW 90TH STREET; THENCE S89°38'04"E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 1320.62 FEET TO THE POINT OF BEGINNING.

CONTAINING 19.22 ACRES, MORE OR LESS.

1. 2. 3. 4. 5. 6. 7.	SECTION SECTION SECTION	6.11.4 6.12.9.k 2.12.8 6.13.3.D (1) 6.12.8 6.12.8 6.4.4.C	TRAFFIC ANALYSIS ACCESS MANAGEMENT CENTERLINE RADII OFFSITE IMPROVEMENT PLAN DRA SIDE SLOPE AND BERM WIDTH SOIL DATA SOIL DATA FILE CCR	DATE APPROVED: 09-10-2018 09-10-2018 09-10-2018 06-03-2019 06-03-2019 06-03-2019 06-17-2019 03-02-2020
9.	SECTION	6.3.1.F (1)	MSBU	03-02-2020



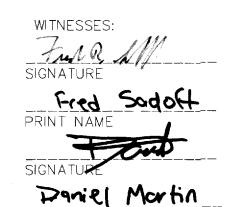
VICINITY MAP SCALE: 1" = 1/2 mile

APPROVAL OF COUNTY OFFICIALS: (DEVELOR	PMENT REVIEW COMMITTEE)
BY July Str	COUNTY ENGINEERING
BY Check of Co	COUNTY FIRE SERVICES
BY	COUNTY GROWTH SERVICES
BY	COUNTY SURVEYOR
BY A THE TOTAL OF THE PARTY OF	COUNTY UTILITIES
BY Malley Far	COUNTY BUILDING SAFETY

DEVELOPER'S ACKNOWLEDGMENT AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT OCALA CROSSINGS DEVELOPMENT LLC, A FLORIDA LIMITED LIABILITY COMPANY, FEE SIMPLE OWNER OF THE LAND DESCRIBED AND PLATTED HEREIN, AS OAKS AT OCALA CROSSINGS SOUTH PHASE ONE, BEING IN MARION COUNTY, HAS CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DOES HEREBY DEDICATE AS FOLLOWS: (A) ALL STREETS AND RIGHTS OF WAY SHOWN ON THIS PLAT ARE HEREBY DEDICATED PRIVATELY TO OAKS AT OCALA CROSSINGS SOUTH HOMEOWNERS ASSOCIATION, INC., ALL PUBLIC AUTHORITIES AND THEIR PERSONNEL PROVIDING SERVICES TO THE SUBDIVISION ARE GRANTED AN EASEMENT FOR ACCESS. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA, SHALL HAVE NO RESPONSIBILITY, DUTY, OR LIABILITY WHATSOEVER REGARDING SUCH STREETS. MARION COUNTY IS GRANTED AN EASEMENT FOR EMERGENCY MAINTENANCE IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK. (B) ALL UTILITY EASEMENTS AND UTILITY TRACTS SHOWN OR NOTED ARE DEDICATED PRIVATE FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND IRRIGATION FACILITIES AND FOR NO USE INCONSISTENT THEREWITH AND ARE FURTHER RESERVED FOR SUCH USES BY UTILITIES (MUNICIPAL AND PRIVATE) INCLUDING ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION TO WHOM RIGHTS IN SUCH EASEMENTS SHALL BE GRANTED FROM TIME TO TIME BY THE DEDICATOR OR ITS SUCCESSORS IN INTEREST (C) A INGRESS/EGRESS/UTILITY EASEMENT IS HEREBY GRANTED OVER THE PRIVATE STREETS AND RIGHTS OF WAY FOR GAS, TELEPHONE, ELECTRIC, CABLE, WATER AND SEWER. (D) ALL DRAINAGE EASEMENTS AND STORMWATER MANAGEMENT TRACTS AS SHOWN OR NOTED ARE DEDICATED PRIVATE FOR THE CONSTRUCTION AND MAINTENANCE OF SUCH FACILITIES. MARION COUNTY IS GRANTED THE RIGHT TO PERFORM EMERGENCY MAINTENANCE ON THE STORMWATER EASEMENT AND/OR MANAGEMENT TRACTS, IN THE EVENT OF A LOCAL, STATE, OR FEDERAL STATE OF EMERGENCY WHEREIN THE DECLARATION INCLUDES THIS SUBDIVISION OR AN EMERGENCY WHEREIN THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC IS DEEMED TO BE AT RISK. (E) NEITHER THE EASEMENTS HEREIN GRANTED NOR THE LIMITATIONS HEREIN MADE SHALL CONSTITUTE A DEDICATION TO THE GENERAL PUBLIC OF MARION COUNTY AND THAT NO OBLIGATION IS IMPOSED UPON THE COUNTY OR ANY OTHER PUBLIC BODY FOR IMPROVEMENT OR MAINTENANCE OF THE RIGHTS OF WAY, STORM WATER DRAINAGE FACILITIES OR

IN WITNESS WHEREOF THE DEDICATOR HAS CAUSED THESE PRESENTS TO BE SIGNED ON THIS 25 DAY OF March 2020.



PRINT NAME

OCALA CROSSINGS DEVELOPMENT, LLC, A FLORIDA LIMITED LIABILITY COMPANY BY: EXECUTIVE REAL ESTATE HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY ITS MANAGER BY: S & S FISCHER HOLDINGS, L.P. A FLORIDA LIMITED LIABILITY PARTNERSHIP ITS MANAGER BY: S&S FISCHER HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY ITS MANAGER



STATE OF FLUNDA COUNTY OF Broward

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS MPHYSICAL PRESENCE [] ONLINE NOTARIZATION THIS 25 DAY OF MOVEN, 2020, BY STEVEN FISCHER, AS MANAGER OF S&S FISCHER HOLDINGS, LLC, A FLORIDA LIMITED LIABILITY COMPANY, ON BEHALF OF THE COMPANY.

NOTARY: CHECK ONE OF THE FOLLOWING PERSONALLY KNOWN OR PRODUCED IDENTIFICATION IDENTIFICATION PRODUCED

Daniel Alejandro Martin Comm. # G G 961459 Expires: Feb. 28, 2024 Bonded Thru Aaron Notary

NOTARY SEAL/STAMP

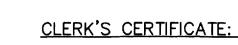




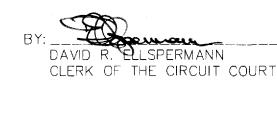
NOTARY PUBLIC PRINTED NAME COMMISSION NUMBER 66-961459 COMMISSION EXPIRES 02 28 2024

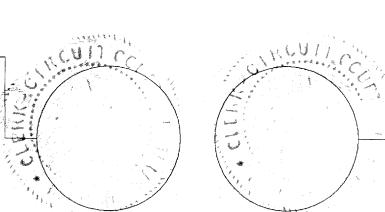
NOTES:

- 1. THE CURRENT FUTURE LAND USE DESIGNATION AND ZONING CLASSIFICATION FOR THE PROPERTY DESCRIBED HEREON IS MEDIUM DENSITY RESIDENTIAL AND PUD RESPECTIVELY.
- 2. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL #12083C0704E, MARION COUNTY, FLORIDA, DATED 4-19-2017, THE PROPERTY DESCRIBED HEREON LIES IN FLOOD ZONE X. THE FLOODING LIMITS HAVE BEEN IDENTIFIED HERE WITHIN AS CURRENTLY ESTABLISHED AT THE TIME OF FINAL PLAT RECORDING. ALL PERSONS WITH AN INTEREST IN THE LANDS DESCRIBED HEREON SHOULD EVALUATE CURRENT FLOODPLAIN LIMITS AS THEY MAY BE AMENDED FROM TIME TO TIME AS DETERMINED BY FEMA.
- 3. ALL LOTS/TRACTS SHALL USE THIS SUBDIVISION INTERNAL ROADWAYS FOR VEHICLE/DRIVEWAY ACCESS. DIRECT VEHICLE/DRIVEWAY ACCESS TO SW 49TH AVENUE AND SW 90TH STREET IS PROHIBITED. 4. THIS PLAT CONTAINS 55 RESIDENTIAL LOTS AND 0.52 MILES OF ROAD.
- 5. BEARINGS BASED ON GRID NORTH WITH THE NORTH BOUNDARY OF THE NE 1/4 OF SECTION 21, TOWNSHIP 16 SOUTH, RANGE 21 EAST BEARING S89'38'04"E.
- 6. HORIZONTAL DATUM SHOWN HEREON BASED ON STATE PLANE COORDINATE SYSTEM FLORIDA WEST ZONE (902), NORTH AMERICAN DATUM 1983 DERIVED UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK.
- 7. NO LOT OR TRACT AS SHOWN ON THIS PLAT SHALL BE DIVIDED OR RESUBDIVIDED EXCEPT FOR THE SOLE PURPOSE OF PROVIDING ADDITIONAL AREA TO ADJACENT LOTS OR TRACTS OR UNTIL A REPLAT IS FILED WITH THE MARION COUNTY AND SAID REPLAT COMPLIES WITH THE PROVISIONS OF THE LAND DEVELOPMENT CODE
- 8. ALL LOT CORNERS AND PERMANENT CONTROL POINTS WILL BE SET WITHIN ONE YEAR OF THE RECORDING OF THIS PLAT, OR PRIOR TO THE EXPIRATION OF SURETY. 9. THIS PLAT IS SUPPORTED BY A BOUNDARY SURVEY BY A.M. GAUDET & ASSOCIATES
- INC. DATED FEBRUARY 4TH, 2020 OF THE HEREON DESCRIBED LANDS. 10. COVENANTS, RESTRICTIONS, AND/OR RESERVATIONS AFFECTING THE OWNERSHIP OR USE OF THE PROPERTY SHOWN ON THIS PLAT ARE SET FORTH IN THE INSTRUMENT RECORDED IN OR BOOK 7186, PAGE 1216, PUBLIC RECORDS OF MARION
- 11. THERE IS A MINIMUM 10' WIDE UTILITY AND DRAINAGE EASEMENT ADJACENT AND PARALLEL TO ALL FRONT LOT LINES AND A MINIMUM 5' WIDE UTILITY AND DRAINAGE EASEMENT ADJACENT AND PARALLEL TO ALL SIDE AND REAR LOT LINES UNLESS A DIFFERENT DIMENSION IS OTHERWISE SPECIFIED HEREON. ADDITIONALLY THERE IS A MINIMUM 10' WIDE UTILITY AND DRAINAGE EASEMENT ADJACENT TO ALL STREETS AND RIGHTS OF WAY WHERE LOTS ARE NOT PRESENT, SHOULD MULTIPLE LOTS BE UTILIZED FOR ONE BUILDING SITE, EASEMENTS ALONG COMMON LOT LINES SHALL BE REMOVED
- UNLESS EXISTING DRAINAGE OR UTILITIES EXIST THEREIN. 12. TRACTS B & C ARE FOR LANDSCAPING AND SIGN USE AND INCLUDES A BLANKET UTILITY AND DRAINAGE EASEMENT, BUT ARE NOT DEDICATED FOR, OR LIMITED TO, SUCH
- 13. TRACT A & D ARE DESIGNATED FOR DRAINAGE RETENTION AND INCLUDE A BLANKET
- UTILITY AND DRAINAGE EASEMENT. 14. ALL DISTANCES SHOWN ON THIS PLAT ARE GROUND DISTANCES.
- 15. THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITIES CAPACITIES. FUTURE RIGHTS TO DEVELOP THE RESULTING PROPERTIES ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO. BUILDING PERMIT REVIEW.
- 16. THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY FLORIDA AS A CONDITION JE PRECEDENT TO THE APPROVAL AND ACCEPTANCE OF THIS PLAT FOR RECORDING THE PUBLIC RECORDS, DOES HEREBY NOTIFY ALL PRESENT AND FUTURE OWNERS OF THE PROPERTY DESCRIBED HEREON THAT THE LANDS INCLUDED IN THIS PLAT ARE SUBJECT TO SPECIAL ASSESSMENTS AS MAY BE PERMITTED BY LAW TO FINANCE COSTS INCURRED IN CONNECTION WITH THE MAINTENANCE, OPERATION, AND CONSTRUCTION OF INFRASTRUCTURE AS DETERMINED NECESSARY IN THE OPINION OF SAID BOARD OR OTHER GOVERNING BODY HAVING JURISDICTION
- 17. SIGHT TRIANGLE NOTE: NO FENCE, WALL, HEDGE, SHRUB, STRUCTURE OR OTHER OBSTRUCTION TO VISION, BETWEEN A HEIGHT OF TWO AND ONE-HALF FEET AND EIGHT FEET ABOVE THE CENTER LINE GRADES OF INTERSECTING STREETS SHALL BE ERECTED, PLACED OR MAINTAINED WITHIN THE TRIANGLE FORMED BY THE TANGENTS AND THE
- CHORD CONNECTING THE BEGINNING AND THE END OF A 25' RIGHT OF WAY CURVE. 18. DEVELOPMENT AGREEMENTS FOR THIS SUBDIVISION ARE RECORDED IN OFFICIAL RECORDS
- BOOK 6144, PAGE 300, PUBLIC RECORD OF MARION COUNTY FLORIDA. 19. A 10' WIDE LANDSCAPE BUFFER EXISTS ALONG THE WEST BOUNDARY AND A 15'
- LANDSCAPE BUFFER EXIST ALONG THE NORTH BOUNDARY OF THIS SUBDIVISION. 20. RECORDED NOTICE OF ENVIRONMENTAL RESOURCE PERMIT RECORDED IN OFFICIAL RECORDS BOOK 7071, PAGE 1849 PUBLIC RECORDS OF MARION COUNTY, FLORIDA SPECIFICALLY STATES THAT "THIS NOTICE IS NOT AN ENCUMBRANCE"
- ·21. TRACTS A,B,C,D, AND AREAS DESIGNATED AS "LANDSCAPE BUFFER" AND "LANDSCAPE EASEMENT" DEPICTED HEREON ARE DESIGNATED AS MARION FRIENDLY LANDSCAPE AREAS AS IDENTIFIED ON THE IMPROVEMENT PLANS, AS APPROVED BY MARION COUNTY FOR DEVELOPMENT OF THIS SUBDIVISION. MARION FRIENDLY LANDSCAPE AREAS ARE DEFINED AS THAT PORTION OF A NEW OR EXPANDED DEVELOPMENT THAT THROUGH THE APPROVED DEVELOPMENT PLANS, DOCUMENTS, AND DEED RESTRICTIONS, IS IDENTIFIED TO BE MAINTAINED AS MARION FRIENDLY LANDSCAPING AND WHERE THE USE OF HIGH VOLUME IRRIGATION, NON-DROUGHT TOLERANT PLANTS, AND LAWN CHEMICALS
- (FERTILIZER AND PESTICIDES) ON TURFGRASS IS PROHIBITED.
 22. THIS PLAT IS SUBJECT TO AN ORDINANCE ESTABLISHING OAKS AT OCALA CROSSINGS SOUTH PHASE ONE TO A MUNICIPAL SERVICE BENEFIT UNIT IMPROVEMENT AREA.
- 23. ACKNOWLEDGEMENT OF CONTIGUOUS SUSTAINABLE AGRICULTURAL LAND. THE DEVELOPER, SUCCESSORS, AND ASSIGNS, HEREBY ACKNOWLEDGE AND UNDERSTAND THE SUBDIVISION HEREIN DESCRIBED AND ESTABLISHED IS CONTIGUOUS TO SUSTAINABLE AGRICULTURAL LAND AS SHOWN ON THIS PLAT. IT IS ACKNOWLEDGED AND UNDERSTOOD BY THE PARTIES THAT THE FARM OPERATIONS ON THE CONTIGUOUS SUSTAINABLE AGRICULTURAL LAND IDENTIFIED HEREIN MAY BE CONDUCTED ACCORDING TO GENERALLY ACCEPTED AGRICULTURAL PRACTICES AS PROVIDED IN THE FLORIDA RIGHT TO FARM ACT, SECTION 823.14, FLORIDA STATUTES.



, CLERK OF CIRCUIT COURT OF MARION COUNTY, FLORIDA, DO HEREBY ACCEPT THIS PLAT of oaks at ocala crossings south phase one for recording. This plat filed for record this 5^{+-} day of May , 2020, at / : 25 PM and recorded on page /2 of plat book /4 in the office of the clerk of the CIRCUIT COURT OF MARION COUNTY, FLORIDA.

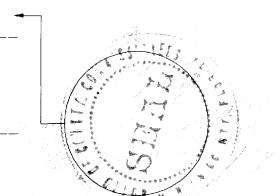




THIS IS TO CERTIFY THAT ON THE $\frac{5}{2}$ day of $\frac{MA}{2}$, 2020 the foregoing plat was APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF MARION COUNTY, FLORIDA.

CERTIFICATE OF APPROVAL BY BOARD OF COUNTY COMMISSIONERS

CHAIRMAN, BOARD OF COUNTY COMMISSIONERS 1: 25 PM J.S. 2020 DAVID R. ELLSPERMANN CLERK OF THE CIRCUIT COURT



SURVEYOR'S CERTIFICATE:

I CERTIFY THIS PLAT OF OAKS AT OCALA CROSSINGS SOUTH PHASE ONE, PREPARED UNDER MY DIRECTION AND SUPERVISION, COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177. FLORIDA STATUTES, THAT THE PERMANENT REFERENCE MONUMENTS AS SHOWN HEREON WERE IN PLACE ON THE 4TH DAY OF FEBRUARY, 2020, THAT THE BOUNDARY SURVEY WHICH SUPPORTS THIS PLAT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT

CODE, AND THAT THIS PLAT DOES NOT ADVERSELY AFFECT THE LEGAL ACCESS OF ADJACENT PARCELS

IDRUS M. GAUDET P.S.M. #5316 A.M. GAUDET & ASSOCIATES INC. L.B. #7158 PROJECT SURVEYOR



PREPARED BY A.M. GAUDET & ASSOCIATES INC. LAND SURVEYING - LAND PLANNING

709 SE 102nd PLACE, SUITE 3, BELLEVIEW, FLORIDA 34420 PHONE: (352) 245-2708 FAX: (352) 245-2883

OAKS AT OCALA CROSSINGS SOUTH PHASE ONE

17.50

60' | 65'

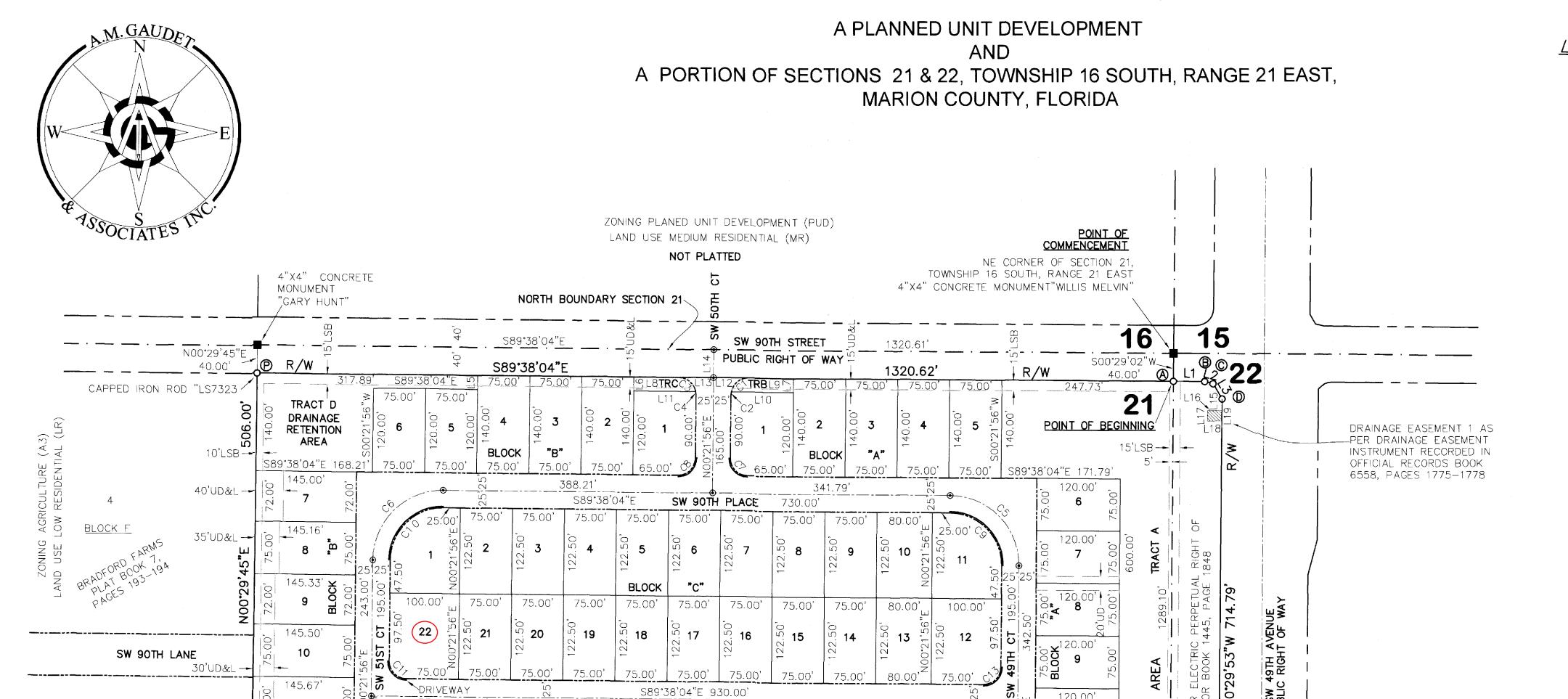
© N89*38'04"W

4"X4" CONCRETE MONUMENT PRM LB 4074

144.22

PLAT BOOK <u>14</u> PAGE <u>13</u>

SHEET 2 OF 2



SW 91ST STREET

NOT PLATTED

LAND USE MEDIUM RESIDENTIAL (MR)

\$89°37'47"E 1320.89'

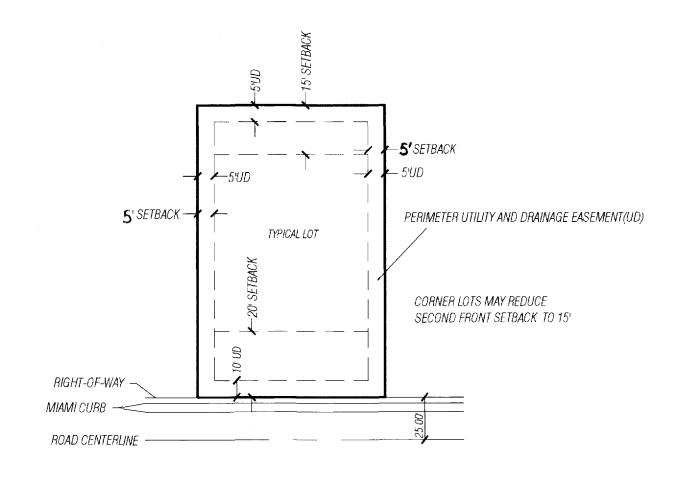
ZONING PLANED UNIT DEVELOPMENT (PUD)

SUSTAINABLE AGRICULTURAL LAND - SEE ADVISORY NOTICE 23 ON SHEET ONE OF THIS PLAT.

N89'38'04"W 810.00'

LEGEND:

- = FOUND 4"x 4" CONCRETE MONUMENT AS NOTED
- = SET NAIL WITH DISK "LS 5316 PCP" UNLESS OTHERWISE NOTED
- O = SET 5/8" IRON ROD WITH CAP "LS 5316 PRM" UNLESS OTHERWISE NOTED
- UD&L = UTILITY, DRAINAGE AND LANDSCAPE EASEMENT.
- UD = UTILITY AND DRAINAGE EASEMENT. LSB = LANDSCAPE BUFFER - SEE NOTE 19
- TR = TRACT
- R/W = RIGHT OF WAY



			CURVE :	TABLE		
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C1	34.23	25.00	78 ° 27'13"	20.41	S51°08'19"W	31.62
C2	5.04	25.00	11°32'47"	2.53	S06°08'19"W	5.03
C3	34.23	25.00	78°27'13"	20.41	N50°24'28"W	31.62
C4	5.04	25.00	11*32'47"	2.53	N05°24'28"W	5.03
C5	157.08	100.00	90°00'00"	100.00	N44°38'04"W	141.42
C6	157.08	100.00	90°00'00"	100.00	S45°21'56"W	141.42
C7	39.27	25.00	90°00'00"	25.00	S44°38'04"E	35.30
C8	39.27	25.00	90°00'00"	25.00	N45°21'56"E	35.3
C9	117.81	75.00	90°00'00"	75.00	N44°38'04"W	106.0
C10	117.81	75.00	90'00'00"	75.00	S45°21'56"W	106.0
C11	39.27	25.00	90°00'00"	25.00	S44°38'04"E	35.3
C12	39.27	25.00	90°00'00"	25.00	S45°21'56"W	35.30
C13	39.27	25.00	90°00'00"	25.00	N45°21'56"E	35.36
C14	39.27	25.00	90°00'00"	25.00	N44°38'04"W	35.31

LZ	12.30	5/5'08 UI E
L3	25.50	S30°09'45"E
L4	50.16	N85°03'38"W
L5	20.00	S00°21'56"W
L6	20.00	S00°21'56"W
L7	20.00	S00°21'56"W
L8	65.00	N89°38'04"W
L9	65.00	N89°38'04"W
L10	89.49	S89°38'04"E
L11	89.49	S89°38'04"E
L12	50.00	N89°38'04"W
L13	50.00	N89°38'04"W
L14	40.00	S00°21'56"W
L15	16.70	S00°29'53"W
L16	20.50	N89°30'07"W
L17	15.01	S00°29'53"W
L18	20.50	S89°30'07"E
L19	15.00	N00°29'53"E

LENGTH BEARING

•	STATE F	PLANE COOR	DINATES
POINT	NORTHING	EASTING	SCALE FACTOR
A	1729737.47	591636.22	0.999945949
₿	1729737.03	591681.23	0.999945942
0	1729733.85	591693.17	0.999945940
0	1729711.81	591705.98	0.999945938
(Ē)	1728997.08	591699.69	0.999945939
Ð	1728998.02	591555.49	0.999945961
©	1729148.01	591556.46	0.999945960
B	1729148.78	591436.47	0.999945978
Θ	1729131.29	591436.36	0.999945978
0	1729136.54	590626.42	0.999946099
\otimes	1729174.03	590626.66	0.999946099
\mathbf{Q}	1729174.81	590506.67	0.999946117
Ø	1729234.81	590507.06	0.999946117
0	1729239.13	590457.09	0.999946125
0	1729240.08	590311.27	0.999946147
P	1729746.03	590315.70	0.999946146

PREPARED BY A.M. GAUDET & ASSOCIATES INC. LAND SURVEYING - LAND PLANNING 4709 SE 102ND PLACE SUITE 3 BELLEVIEW, FLORIDA 34420

PHONE: (352) 245-2708 FAX: (352) 245-2883

4"X4" CONCRETE MONUMENT

PRM LB 4074

GRAPHIC SCALE

(IN FEET)

1 inch = 100 ft.

N89°38'04"W N L4

N00°21'56"É 60.00'

37.50'

BLOCK C



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3171 **Agenda Date: 5/17/2021** Agenda No.: 6.7.

SUBJECT:

SHELTON PROPERTY, RAY & DOROTHY - WAIVER REQUEST **RIO VISTA REPLAT BLK A LOT 2 & 3** 10721 SW 185TH TER DUNNELLON

Project #2020100094 Parcel #3483-001-003 Permit #2021020094 #26721

Ray Shelton

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver for the addition of a small 10' x 27' (270 square feet) storage room.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Date: 04/30/2021 Parcel Number(s):	3483-001-003	Permit Nun	nber: 2021-02-0094
A. PROJECT INFORMATION: Fill in below as	applicable:		
Property Project Name: Ray Shelton Storage Room Subdivision Name (if applicable): Rio Vista UnitBlock_A_Lot_2 & 3_	Ray & Dorothy	Commer	cial or Residential ✓
B. PROPERTY OWNER'S AUTHORIZATI sign below, authorizing the applicant to act on the own	ION: Attach a letter from the ner's behalf for this waiver re	e owner(s), or the cequest:	owner(s) may
Property Owner's Name (print): Ray Sheltor Property Owner's Signature: Property Owner's Mailing Address: 10731 S	SW 185th Terrace		
City: Dunnellon State: FI	L_Zip Code: 34432	Phone #	(352) 274-8467
C. APPLICANT INFORMATION: The applicate faxed or emailed to the applicant. Firm Name (if applicable): IPC Services, Inc. Mailing Address: 3445 NE 24th St. Phone # (352) 732-8566 FAX Number or Email address: rusty@ipcs.com	Contac City:Ocala Alternate Phone #	t Nama.	Duoty Ctout
D. WAIVER INFORMATION: Section & Title of Code: Reason/Justification for Waiver Request: Comminimal impact to excisting site conditions.	2.21.1.A de Enforcement Case 8 10' x 27' (270 square	Major Sit 27143: Small Ro 2 Feet)	e Plan pom Addition has
		(Attach	sheet 3 for additional waivers)
FOR STAFF USE ONLY: Received By: Date Proces Zoning Use: Parcel of record: Yes No Zoned: ESOZ: Must Vacate H Land Use: Date:	Eligible to apply for	Family Divisio	n. Vac No
"Meeting Need	ds by Exceeding Expectati	ons"	

May 13, 2021

PROJECT NAME: SHELTON PROPERTY, RAY & DOROTHY - WAIVER REQUEST

PROJECT NUMBER: 2020100094 APPLICATION: #26721

2.21.1.A - MAJOR SITE PLAN

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: APPROVED

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: **DISCUSSION/CONDITIONAL APPROVAL**: Subject to completing Rainbow River ESOZ Plan, and obtaining variance, if required. [Plan lacks detail to verify if proposed addition complies with ESOZ 75' waterbody/waterfront setback.]

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: **DENIED**. Subject property has R-1 zoning and has 2 non-conforming dwelling units from 1975 & 1976. The east dwelling does not meet current ESOZ standards. There are 3 open code cases in which owner has modified dwelling to a hotel. These code cases have not be resolved. It is unclear if proposed storage room will have a residential or commercial use. Some of the improvements to the west dwelling appear to have been done without building permits. Comparison of different year aerials show a possible addition. This addition extends onto Lot 1, currently owned by same. Per Code Enforcement Officers, there appears to have been regrading done to shoreline. Zoning requests onsite inspection of current conditions prior to waiver appoval for Zoning, Code and/or OCE officials. And to clear the "change of use" code case to verify use is personal residence only. Zoning also requests stormwater controls for as much impervious as possible and not just for the 270sf storage room. Proposed room will have to meet minimum 8' side setback if approved.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REMARKS: **APPROVED** - FGUA service area; MCU will require a letter from the utility stating the parcel's availability and capacity to connect to FGUA's public water and/or sewer system. Inside the Rainbow Springs primary springs protection zone.

5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REMARKS: N/A

6 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: APPROVED

7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REMARKS: N/A

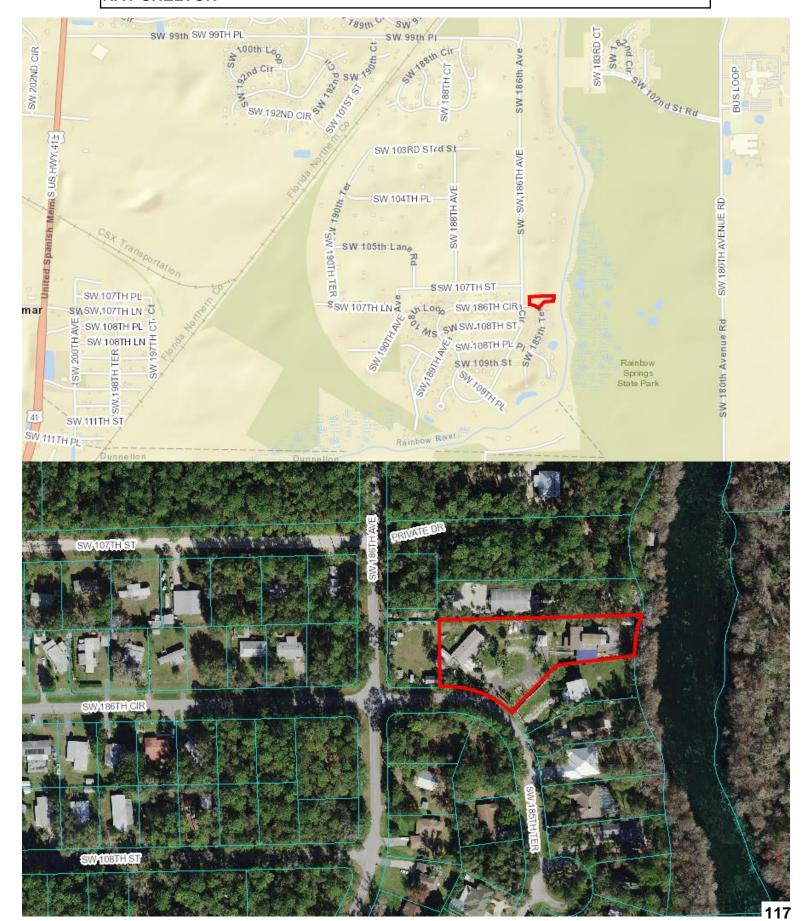
8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REMARKS: APPROVED

9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REMARKS: **DISCUSSION NEEDED/CONDITIONAL APPROVAL**. There is currently 14,616sf existing impervious coverage on the 1.2-acre subject parcel (PID 3483-001-003). There has been an additional structure (309sf) added without permit and a current Code Enforcement case pending. The site is a waterfront property located in the Rio Vista Replat subdivision along the Rainbow River (ESOZ). Staff recommends approval under the following conditions: 1) The applicant must provide on-site stormwater control for the additional runoff from the impervious areas not previously approved by the County. 2) A permit/inspection hold will be in effect until a sketch of the stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that all areas disturbed by construction must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

SHELTON PROPERTY, RAY & DOROTHY - WAIVER REQUEST
RIO VISTA REPLAT BLK A LOTS 2 & 3
10721 SW 185TH TER DUNNELLON
Project #2020100094 #26721 Parcel #3483-001-003 Permit #2021020094
RAY SHELTON

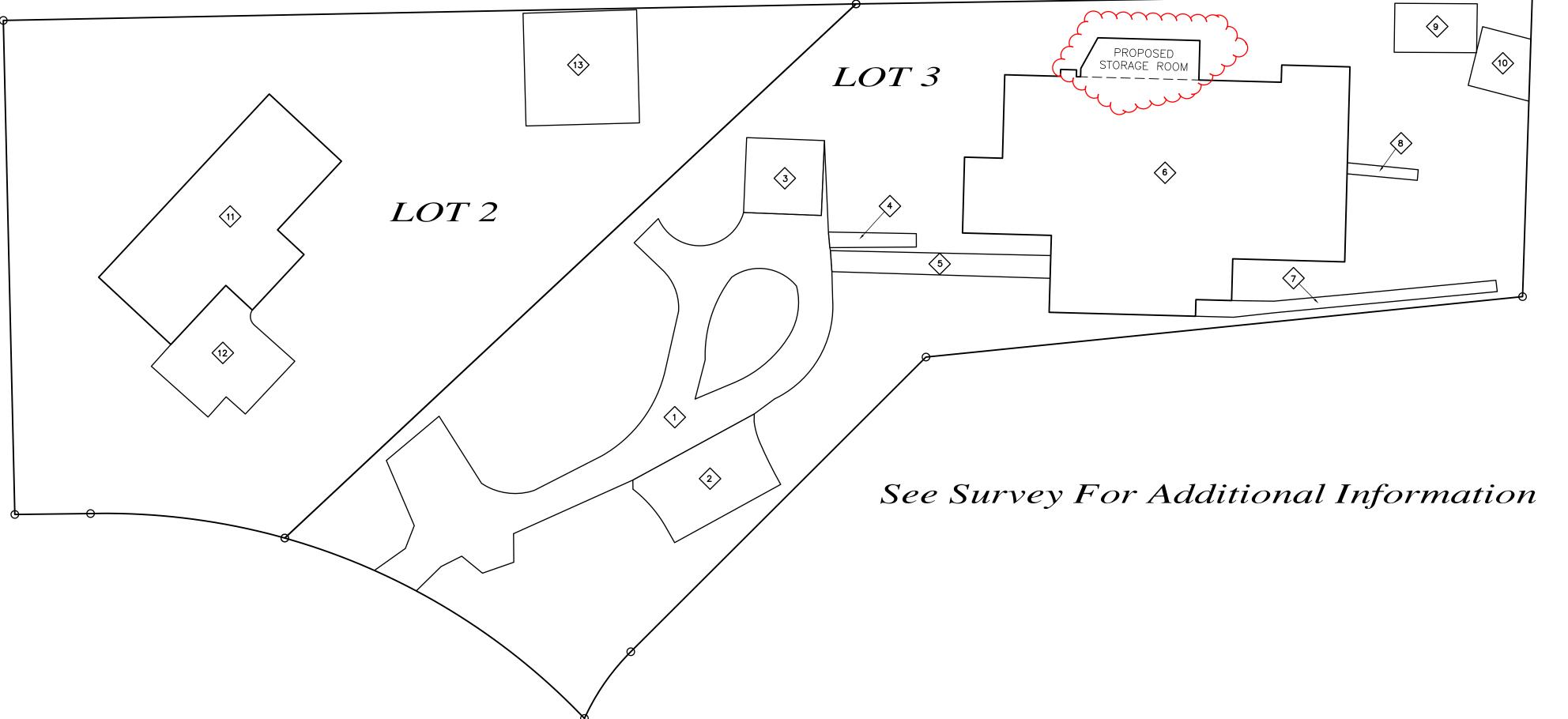


RIO VISTA REPLAT BLK A LOTS 2 & 3

SHELTON PROPERTY, RAY & DOROTHY - WAIVER REQUEST

10721 SW 185TH TER DUNNELLON

Project #2020100094 #26721 Parcel #3483-001-003 Permit #2021020094 **RAY SHELTON**



Existing Conditions; Impervious Calculations

	LOT 3		
IM	IMPERVIOUS CALCULATION		
ITEM#	DESCRIPTION	AREA (SQ. F	
1	ASPHALT DRIVEWAY	2,990	
2	CONCRETE PAD	658	
3	METAL CARPORT	406	
4	CONCRETE STEPS	88	
5	WOOD RAMP	334	
6	RESIDENCE	5,492	
7	CONCRETE PAVER WALKWAY	260	
8	CONCRETE PAVER WALKWAY	53	
9	CONCRETE PAVER PATIO	281	
10	WOOD DOCK	236	
	TOTAL IMPERVIOUS AREA	10,798	
	LOT #3 AREA	28,193	
	% OF IMPERVIOUS COVERAGE	38.30%	

IM	PERVIOUS CALCUI	LATIONS
TEM#	DESCRIPTION	AREA (SQ. FTG.)
1	ASPHALT DRIVEWAY	2,990
2	CONCRETE PAD	658
3	METAL CARPORT	406
4	CONCRETE STEPS	88
5	WOOD RAMP	334
6	RESIDENCE	5,492
7	CONCRETE PAVER WALKWAY	260
8	CONCRETE PAVER WALKWAY	53
9	CONCRETE PAVER PATIO	281
10	WOOD DOCK	236
11	RESIDENCE	1,907
12	CONCRETE PAD	684
13	CONCRETE PAD	892
	TOTAL IMPERVIOUS AREA	14,281
	LOT #2 AREA	19,992
	LOT #3 AREA	28,193
	LOTS 2 & 3	48,185
	% OF IMPERVIOUS COVERAGE	29.64%

PROJECT LOCATION:	DUNNELLON FL 34432	NUMBER: TYPICAL SCALE: 20146 1" = $20'-0$ "	
PROJECT NAME:	Shelton Property	DRAWN BY: I.P.C. JOB NUMBER: 2014(

These drawings, and content of these plans are the property of Initial Phase Construction Services, INC.. and are protected under copyright law. Reproduction in any form without express written consent is strictly prohibited. All copyrighted works are protected by United States Copyright Law (Title 17, United States Code) and the Berne Convention for the international protection of literary and artistic works. Federal and International Copyright protection laws extend to original and modified derivative plans, architectural works, concepts and designs, and is applicable to intentional and unintentional infringements, and provides for specific statutory damages both civil and criminal.

SHELTON PROPERTY, RAY & DOROTHY - WAIVER REQUEST RIO VISTA REPLAT BLK A LOTS 2 & 3 10721 SW 185TH TER DUNNELLON Project #2020100094 #26721 Parcel #3483-001-003 Permit #2021020094 RAY SHELTON

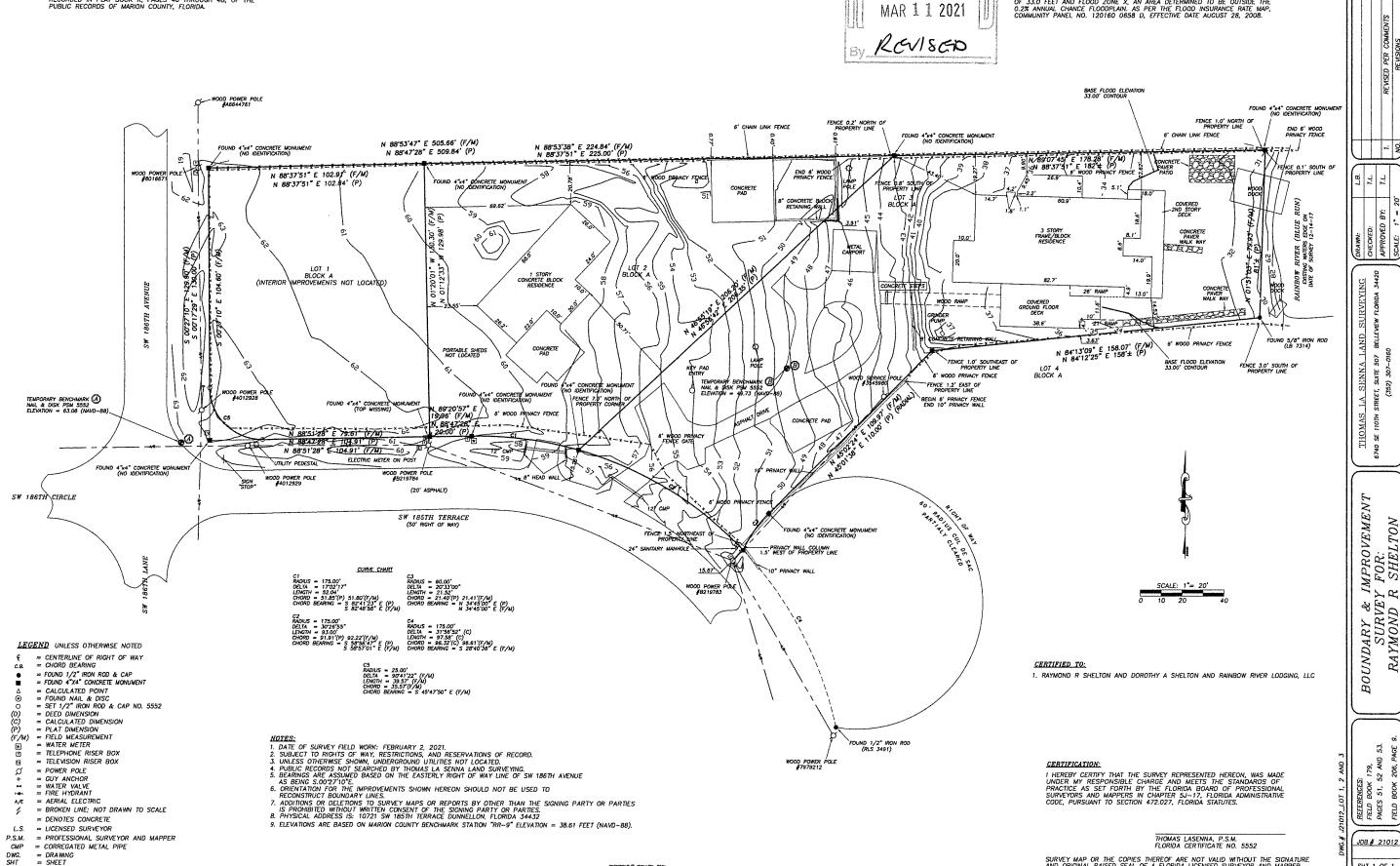
LEGAL DESCRIPTION:

LOTS 1, 2 AND 3, BLOCK "A", OF "RIO VISTA REPLAT" AS PER PLAT THEREOF, RECORDED IN PLAT BOOK K, PAGES 46 THROUGH 48, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

2021020094 EGEIV MAR 1 1 2021 REVISED

FLOOD CERTIFICATION:

PROPETY LIES IN FLOOD ZONES AE, AN AREA WITH A BASE FLOOD ELEVATION OF 33.0 FEET AND FLOOD ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. AS PER THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 120160 0658 D, EFFECTIVE DATE AUGUST 28, 2008.



K 179, 52 AND K 206, PA

STREET, SUITE : (352) 307-

6740

JOB# 21012

SHT 1 OF 1

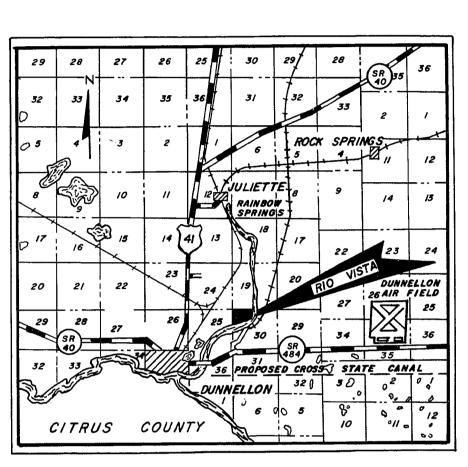
SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

RIO VISTA MARION COUNTY, FLORIDA REPLAT

ANULLED AND/OR VACATED, IN PART OR WHOLE BY BOARD OF COUNTY COMMISSION RESOLUTION NUMBER PECORD BOOK 2452 RECORD BOOK 2452

DESCRIPTION : ~~

All of the Northwest I/4 of Section 30, Township I6 South, Range I9 East, lying North and West of the Rainbow River (Blue Run) excepting that portion of of the Northwest I/4 lying South and East of the Rainbow River and excepting the North 200 feet of the Northwest I/4 lying West of the Rainbow River, said Northerly 200 feet extending along the parallel to the North Boundary of said Northwest I/4 of Section. And EXCEPT that portion of the Railroad right-of-way and Borrow Pit for Cross Florida Barge Canal.



LOCATION MAP

NOTE: All easements shown are reserved for the perpetual use of construction and maintenance of drainage facilities and all utilities. In addition to the easements specifically shown hereon, there is also reserved a 7.5 feet easement along all front, sides, and rear lot lines for the same purposes.

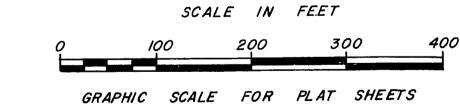
All cul-de-sac radii are 60.00 feet unless otherwise shown.

All lot corners of street intersections have a 25.00 feet radius unless otherwise shown. Distances shown extend to the point of Intersection of street lines but for ownership extends only to the curve.

O = 4" x 4" Concrete Permanent Reference Monuments.

D.E. = Drainage Easement

— — Final Flood Plane = 33.5"



NOTE: Applications for septic tank permits will be considered on a lot by lot basis only, for construction in outlying areas of this subdivision not served by central sewage system. No permits for conventional septic tank systems will be issued on the waterfront lots that would create hazards of sewage pollution leeching into Blue Run.

Minimum center line elevation of roads will be 35.1 feet Mean Sea Level.

STATE OF FLORIDA COUNTY OF MARION

The undersigned corporation which is duly organized under the laws of the State of Florida and the owner of the real estate included in this plat does hereby authorize the same to be recorded in the public records of Marion County, Florida, and does hereby dedicate to the public forever the roads, streets and water retention areas as shown hereon for the benefit of the public.

Witness whereof said corporation has caused its seal to be affixed by the under—signed officials, duly authorized by the Board of Directors, this **26** day of **OC**. A.D. 1970. Signed, sedled, and delivered in the presence of:

ASTOR WEST, INC.

A.M. Collins, Jr., President

Charles W. Rush, Jr., Secretary

STATE OF FLORIDA COUNTY OF MARION

Before me this day personally appeared A.M. Collins, Jr. and Charles W. Rush, Jr., President and Secretary, respectively, of ASTOR WEST, INC., a Florida Corporation and acknowledged before me that they executed the dedication hereon shown for the uses and purposes therein stated on behalf of said ASTOR WEST, INC. as its free act and deed and have been duly authorized so to do by the Board of Directors thereof.

Witness my hand and official seal at OCALA, County of MARION, State of Florida, this 26 TH day of OCT. A.D. 1970.

My commission expires: DEC. 21571971

Notary Poblic, State of Florida at large

I, J.W. JERNIGAN, of the Marion Engineering Associates, Inc., maker of this plat, do hereby certify that it is a correct representation of the land platted and that permanent reference monuments have been placed thereon as called for under chapter 177, Florida Statutes.

J.W. Sefnigan, Registered Land Surveyor Centificate No. 574, State of Plorida

This certifies that this plat was presented to the Board of County Commissioners of Marion, County, Florida, and approved by them for record on the 27 day of October 4 D 1970.

Attest Com Michelan Glerk of the Cacuit Court

Chairmon, Board of County Commissioners

I, John F. Nicholson, Clerk of the Circuit Court for Marion County, Florida, do hereby certify that this foregoing plat conforms to the provisions of chapter 177, Florida statutes, was filed in my offices for record on the 21 day of Cobber A.D. 1970, and recorded in the public records of said County on the 21 day of Cobber A.D. 1970 in plat book K, pages 46 thru 48.

Gom Micholan Glerk of the Circuit Court

As a condition precedent to the recordation of this plat in the Public records of Marion County, Florida, the undersigned owners of this subdivision do hereby guarantee to each and every person, firm, copartnership, or corporation, their helrs, successors, and assigns, who shall purchase a lot or lots in said subdivision from said owners, that said owners shall within 12 months of the date of the sale thereof fully comply with each and every regulation of the Board of County Commissioners of Marion County, Florida, covering subdivisions in effect at the time of the filing of this final plat in so far as the same effects a lot or lots sold. Time of such performance being of the essence, which said guarantee shall be a part of each deed of conveyance or contract of sale covering lots in said subdivision, executed by said owners to the same extent and purpose as if said guarantee were incorporated verbatim in each said conveyance or contract of sale."

ASTOR WEST, INC.

A. M. Collins, Jr., President

Charles W. Rush , Jr. Secretary

RIO VISTA MARION COUNTY, FLORIDA REPLAT N 88° 47'28" E DRIVE N 88º 47'28" E VISTA N 88°47'28" E £ CURVE DATA SHEET

Prepared By
Marion Engineering Associates, Inc.
1759 S.W. 12th St, Ocola, Fla.



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3172 **Agenda Date: 5/17/2021** Agenda No.: 6.8.

SUBJECT:

REIFSTECK PROPERTY, ERIC - WAIVER REQUEST 2750 SW 7TH AVE OCALA

#26725 Project #2016050057 Parcel #31023-000-00 Permit #2021042429

Colbert Construction

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver to add a 20' x 40' (800 square feet) shed to the property.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687 RECEIVED

MAY 03 2021

Marion County
Office of County Engineer

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	Date: 4/27/2011 Parcel Number(s): 31023/600/00 Permit Number: 2021 042429
A.	PROJECT INFORMATION: Fill in below as applicable:
	Project Name: Reifsteck Property, Eric Commercial or Residential Subdivision Name (if applicable): Waldo PL Vac / NE Unit Block Lot
В.	PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:
	Property Owner's Name (print): Exic Liefs tech Property Owner's Signature: Restant Property Owner's Mailing Address: 2750 6w 7th 4ve City: Occle State: FL Zip Code: 34471 Phone # 357 - 875 - 1261
C.	APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.
	Firm Name (if applicable): Celbert Construction Contact Name: Crais Colbert Mailing Address: 5001 5E 38th 5t City: OC-la State: FL Zip Code: 34480 Phone # 352-372-7743 Alternate Phone # N. A. Email address: Colbert Construction Inc. & gmail, com
D.	WAIVER INFORMATION: Section & Title of Code: Reason/Justification for Waiver Request: 10 add a 20' x 40' Shed to property.
DE	NELOPMENT REVIEW USE: Received By: CG Date Processed: 5 4 21 Project # 2016 050057 AR # 26725
	NING USE: Parcel of record: Yes □ No □ Eligible to apply for Family Division: Yes □ No □ Zoned: ESOZ: P.O.M Must Vacate Plat: Yes □ No □ Land Use: Date: Verified by:
	ised 5/2017

Empowering Marion for Success

May 13, 2021

PROJECT NAME: REIFSTECK PROPERTY, ERIC - WAIVER REQUEST

PROJECT NUMBER: 2016050057 APPLICATION: #26725

2.21.1.A - MAJOR SITE PLAN

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: N/A

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: Defer to OCE-Stormwater. [Site include Flood Prone area, and additional Flood Prone areas are in the vicinity, along with formal Flood Zones. Site is zoned A-1; improvements will need to comply with A-1 setbacks.]

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: **CONDITIONAL APPROVAL** - Defer to OCE - Stormwater. Portion of property is a flood prone area. Zoning approval based on structure meeting minimum 25' setbacks required for A-1 zoning.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REMARKS: **APPROVED** - Parcel within Marion County Utilities public service area but outside connection distance to utility provider's closest available water or sewer at this time. When water or sewer become available from the public utility provider, parcel shall connect to respective service(s) within 365 days of notification. Silver Springs primary springs protection zone.

5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REMARKS: N/A

6 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: APPROVED

7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REMARKS: N/A

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REMARKS: APPROVED

9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REMARKS: **CONDITIONAL APPROVAL** subject to working with Stormwater staff under the following conditions: 1) The applicant must provide on-site stormwater control for the additional runoff from the new impervious area. 2) A permit/inspection hold will be in effect until a sketch of the stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that all areas disturbed by construction must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

Note: The subject parcel (PID 31023-000-00) is 11.68 acres. There is approximately 41,665 sf existing impervious coverage according to the MCPA website. The applicant is proposing to add an 800 sf shed for a total of 42,465 sf (8.3%).

Project #2016050057 #26725 COLBERT CONSTRUCTION

Parcel #31023-000-00

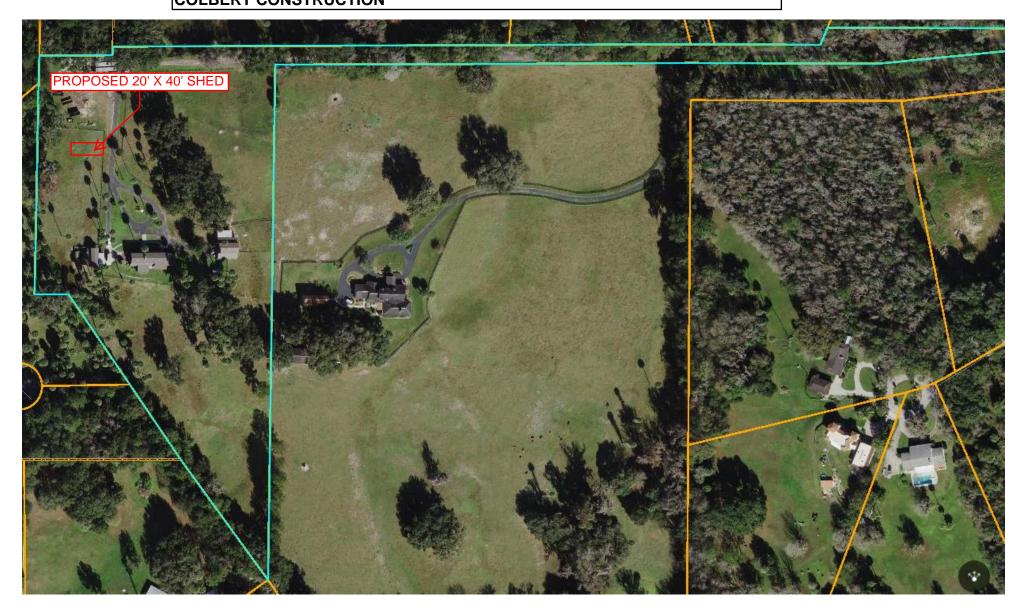
Permit #2021042429



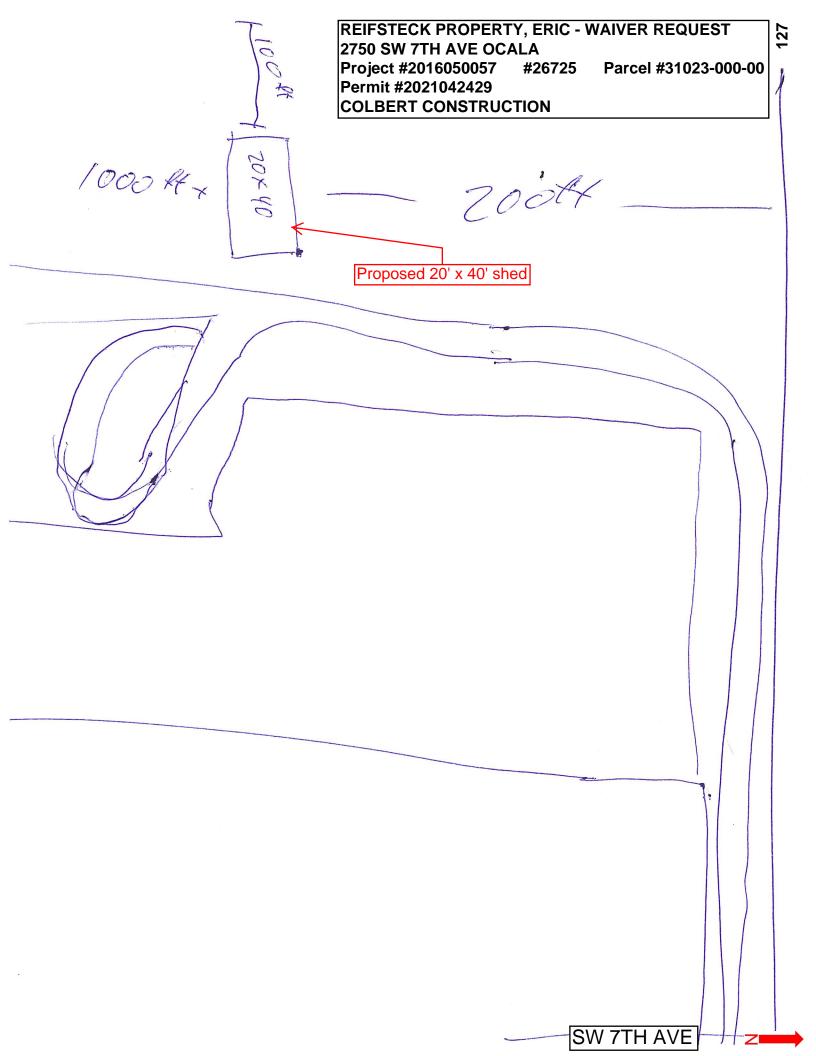
REIFSTECK PROPERTY, ERIC - WAIVER REQUEST 2750 SW 7TH AVE OCALA

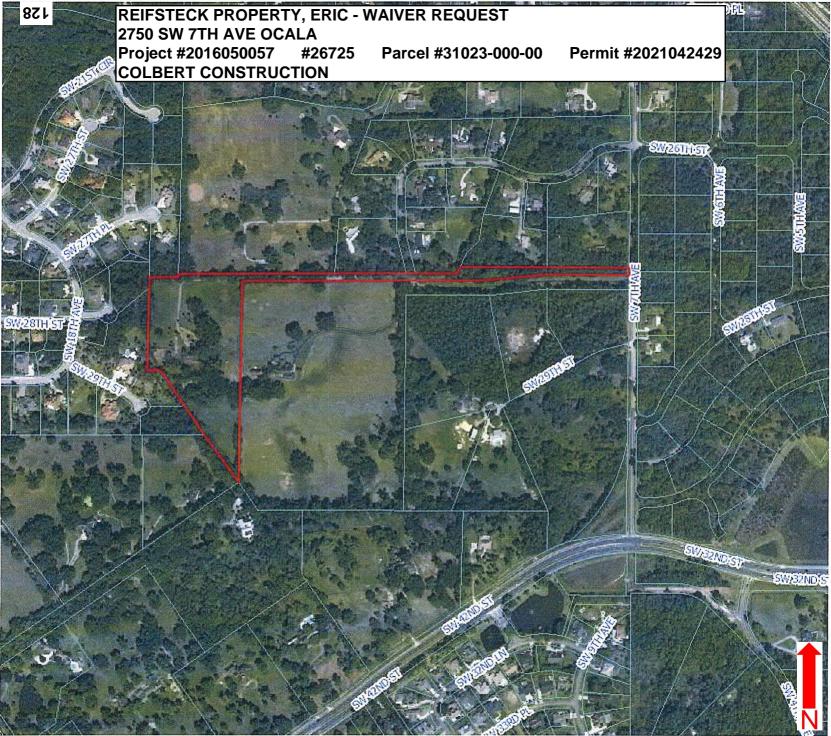
Project #2016050057 #26725 COLBERT CONSTRUCTION Parcel #31023-000-00

Permit #2021042429











Marion County

Development Review Committee

Agenda Item

File No.: 2021-3173 **Agenda Date: 5/17/2021** Agenda No.: 6.9.

SUBJECT:

WALFORD PROPERTY, ANTHONY - WAIVER REQUEST NORTH CONANT ESTATES SUBDIVISION TRACT 24 UNR 13875 SE 175TH ST WEIRSDALE

Project #2021050016 #26727 Parcel #50027-024-00 Permit #2021041069

Central Florida Steel Building LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver to add a 52' x 60' (3,120 square feet) steel building on new concrete and a future 30' x 25' (750 square feet) steel building.



Marion County Board of County Commissioners

MAY 0 3 2021

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Marion County Office of County Engineer

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

A. PROJECT INFORMATION: Fill in below as applicable: Property: Anthony Project Name: WALFORD 52X60 STEEL BUILDING Subdivision Name (if applicable): NORTH CONANT ESTATES UnitBlockLot B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request: Property Owner's Name (print): ANTHONY MICHAEL WALFORD	
Property: Anthony Project Name: WALFORD 52X60 STEEL BUILDING Subdivision Name (if applicable): NORTH CONANT ESTATES UnitBlockLot B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:	
Project Name: WALFORD 52X60 STEEL BUILDING Subdivision Name (if applicable): NORTH CONANT ESTATES UnitBlockLot B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:	
 Block Lot	,
B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:	
authorizing the applicant to act on the owner's behalf for this waiver request:	
Property Owner's Name (print): ANTHONY MICHAEL WALFORD	
Property Owner's Signature: Property Owner's Mailing Address: 5935 STONE AVE	
Property Owner's Mailing Address: 5935 STONE AVE	
City: PORTAGE State: IN Zip Code: 6368 Phone # 7739088027	
C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will received correspondence.	ve
Firm Name (if applicable): CENTRAL FLORIDA STEEL BUILDING Contact Name: TYRONE JACOB	
Mailing Address: 4750 S PINE AVE City: OCALA State: FL Zip Code: 3448	30
Mailing Address: 4750 S PINE AVE City: OCALA State: FL Zip Code: 3448 Phone # 3525478552 Alternate Phone # 3526292886 Email address: TYRONE@CFSTEELBUILDINGS.COM	
Email address: I YRONE@CFSTEELBUILDINGS.COM	
D. WAIVER INFORMATION: Section & Title of Code: 2.21.1.A Major Site Plan ARTICLE 2 DIVISION 21	
Reason/Justification for Waiver Request: OVER 9000 SQ. FT IMPERVIOUS add a 52' x (a	0'
Steel building on new concrete slaw and future 30' x 25' Steel building	-
Project # 2021 05 0016 AR # 2612	1_
ZONING USE: Parcel of record: Yes □ No □ Eligible to apply for Family Division: Yes □ No □ N	
Revised 5/2017 Submit via Email Print Form	

May 13, 2021

PROJECT NAME: WALFORD PROPERTY, ANTHONY - WAIVER REQUEST

PROJECT NUMBER: 2021050016 APPLICATION: #26727

2.21.1.A - MAJOR SITE PLAN

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: APPROVED

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: Defer to OCE-Stormwater. [Zoned A-1, improvements appear to be sufficiently setback to meet site setbacks, but final plan will need to provide full measurements.]

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: **CONDITIONAL APPROVAL** - Defer to OCE - Stormwater. Zoning approval contingent on minimum 25' setbacks being met for structures in A-1 zoning.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REMARKS: **APPROVED** - Parcel within Marion County Utilities public service area but outside connection distance to utility provider's closest available water or sewer at this time. When water or sewer become available from the public utility provider, parcel shall connect to respective service(s) within 365 days of notification. Not within any primary springs protection zone.

5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REMARKS: N/A

6 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: APPROVED

7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REMARKS: N/A

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REMARKS: APPROVED

9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REMARKS: **CONDITIONAL APPROVAL** subject to working with Stormwater staff under the following conditions: 1) The applicant must provide on-site stormwater control for the additional runoff from the new impervious area. 2) A permit/inspection hold will be in effect until a sketch of the stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that all areas disturbed by construction must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

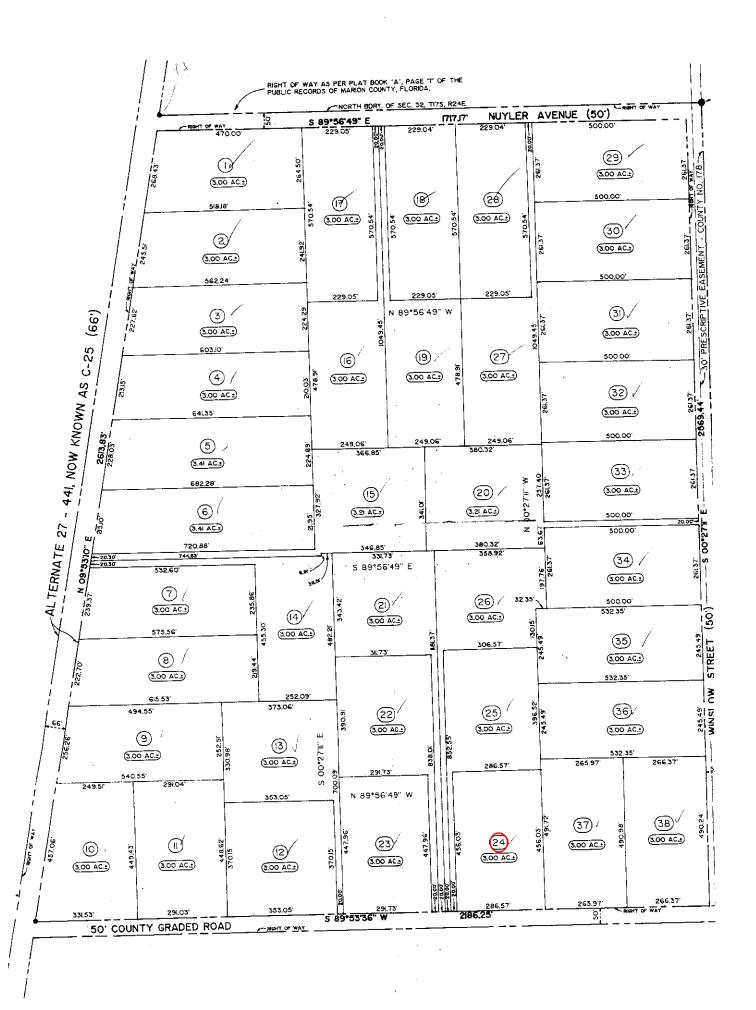
Note: The subject parcel (PID 50027-024-00) is 3 acres. There is approximately 15,111 sf existing impervious coverage according to the MCPA website. The applicant is proposing to add 3,870sf impervious coverage for a total of 42,465 sf (8.3%). Staff recommends approval with conditions.

WALFORD PROPERTY, ANTHONY - WAIVER REQUEST NORTH CONANT ESTATES SUBDIVISION TRACT 24 UNR 13875 SE 175TH ST WEIRSDALE

Project #2021050016 #26727 Parcel #50027-024-00 Permit #2021041069 CENTRAL FLORIDA STEEL BUILDING



WALFORD PROPERTY, ANTHONY - WAIVER REQUEST NORTH CONANT ESTATES SUBDIVISION TRACT 24 UNR 13875 SE 175TH ST WEIRSDALE Project #2021050016 Parcel #50027-024-00 #26727 Permit #2021041069 CENTRAL FLORIDA STEEL BUILDING EXISTING STRUCTURE PROPOSED 30'X25' STEEL BUILDING EXISTING STRUCTURE 57.0'± PROPOSED 52'X60' 456.03 STEEL BUILDING ON NEW 52'X60' CONCRETE SLAB EXISTING RESIDENCE 20 286.57 SE 175TH ST





Marion County

Development Review Committee

Agenda Item

File No.: 2021-3174 **Agenda Date: 5/17/2021 Agenda No.:** 6.10.

SUBJECT:

SAPP PROPERTY, MARK & TIFIANY - WAIVER REQUEST **HUNTINGTON REVISED PORTION BLOCK A LOT 11 5041 SE 18TH ST OCALA**

Project #2021050004 Parcel #2970-001-011 Permit #2021042059 #26708

Mark Sapp

LDC 2.21.1.A - Major Site Plan

CODE states a Major Site Plan shall be submitted for review and approval prior to issuance of a Building Permit or prior to the construction of site improvements when proposed improvements exceed any thresholds identified in the code.

APPLICANT requests waiver to add a 500 square foot pool. The runoff will be captured in the existing low point that is currently controlling runoff.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	Date: 04/21/21 Parcel Number(s): 2970 -001-011 Permit Number: 2021042050
A.	PROJECT INFORMATION: Fill in below as applicable:
	Project Name: MARK AND TITIONY SARP Property, Mark Commercial or Residential & Subdivision Name (if applicable): Huntington Revised Portion Unit 4667 Block A Lot 11
В.	PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:
	Property Owner's Name (print): MORK AND TIFINY SAPP
	Property Owner's Signature: Maling Address: 5041 SE 18" St
	Property Owner's Mailing Address: 5041 SE 18" St City: City: Zip Code: 34480 Phone # 352 206-3601
C.	APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.
	Firm Name (if applicable): Contact Name: MARK SAPP
	Mailing Address: 5041 SE 18 State: FL Zip Code: 34480 Phone # 352 266-3661 Alternate Phone # 382 694-9247
	Email address: MARK @ GRANDUIEW INC. COM
D.	WAIVER INFORMATION: Section & Title of Code: Major Ste Plan Reason/Justification for Waiver Request: The ADDITION OF A 500 SQUARE FOOT POOL WILL HAVE NO ADDITIONAL IMPACT ON THE EXISTENT RUN OFF THAT
	IS ALREADY CAPTURED IN THE EXESTENG LOW POENT THAT
	IS CHARENTLY CONTROLLENG RUN OFF.
DE	WELOPMENT REVIEW USE: Received By: CG Date Processed: 5 3 2 Project # 2021 05 0004 AR # 26708
	NING USE: Parcel of record: Yes □ No □ Zoned: ESOZ: P.O.M Must Vacate Plat: Yes □ No □ Land Use: Date: Verified by:
	rised 5/2017

Revised 5/2017

May 12, 2021

PROJECT NAME: SAPP PROPERTY, MARK & TIFIANY - WAIVER REQUEST

PROJECT NUMBER: 2021050004 APPLICATION: #26708

2.21.1.A - MAJOR SITE PLAN

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: **APPROVED** defer to OCE

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: Defer to OCE-Stormwater.

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: APPROVED - Defer to OCE Stormwater. Minimum 25' setbacks being met on site plan.

4 DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REMARKS: **APPROVED** - Parcel within Marion County Utilities public service area but outside connection distance to utility provider's closest available water or sewer at this time. When water or sewer become available from the public utility provider, parcel shall connect to respective service(s) within 365 days of notification. Within Silver Springs primary protection zone.

5 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REMARKS: N/A

6 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: APPROVED

7 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REMARKS: N/A

8 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REMARKS: APPROVED

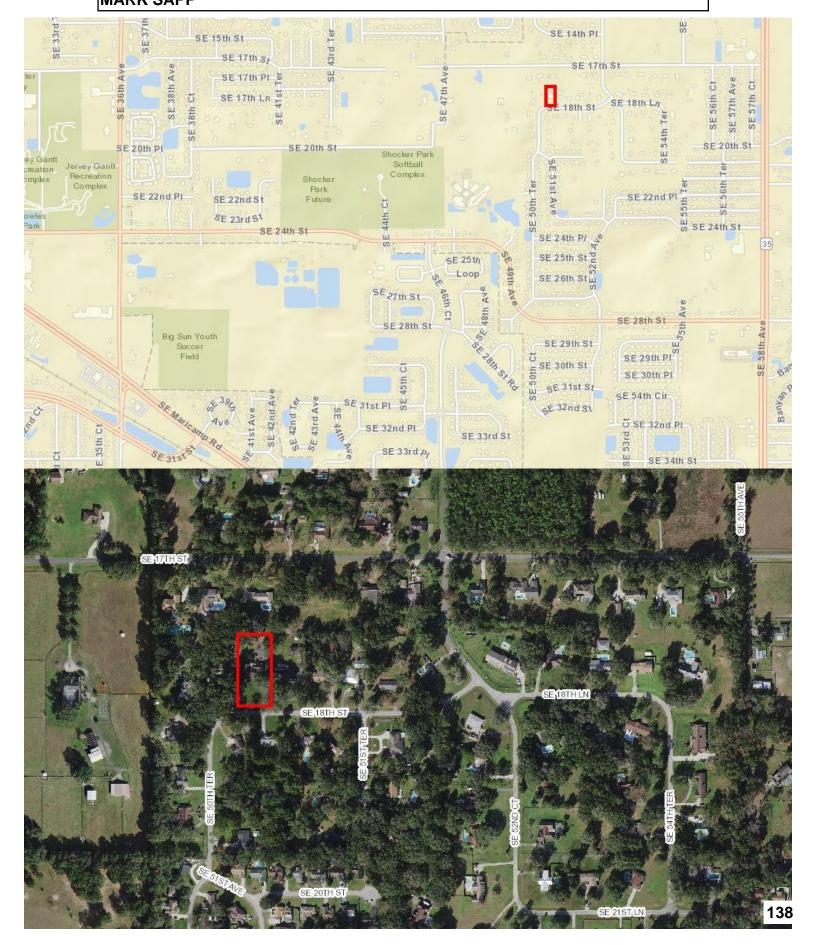
9 DEPARTMENT: ENGDRN - STORMWATER REVIEW

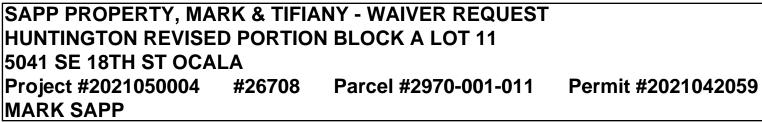
REMARKS: **CONDITIONAL APPROVAL**. Staff recommends approval subject to the following conditions: 1) a. The applicant must provide on-site stormwater control for the additional runoff from the new impervious areas 2) A permit/inspection hold will be in effect until a sketch of the stormwater controls is provided to Stormwater and approved. 3) A Final Hold will be in effect until: a) Stormwater staff conducts a final inspection. Please note that all areas disturbed by construction must have vegetative cover established at time of final inspection. b) The applicant must provide a final sketch, noting the horizontal extents and volume capacity of the stormwater controls.

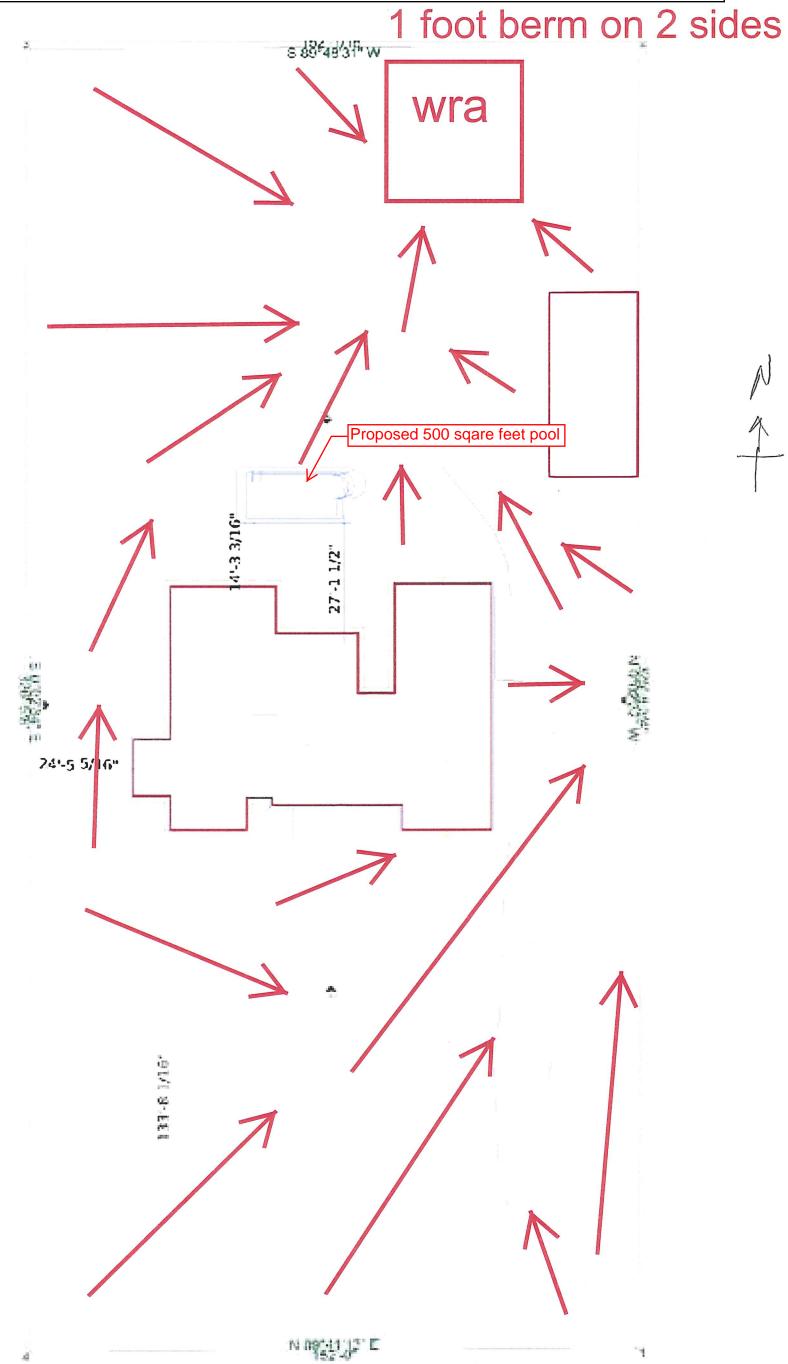
Note: The subject parcel is a 1.1-acre parcel (PID 2970-001-011) in the Huntington subdivision (public roads and public drainage). The existing impervious coverage is 10,867. The proposed pool patio is approximately 500sf for a total of 11,367sf. Staff recommends approval with conditions.

SAPP PROPERTY, MARK & TIFIANY - WAIVER REQUEST HUNTINGTON REVISED PORTION BLOCK A LOT 11 5041 SE 18TH ST OCALA

Project #2021050004 #26708 Parcel #2970-001-011 Permit #2021042059 MARK SAPP







existing water shed conditions and the addition of a WRA

SAPP PROPERTY, MARK & TIFIANY - WAIVER REQUEST **HUNTINGTON REVISED PORTION BLOCK A LOT 11** 5041 SE 18TH ST OCALA

FEMA's Nat Project #2021050004 #26708 Parcel #2970-001-011 Permit #2021042059



SAPP PROPERTY, MARK & TIFIANY - WAIVER REQUEST 141 HUNTINGTON REVISED PORTION BLOCK A LOT 11 5041 SE 18TH ST OCALA Marion County Project #2021050004 #26708 Parcel #2970-001-011 Permit #2021042059 MARK SAPP 2970-001-008 2970-001-003 2970-001-001 2970-001-002 2970+001-003 2970-001-001 2970-001-002 2970-001-003 29700001-003 2970-001-012 2970-001-009 2970-001-010 2970-001-011 2970-001-013



Marion County

Development Review Committee

Agenda Item

File No.: 2021-3175 **Agenda Date: 5/17/2021** Agenda No.: 6.11.

SUBJECT:

OPTIMUM RV DEALERSHIP - WAIVER REQUEST 7400 S US HWY 441 OCALA

Project #2013090004 #26729 Parcel #36547-002-00

Mastroserio Engineering

LDC 6.13.4.D - Recovery Analysis

CODE states all retention/detention areas shall recover the total volume required to meet the discharge volume limitations within 14 days following the design rainfall event.

APPLICANT requests waiver to allow recovery of the proposed stormwater pond via a pumping station and force main equipped with a back up generator in case of power failure. Pumping stormwater to the existing quarry will provide a substantial amount of additional stormwater volume and will further reduce the risk of the flooding impact on 441.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687 RECEIVED

MAY 0 5 2021

Marion County
Office of County Engineer

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

	Date: 05/05/2021 Parcel Number(s):	36547-002-00	Permit Number:	24670	
	mm/dd/yyyy				
A. PROJECT INFORMATION: Fill in below as applicable:					
	Project Name: OPTIMUM RV DEALERSHI	P	Commercial [7]	or Residential	
	Subdivision Name (if applicable):		Commercial 🖸	of Residential L	
	UnitBlockLot				
В.	PROPERTY OWNER'S AUTHORIZATION	ROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below athorizing the applicant to act on the owner's behalf for this waiver request:			
	authorizing the applicant to act on the owner's behalf f	or this waiver request:			
	Property Owner's Name (print): OPTIMUM (DEALERSHIP GRO	OUP, LLC., DENVER B	ECK	
Property Owner's Signature: 7400 S. US HWY 441					
	City: OCALA State: FL	Zip Code:3448	BO Phone # <u>352-396-1</u>	300	
C	ADDITION THE ANTINE OF THE APPLICATION THE APPLICATION TO A PROPERTY OF THE APPLICATION TO A PROPER	toot during this waiver measure	and will massive		
C.	C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will correspondence.				
	Firm Name (if applicable): MASTROSERIO ENGINEERING, INC Contact Name: PAOLO MASTROSERIO				
	Mailing Address: 170 SE 32ND PLACE	City:OCALA	State: FL Zip C	ode: 34471	
	hone # 352-433-2185 Alternate Phone #Alternate Phone #				
	Elliali address. FAOLO@MASTROSERIOLING.COM				
D.	WAIVER INFORMATION:				
	Section & Title of Code: L	DC 6.13.4.D - REC	COVERY ANALYSIS		
	Reason/Justification for Waiver Request: <u>A waiver is requested to allow recovery of the proposed</u>				
	stormwater pond via a pumping station & forcemain equipped with a back up generator in case of				
	power failure. Pumping stormwater to the existing quarry will provide a substantial amount of				
	additional stormwater volume and will further reduce the risk of the flooding impact on 441				
	EVELOPMENT REVIEW USE:				
וע	Received By: CG Date Processed: 5	15/21 Project #	2013090004 AR	# 710779	
	2,1 <u>20,</u> 240 1100 330 41.00	120,000		"- <u></u>	
	ONING USE: Parcel of record: Yes □ No □		apply for Family Division		
	Zoned:ESOZ:P.O.M Land Use:Date:	-	Must Vacate Pl	at: Yes □ No □	
	Land Use: Date:	Verified b	oy:		
ъ	1 - 1 5/0015				

Revised 7/2017

May 13, 2021

PROJECT NAME: OPTIMUM RV DEALERSHIP - WAIVER REQUEST

PROJECT NUMBER: 2013090004 APPLICATION: #26729

6.13.4.D - RECOVERY ANALYSIS

1 DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REMARKS: N/A

2 DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REMARKS: **DISCUSSION REQUIRED**. [Site is in Silver Springs Primary Springs Protection Zone - stormwater quality is a significant concern - will stormwater be adequately treated for nutrient & contaminant removal, etc., before pumping to former quarry site, particularly if waters from Hwy 441 may be introduced and the site will be essentially covered by new and used RV units being sold and/or serviced?]

3 DEPARTMENT: ZONE - ZONING DEPARTMENT

REMARKS: N/A - Defer to OCE

4 DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REMARKS: N/A

5 DEPARTMENT: 911 - 911 MANAGEMENT

REMARKS: N/A

6 DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

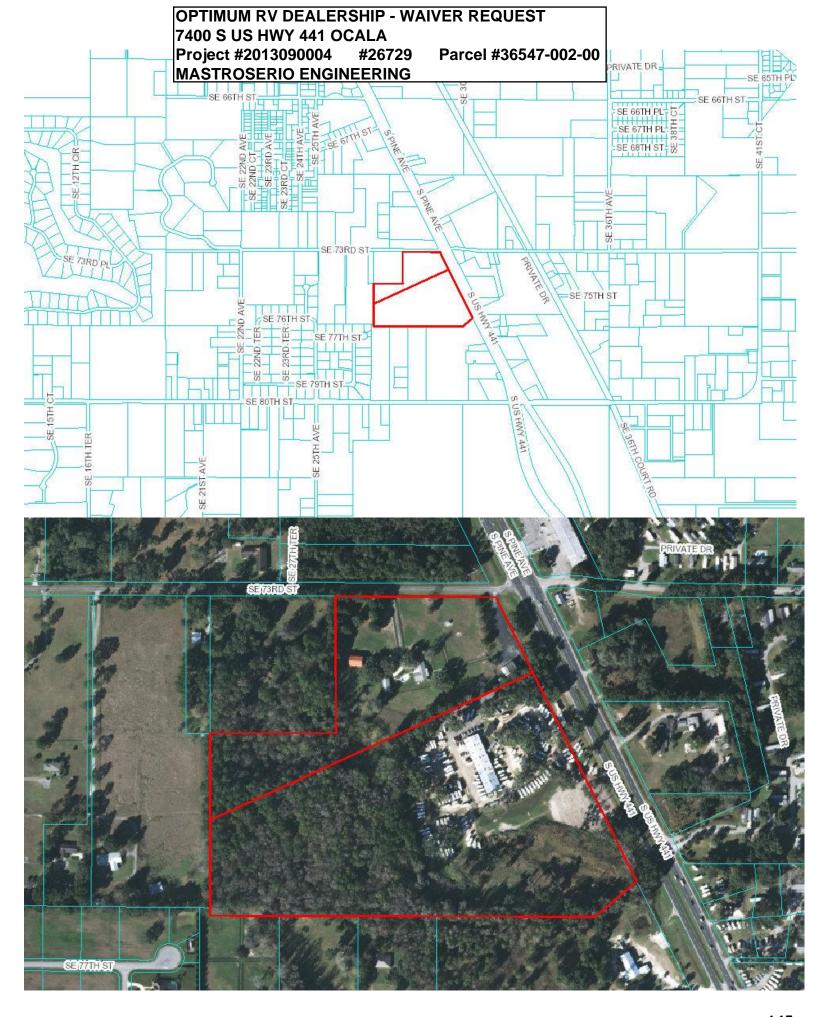
REMARKS: N/A

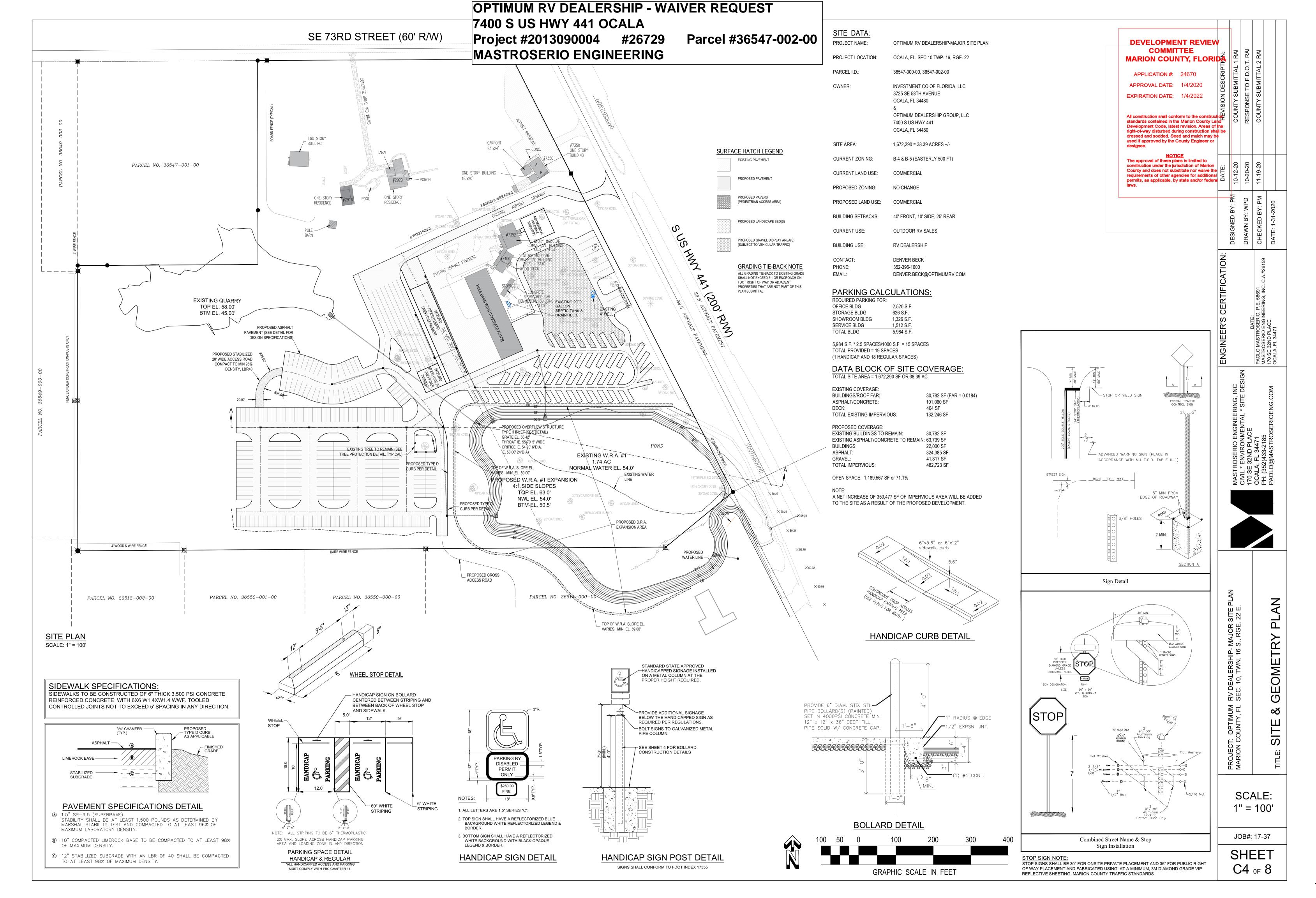
7 DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REMARKS: N/A

8 DEPARTMENT: ENGDRN - STORMWATER REVIEW

REMARKS: **DISCUSSION REQUIRED**. The applicant request the use of a permanent pump for the purposes of recovery. Site has a previously approved site plan which included an overflow (gravity) from the DRA to an abandoned mine. LDC 6.13.8.C(2) specifies that the use of pumps for the transmission of stormwater is not allowed, because pumps can clog, breakdown, lose power, etc, especially during inclement weather. It is staff's understanding that FDOT has requested the use of pumping as a means of recovery.







Marion County

Development Review Committee

Agenda Item

Agenda Date: 5/17/2021 **Agenda No.:** 6.12. File No.: 2021-3176

SUBJECT:

TERRA BELLO - AGRICULTURAL LOT SPLIT 4151 SE 120TH ST BELLEVIEW Project #2020100089 #26621 Parcel #37388-000-00

Rogers Engineering

Initial comments review. Applicant did not meet with staff.

SUBJECT: INITIAL COMMENTS LETTER

PROJECT NAME: TERRA BELLO

PROJECT #2020100089

APPLICATION: AGRICULTURAL LOT SPLIT #26621

Did not meet with staff. DRC 5/17/21.

 DEPARTMENT: 911 - 911 MANAGEMENT REVIEW ITEM: Required Signage Affidavit

STATUS OF REVIEW: INFO

REMARKS: CONDITIONAL APPROVAL contingent upon providing an affidavit affirming that the quadrant street signs have been erected along with any other required signage (i.e. stop signs). Affidavit is to be submitted within 4 weeks of plan approval and prior to the recording of the final approved Ag Lot Split.

2. DEPARTMENT: DOH - ENVIRONMENTAL HEALTH

REVIEW ITEM: Agricultural Lot Split

STATUS OF REVIEW: INFO

REMARKS: n/a

DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Provide mylar and legal documents for recording prior to approval

STATUS OF REVIEW: INFO

REMARKS:

4. DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: 2.16.1.B(8)(f)2 - The easement shall be a private, non-exclusive easement for ingress and egress, allowing public use for emergency, utility and drainage purposes

STATUS OF REVIEW: INFO

REMARKS: The easement shall be a private, non-exclusive easement for ingress and egress, allowing public use for emergency, utility and drainage purposes.

5. DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: 2.16.1.B(8)(g) - A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation

STATUS OF REVIEW: INFO

REMARKS: A County MSBU shall be established for the maintenance of the improvements created by this division prior to final approval and recordation. A waiver to this provision may only be granted by the Board upon review and recommendation by the DRC.

6. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: INFO

REMARKS: Subject property has Low Residential land use. This Ag Lot Split will divide the parent parcel as an exception to plat law. Future divisions, to meet density, will be required to plat and connect to central services.

7. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Agricultural Lot Split

STATUS OF REVIEW: WAIVER REQUESTED WITH COMMENT #15

REMARKS: DISCUSSION REQUIRED: LDC Section 2.16.1(8) requires Ag Lot Splits to be located outside the Urban Growth Boundary (UGB); the basis for concern is to not contribute to creating additional "donut holes" inside the UGB where utilities and resources have to "go around" the extremely low density development that results; comparable to Comp Plan FLUE Policy 2.1.16.3 that prohibits hamlets (that allow even higher low densities) in the UGB. A LDC Waiver is required for this to proceed; this area SE of Belleview has in place a unique development pattern, including a historically established hamlet, and input from the City of Belleview should be obtained to ensure this project as presented is acceptable to the City which is currently the area's identified utility provider.

8. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Agricultural Lot Split

STATUS OF REVIEW: INFO

REMARKS: APPROVED Will require a letter from the City of Belleview for availability and capacity prior to any resulting permit approval.

9. DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Agricultural Lot Split

STATUS OF REVIEW: NO

REMARKS: New road has been named SE 40TH COURT. Be sure to add the new road name to any future submittals.

10. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Agricultural Lot Split

STATUS OF REVIEW: NO

REMARKS: Please provide the Easement Agreement document.

11. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.16.1.B(8)(g) - Copy of approved MSBU ordinance

STATUS OF REVIEW: NO

REMARKS: 5/11/21 - DRC has approved, pending BCC approval. Awaiting outcome of Urban Growth Boundary waiver.

12. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Executed HOA Documents if MSBU waiver approved for recording with ag lot split

STATUS OF REVIEW: NO

REMARKS: 5/11/21 - Pending outcome of waiver request. If waiver approved, provide executed original for review, approval, and recording

13. DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: 2.16.4.C(1) - Legal descriptions, acreage and square footage of the original and proposed lots together with the legal description of any existing or proposed easements.

STATUS OF REVIEW: NO

REMARKS: legal description / sketch doesn't match for Ingress/Egress Utility Easement

14. DEPARTMENT: ENRAA - ACQ AGENT ENG ROW

REVIEW ITEM: 2.16.4.C(2) - Title opinion of an attorney licensed in Florida or a certificate by a licensed title company dated through the date of final approval

STATUS OF REVIEW: NO

REMARKS: Title opinion of an attorney licensed in Florida or a certificate by a licensed title company dated through the date of final approval, showing all persons or entities with an interest of record in the property, including but not limited to, the record fee owners, easement holders, and mortgage and lien holders. The report shall include the tax identification number(s) for the property and copies of all documents such as vesting deeds, existing mortgages and any other documents evidencing an interest in the property which are referenced in the title opinion.

15. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.16.1.B(8) - Agricultural lot splits outside of the Urban Growth Boundary **STATUS OF REVIEW: WAIVER REQUESTED. STAFF SUPPORTS**

REMARKS: Subject parcel within Urban Growth Boundary. Zoning supports Waiver to develop within the UGB.

LDC 2.16.1.B(8) - Agricultural Lot Split Outside the Urban Growth Boundary

CODE states all divisions of land shall be platted in accordance with applicable provisions unless otherwise identified as an exception in this section of code. APPLICANT requests waiver to allow an Agricultural Lot Split inside the Urban Growth Boundary due to this project being just inside it and all surrounding properties are large tracts.

16. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.16.1.B(8)(c) - Verify that property is outside the urban growth boundary and has rural agriculture zoning

STATUS OF REVIEW: WAIVER REQUESTED WITH COMMENT #15

REMARKS: LR land use and within UGB. Zoning supports Waiver for development.



Revised 5/2017

Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

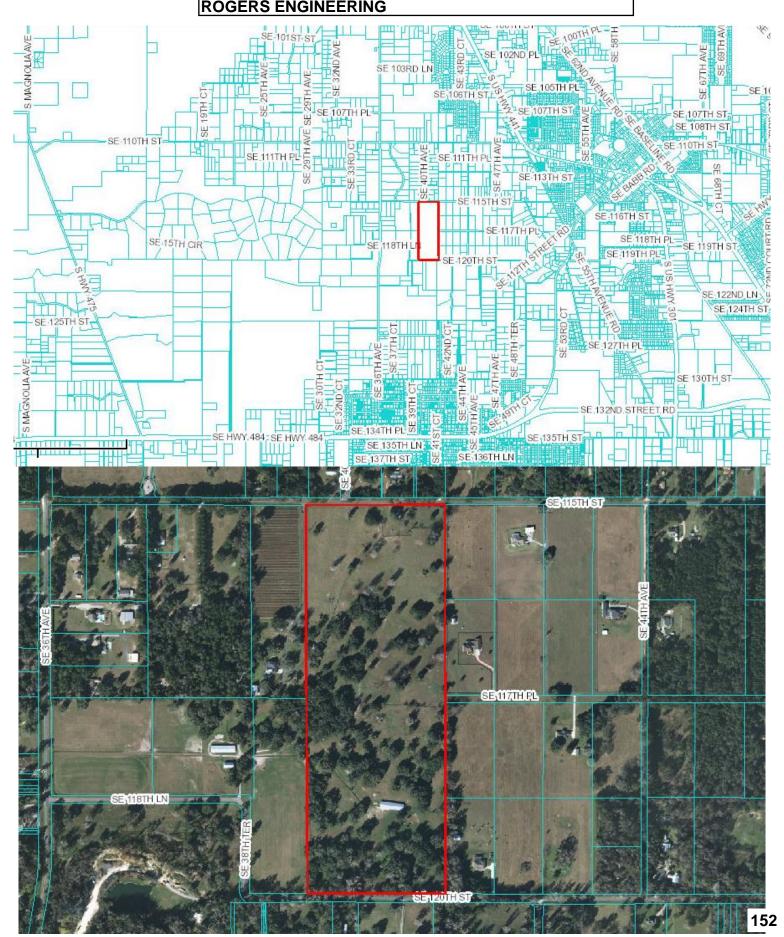
DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

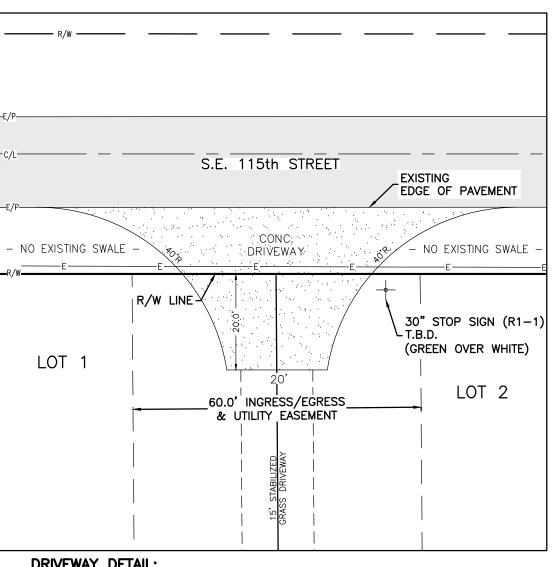
l □ or Residential ☑ er(s) may sign below
er(s) may sign below
2-1885
dney Rogers Zip Code: 34471
Growth Boundary th Boundary due to
_
AR#
rision: Yes ☐ No ☐ e Plat: Yes ☐ No ☐

Empowering Marion for Success

TERRA BELLO - AGRICULTURAL LOT SPLIT 4151 SE 120TH ST BELLEVIEW

Project #2020100089 #26621 Parcel #37388-000-00 ROGERS ENGINEERING





DRIVEWAY DETAIL:

LEGAL DESCRIPTION:

LOT 3

FEET TO THE POINT OF BEGINNING.

TO THE POINT OF BEGINNING.

INGRESS/EGRESS & UTILITY EASEMENT

1. CONCRETE SHALL BE 6" MINIMUM THICKNESS WITH FIBERMESH OVER 8"

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 16,

SOUTHWEST 1/4, A DISTANCE OF 1714.69 FEET; THENCE DEPARTING SAID SOUTH LINE, PROCEED

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 16, RANGE 22 EAST, MARION COUNTY, FLORIDA. THENCE N89°57'58"E, ALONG THE SOUTH LINE OF SAID

SOUTHWEST 1/4, A DISTANCE OF 1714.69 FEET; THENCE DEPARTING SAID SOUTH LINE, PROCEED

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 16, RANGE 22 EAST, MARION COUNTY, FLORIDA. THENCE N89°57'58"E, ALONG THE SOUTH LINE OF SAID

SOUTHWEST 1/4, A DISTANCE OF 1714.69 FEET; THENCE DEPARTING SAID SOUTH LINE, PROCEED

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 16,

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 16, RANGE 22 EAST, MARION COUNTY, FLORIDA. THENCE N89°57'58"E, ALONG THE SOUTH LINE OF SAID

SOUTHWEST 1/4, A DISTANCE OF 1714.69 FEET; THENCE DEPARTING SAID SOUTH LINE, PROCEED NO0°27'25"W, 2638.28 FEET; THENCE S89°59'31"E, 428.75 FEET TO THE POINT OF BEGINNING;

HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 49°40'47"; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE 21.68 FEET (CHORD BEARING AND DISTANCE OF S24°25'01"W, 21.00

60.00 FEET AND A CENTRAL ANGLE OF 279°21'34"; THENCE EASTERLY ALONG THE ARC OF SAID

FEET) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTH, HAVING A RADIUS OF

CURVE 292.54 FEET (CHORD BEARING AND DISTANCE OF N89°34'37"E, 77.65 FEET) TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHEAST, HAVING A RADIUS OF 25.00 FEET AND A

CENTRAL ANGLE OF 49°40'47"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE 21.68 FEET

(CHORD BEARING AND DISTANCE OF N25'15'47"W, 21.00 FEET); THENCE N00'25'23"W, 884.99 FEET;

THENCE S00°25'23"E, 885.45 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHWEST,

RANGE 22 EAST, MARION COUNTY, FLORIDA. THENCE N89°57'58"E, ALONG THE SOUTH LINE OF SAID SOUTHWEST 1/4, A DISTANCE OF 1714.69 FEET; THENCE DEPARTING SAID SOUTH LINE, PROCEED NO0°27'25"W, 737.22 FEET; THENCE S89°59'31"E, 457.63 FEET TO THE POINT OF BEGINNING; THENCE N00°25'23"W, 951.03 FEET; THENCE S89°59'31"E, 458.19 FEET; THENCE S00°23'22"E, 951.02 FEET;

NO0°27'25"W, 737.22 FEET TO THE POINT OF BEGINNING; THENCE NO0°27'25"W, 951.03 FEET; THENCE S89°59'31"E, 458.19 FEET; THENCE S00°25'23"E, 951.03 FEET; THENCE N89°59'31"W, 457.63 FEET

THENCE N00°25'23"W, 950.03 FEET; THENCE S89°59'31"E, 458.75 FEET; THENCE S00°23'22"E, 950.02

N00°27'25"W, 1688.25 FEET; THENCE S89°59'31"E, 458.19 FEET TO THE POINT OF BEGINNING;

FEET; THENCE N89°59'31"W, 458.19 FEET TO THE POINT OF BEGINNING.

THENCE N89°59'31"W, 457.63 FEET TO THE POINT OF BEGINNING.

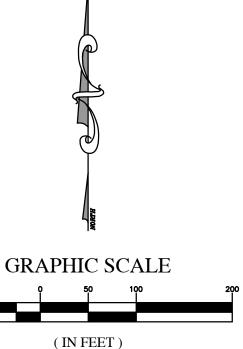
THENCE N89°59'31"W, 60.00 FEET TO THE POINT OF BEGINNING.

NO0°27'25"W, 1688.25 FEET TO THE POINT OF BEGINNING; THENCE NO0°27'25"W, 950.03 FEET;

RANGE 22 EAST, MARION COUNTY, FLORIDA. THENCE N89°57'58"E, ALONG THE SOUTH LINE OF SAID

THENCE S89°59'31"E, 458.75 FEET; THENCE S00°25'23"E, 950.03 FEET; THENCE N89°59'31"W, 458.19

- STABILIZED SUBGRADE (LBR 40 09% DENSITY). 2. A SEPARATE DRIVEWAY PERMIT IS REQUIRED FOR THE CONSTRUCTION OF
- THE DRIVEWAY. 3. SEE GENERAL NOTE #6 BELOW.



(IN FEET) HORIZ. 1 inch = 100 ft.

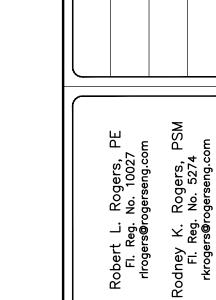
LEGEND

TOWNSHIP EDGE OF PAVEMENT RIGHT OF WAY CENTER LINE

BCC EASEMENT BOOK

SE 107th PI

LOCATION MAP



~

- 1. BEARINGS ARE BASED ON AN ASSUMED DATUM, MORE PARTICULARLY THE EAST LINE OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 16 SOUTH, RANGE 22 EAST, MARION COUNTY, FLORIDA, AS BEING
- 3. PERTAINING TO LOTS 1 & 2, THERE SHALL BE NO DRIVEWAY CONNECTIONS TO S.E. 115th STREET OTHER THAN THE COMMON DRIVEWAY WITHIN THE 60 FEET WIDE EASEMENT.
- 5. THERE SHALL BE NO FENCES CONSTRUCTED WITHIN THE NON-EXCLUSIVE INGRESS/EGRESS & UTILITY
- 6. THE STOP SIGN & STREET SIGNS MUST BE INSTALLED ON A 2"x2" SQUARE POST, 14 FT. IN LENGTH, 14 GAUGE, 4 lbs/FT, IN ACCORDANCE WITH DETAILS TO30 THROUGH TO32 AS STATED IN THE MARION COUNTY LAND DEVELOPMENT REGULATIONS.
- 7. THIS ENTIRE PROPERTY LIES IN A ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY NUMBER 120160, PANEL 0737, SUFFIX D, WITH AN EFFECTIVE DATE OF 8/28/2008.
- 9. THE MARION COUNTY BOARD OF COUNTY COMMISSIONERS SHALL HAVE NO DUTY OR RESPONSIBILITY WHATSOEVER IN THE MAINTENANCE OF THE INGRESS/EGRESS & UTILITY EASEMENT.
- 10. AT THE TIME THE SUBDIVISION ROAD IS IMPROVED, WHETHER BY ASPHALT, LIMEROCK OR SIMILAR IMPERVIOUS MATERIALS, IT SHALL BE NECESSARY TO PROVIDE A PLAN TO ADDRESS STORMWATER RUNOFF. THE PLAN MUST BE SUBMITTED TO AND APPROVED BY THE MARION COUNTY STORMWATER PROGRAM PRIOR
- 11. THE EASEMENT SHOWN AND DESCRIBED HEREON IS ADDRESSED IN DETAIL IN THE DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS FOR TERRA BELLO AS RECORDED IN OFFICIAL RECORDS BOOK _____, PAGE _____ PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

- S00°23'22"E; BASED ON A BOUNDARY SURVEY OF THE PARENT PARCEL PREPARED BY THIS FIRM.
- 2. LOTS 1 THROUGH 4 SHALL FRONT ON THE COMMON DRIVEWAY WITHIN THE NON-EXCLUSIVE EASEMENT AND DRIVEWAYS CONNECTING TO IT SHALL MEET THE DRIVEWAY SPACING REQUIREMENTS ESTABLISHED BY
- 4. THE LEGAL DESCRIPTIONS SHOWN HEREON WERE WRITTEN BY THE SURVEYOR.
- EASEMENT AS SHOWN AND DESCRIBED HEREON. THIS INCLUDES THE EMERGENCY VEHICLE TURN-AROUNDS.
- 8. THIS AGRICULTURAL LOT SPLIT PLAN DOES NOT REPRESENT A PLAT OR BOUNDARY SURVEY

RODNEY K. ROGERS DATE PROFESSIONAL SURVEYOR & MAPPER REGISTRATION NO. 5274 STATE OF FLORIDA

JOB No. 21_37288-000-00 4-7-2021

1" = 100'

1 OF 1



Marion County

Development Review Committee

Agenda Item

Agenda Date: 5/17/2021 File No.: 2021-3177 **Agenda No.:** 6.13.

SUBJECT:

NEIGHBORHOOD STORAGE CENTER #2 OUTDOOR GRASS STORAGE EXPANSION - MAJOR SITE PLAN

Project #2021010043 #26062 Parcel #31416-000-00

Kimley-Horn & Associates

Initial comments review. Applicant met with staff on February 11, 2021.

FEBRUARY 8, 2021

SUBJECT: INITIAL COMMENTS LETTER

PROJECT NAME: NEIGHBORHOOD STORAGE CENTER #2 OUTDOOR GRASS STORAGE

EXPANSION

PROJECT #2021010043

APPLICATION: MAJOR SITE PLAN #26062

Met with staff 2/11/21. DRC 5/17/21.

1. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: Prior to construction, please have the contractor provide a copy of the NPDES permit or NOI.

2. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Copy of District Permit (County Interest)

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: Prior to construction, please provide a copy of the District permit.

3. DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.11 - Turn lanes

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS:

4. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: 2/8/21 -Add waivers if requested in the future

5. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

6. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities comments

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: Development for parking only; generates no flows. Future improvements requiring water or sewer shall require development to connect to existing and available water and sewer through standard connections.

DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: 6.18.2 - Fire Flow/Fire Hydrant

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: This comment is to verify that the existing hydrant is accessible to SE 38th Street. If the hydrant is located on the inside of the fence on private property, the hydrant will need to be relocated.

8. DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: 6.18.3 - Gated Communities/Properties

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: The project contains a gate for access to the property. Per Marion County Land Development Code Section 6.18.3 a siren activated gate shall be provided for emergency vehicular access. Please note on the plans the gate will be siren activated. The gate will need to be a minimum of 20 feet in width. The gate on the plans appear to be 20 feet in width. Please note the following on page C03.

DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: NFPA 1 Chapter 18.2.3 - Fire Dept Access Roads

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: Plans page C03 show stabilized area on the ends of the parking area. Will need to post no parking fire department access road signage to ensure fire department turn around access is maintained and accessible.

10. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.24 - Landscape requirements/6.8.6 - Buffering

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: Demo plan shows 15' Type C buffer along north property line only. Zoning recommends to DRC to include Type D buffer along the east project area boundary, near the A-1 zoned property to the NE.

11. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(10) - Parking requirements, service entrances, space size paved parking isle and access to parking area/6.11.8 - Off-street parking requirements/6.11.7 - Loading Areas/ 6.11.6 - Construction access/route

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: Will the dirt road access off SE 38th Street be paved or lighted?

12. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 5.2 & 5.3 - Verify any overlay zones such as ESOZ, Springs Protection, or Flood Plain

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: Subject property located in Primary SPOZ.

13. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2 A(1)/(2) - Contributing Basins/Tc

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: Please call out the post-development drainage basin, and label size, on Sheet C03.

14. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters

STATUS OF REVIEW: ENGINEER ACKNOWLEDGED INFO COMMENT

REMARKS: Please provide a DRA cross section detail per LDC6.13.2.A with DHW and ESWHT labeled.

15. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(6) - Freeboard

STATUS OF REVIEW: WAIVER REQUESTED. STAFF SUPPORTS SUBJECT TO INSTALLING AN EMERGENCY OVERFLOW TO THE FDOT POND

REMARKS: Waiver to the 6" freeboard requirement is required.

LDC 6.13.2.B(6) - Freeboard

CODE states a minimum freeboard of six inches shall be provided for all retention/detention areas.

APPLICANT requests waiver because a long, shallow swale is proposed and therefore 6" freeboard is not applicable.

16. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(9) - Access Accommodates Stormwater

STATUS OF REVIEW: FURTHER DISCUSSION NEEDED

REMARKS: North driveway appears to be unpermitted. Please show an improved driveway apron to be constructed. Stormwater in the right-of-way needs to be accommodated with a culvert or paved swale.

17. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(11)(a) - Construction Entrance

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please show the proposed location for the soil tracking prevention device, and provide a detail.

18. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(12)/6.12.5 - Stormwater Details, Cross Sections, References

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: 1) Please provide a cross section detail or add the geotech description of how to prepare/mix the limerock and native sands to an 8" depth. 2) Please be advised that permanent vegetative cover must be established over the stabilized area at time of final inspection.

19. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide the Karst Analysis.

20. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.12 - Operation and Maintenance

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide the O&M document with Owner's Certification for the retention swale. Please also include direction in the O&M document that the parking area needs to remain permanently vegetated, and vegetation needs to be re-established periodically.

21. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

22. DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: Additional Traffic comments

STATUS OF REVIEW: WAIVER REQUESTED

REMARKS: 02/03/21 - All parking areas are required to be paved. Staff supports a waiver.

LDC 6.11.8.E - Off-Street Parking

CODE states all off-street parking areas shall be paved for all developments, except as listed in the LDC.

APPLICANT requests waiver because they are proposing to match the existing outdoor grass parking lot.

23. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: 2/8/21 - Due with resubmittal

24. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.C - Name, address, phone number, and signature of owner and applicant on front sheet

STATUS OF REVIEW: ENGINEER WILL COMPLY

S OF REVIEW: NO

REMARKS: 2/8/21 - Add owner's phone number

25. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.I & 6.2.1.D - Index of sheets and numbering

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: 2/8/21 - Survey not listed on index

26. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County Utilities

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: \$130

27. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Additional Planning Items:

STATUS OF REVIEW: WILL COMPLY

REMARKS: The proposed use is located on a separate property from the existing mini-storage use. Unless this site is combined with the adjoining property, this facility is considered a "stand-alone" use and must include appropriate supporting improvements - e.g., formal driveway, DOH required support facilities, etc.

28. DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Sheets C02, C03, C04 are missing the written scale.

29. DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.2.1.A - The name, street address, signature, date, license number, and seal of the responsible professional shall be shown on each plan sheet.

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide on survey.

30. DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.A(1) - Show a minimum of two bench marks per site

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide.

31. DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.A(2 & 3) - Bench mark information shown

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide.

32. DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.A(2 & 3) - One copy of the vertical control field notes shall be submitted to the Office of the County Engineer for review

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide.

33. DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.B(4) - One copy of the horizontal control notes along with reduction reports shall be submitted to the Office of the County Engineer for review

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide.

34. DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.D - The location of the existing one percent (100-year) flood plain as shown on FEMA FIRM, with zone, elevation, and vertical datum noted

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please include the location of the existing one percent flood plain on the survey.

35. DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 6.4.7.D - A note shall appear on the construction plans detailing source and survey field methods used to obtain and delineate the flood plain line shown

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide.

36. DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.4.F.(2) - Surveyor and Mapper certification

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide.

37. DEPARTMENT: ENGSUR - SURVEY REVIEW

REVIEW ITEM: 2.12.11 - Provide an aerial map of the site with a layout of the development

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please overlay sheet C03 onto an aerial.

38. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 2.12.18 - All trees 10" DBH and larger

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Show all trees 10" and larger

39. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.3 - Tree protection

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: show tree protection

40. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: provide shade tree calculations

41. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.6 - Tree removal submittal requirements

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Show all tree to be removed and to remain

42. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.8 - Protected tree replacement requirements

STATUS OF REVIEW: WAIVER REQUESTED

REMARKS: show tree protection detail

LDC 6.7.8.A - Tree Replacement of 100" DBH/acre

CODE states replacement is not required where the property owner retains existing trees on the site which total an average of 100 inches DBH per acre. If replacement is necessary, a minimum of 100 inches DBH per acre on the average shall be achieved. APPLICANT requests waiver because landscape architect's plan shows a major buffer along the street to the north.

43. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.9 - Replacement trees; general requirements

STATUS OF REVIEW: WAIVER REQUESTED

REMARKS: provide tree mitigation calculations

LDC 6.7.9 - Replacement Trees

CODE states replacement trees are a part of the comprehensive tree program and shall work in combination with required shade trees, buffer trees, and any other required landscaping.

APPLICANT requests waiver because landscape architect's plan shows a major buffer along the street to the north.

44. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide landscape plan

45. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.3 - Landscape design standards

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide landscape plan

46. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.4 - Landscape area requirements for non-residential development

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide landscape plan

47. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide landscape plan

48. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.7 - Parking areas and vehicular use areas

STATUS OF REVIEW: WAIVER REQUESTED

REMARKS: Provide landscape plan

LDC 6.8.7.C - Parking Lot Islands Requirement

CODE states that a landscaped parking lot island shall be located every 10 parking spaces and shall be a minimum of 200 square feet in size with properly drained soils. APPLICANT requests waiver because the site plan proposes grass parking.

49. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.9 - Service and equipment areas

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide landscape plan

50. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.13.3.D(4) - Landscaping of private stormwater management facilities

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide landscape plan

51. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.10 - General planting requirements (specifications)

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide landscape plan

52. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.11 - Landscape installation

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide landscape plan

53. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION REVIEW ITEM: 6.8.12 - Landscape completion inspection requirements

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide landscape plan

54. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)

STATUS OF REVIEW: FURTHER DISCUSSION NEEDED

REMARKS: Provide irrigation plan

55. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.3 - Irrigation design standards

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide irrigation plan

56. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.5 - Irrigation system installation

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide irrigation plan

57. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.6 - Completion inspection requirements

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Provide irrigation plan

58. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.19.3 - Outdoor lighting plan requirements

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Will there be outdoor lighting? if so, a photometric plan is required

59. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.19.4 - Exterior lighting design standards

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS:

60. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.32/6.5.4 - Modified environmental assessment or exemption if information is available to the county to indicate no habitat or existence of endangered species or vegetation

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Please provide Assessment.

61. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 4.4.4 -Sign (provisions for advertising signage), if it is a multi occupancy complex like shopping centers they must submit a master sign plan.

STATUS OF REVIEW: ENGINEER WILL COMPLY

REMARKS: Will there be any additional signage? If so, please show approximate location.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

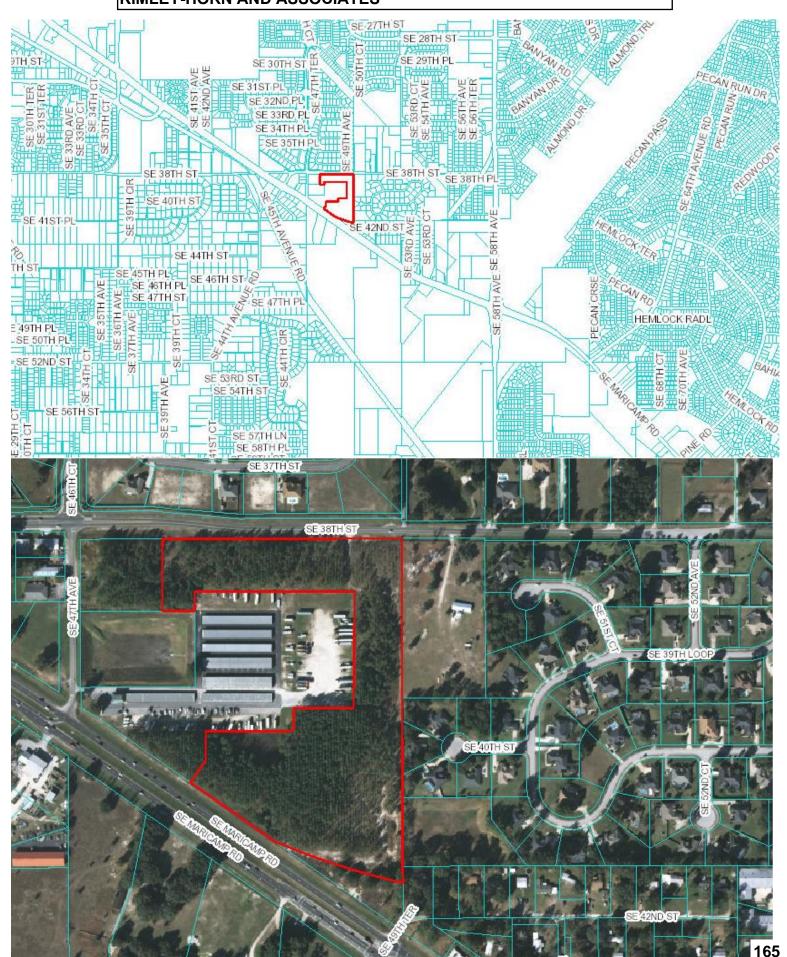
Date: 05/11/2021 Parcel Number(s):	Portion of 31416-000-00	Permit Number:	26062	
A. PROJECT INFORMATION: Fill in below	v as applicable:			
Project Name: NSC 2 Outdoor Grass Stor	rage Expansion	Commercial 7 or	r Residential	
Subdivision Name (if applicable):				
UnitBlockLot				
B. PROPERTY OWNER'S AUTHORIZ A sign below, authorizing the applicant to act on the			nay	
Property Owner's Name (print): Shirley B	. Rudnianyn & Ocala Wareh	ouse Company		
Property Owner's Signature:				
Property Owner's Mailing Address: 2441	NE 3rd Street, Suite 201			
City: Ocala State:	FL Zip Code: 34470	_Phone #(352) 6	629-6101	
C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process. Letters will be faxed or emailed to the applicant. Firm Name (if applicable): Kimley-Horn and Associates, Inc. Contact Name: Joseph C. London Mailing Address: 101 E Silver Springs Blvd City: Ocala State: FL Zip Code: 34470				
Phone # (352) 438-3000	Alternate Phone #_			
FAX Number or Email address: joe.londo	n@kimley-horn.com			
D. WAIVER INFORMATION: Section & Title of Code: Reason/Justification for Waiver Request: street to the north.	6.7.8.A Tree Replaceme See landscape architect's p	ent of 100" DBH/acre blan which shows major	buffer along	
		(Attach sheet 3 fo	r additional waivers)	
EOD STAFF HSE ONLY.				
FOR STAFF USE ONLY: Received By:Date Pr	ocessed:Project	et #	_AR #	
Zoning Use: Parcel of record: Yes No Zoned: ESOZ: Must Vac Land Use: Date:	ate Plat: Yes No Date:	Verific		

"Meeting Needs by Exceeding Expectations"

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM CONTINUED

Section & Title of Code: 6.7.9 Replacement Trees
Reason/Justification for Waiver Request: See landscape architect's plan which shows major buffer along
street to the north.
2070
Section & Title of Code: 6.8.7.C Landscape Islands Reason/Justification for Waiver Request: The site plan proposes grass parking.
Reason/Justification for Waiver Request: Ine site plan proposes grass parking.
G. 44.0 F. All Darking Areas are Derivined to be Davied
Section & Title of Code: 6.11.8.E - All Parking Areas are Required to be Paved Reason/Justification for Waiver Request: We are proposing to match the existing outdoor grass parking lot.
Reason/Justification for Waiver Request: we are proposing to match the existing outdoor grass parking lot.
G . C . Titl. C G . 1
Section & Title of Code: 6.13.2.B.(6) - A Minimum 6" Freeboard Shall be Provided Reason/Justification for Waiver Request: We have a long, shallow swale proposed and therefore 6" freeboard
Reason/Justification for Waiver Request: we have a long, shallow swale proposed and therefore of freeboard
is not applicable.
Section & Title of Code: Description for Weisser Possests
Reason/Justification for Waiver Request:
Section & Title of Code:
Reason/Justification for Waiver Request:
Section & Title of Code:
Reason/Justification for Waiver Request:

NSC #2 OUTDOOR GRASS STORAGE EXPANSION - MAJOR SITE PLAN Project #2021010043 #26062 Parcel #31416-000-00 KIMLEY-HORN AND ASSOCIATES





NSC 2 OUTDOOR GRASS STORAGE EXPANSION

FOR SHIRLEY B. RUDNIANYN & OCALA WAREHOUSE COMPANY

MARION COUNTY, FLORIDA

SECTION 36, TOWNSHIP 15 SOUTH, RANGE 22 EAST

JANUARY 2021

- NOTIFICATION TO AND APPROVAL OF BOTH THE OFFICE OF THE COUNTY ENGINEER AND
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND COVER OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCY TO THE PROJECT ENGINEER. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS. CAUTION IS ADVISED PRIOR TO DIGGING.
- 3. TYPE III SILT FENCE SHALL BE INSTALLED AS SHOWN ON THESE PLANS PRIOR TO ANY CONSTRUCTION, MAINTAINED DURING THE LIFE OF THE PROJECT, AND REMOVED FOLLOWING
- 4. THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 48 HOURS OF EACH OCCURRENCE.
- GRASS PARKING AREA SHALL BE ON STABILIZED SUBGRADE (40 LR. 98% MAX DENSITY) CONSTRUCTION REQUIREMENTS OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SHALL GOVERN
- CONCRETE WHEEL STOPS INSTALLED FLUSH WITH THE GROUND. SEE DETAIL ON SHEET CO2.

ANY DISTURBED AREAS LEFT UNPAVED OR UNMULCHED SHALL BE FINISH GRADED AND SEEDED

- AND MULCHED WITH ARGENTINE BAHIA
- 8. IF A SINKHOLE SHOULD FORM ON THIS SITE, ALL APPLICABLE REPAIR PROCEDURES SHALL BE FOLLOWED AS OUTLINED IN TYPICAL SINK CHIMNEY REPAIR DETAIL SHOWN HEREON. ALSO, MARION COUNTY AND SWFWMD SHALL BE NOTIFIED IMMEDIATELY.
- 9. KIMLEY-HORN ENGINEERING & ASSOCIATES, INC. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ON-SITE SAFETY DURING CONSTRUCTION.
- 10. THE SITE CONTRACTOR SHALL INCLUDE THE PROVISION OF A COMPREHENSIVE AS-BUILT SURVEY FOR THE ENTIRE PROJECT IN HIS CONTRACT. THIS SURVEY MUST BE PERFORMED BY A FLORIDA REGISTERED LAND SURVEYOR (FIELD AND OFFICE WORK) AND PROVIDED TO THE PROJECT ENGINEER IN BOTH PDF AND ACAD FORMATS PRIOR TO C.O.

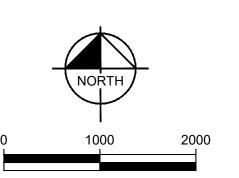
OPERATION AND MAINTENANCE INSTRUCTIONS:

AS REQUIRED BY SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT, AS OWNER, YOU AND YOUR SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE PROPOSED DRAINAGE FACILITIES FOR THIS SITE. ANY TRASH OR DEBRIS SHALL BE REMOVED FOLLOWING EACH STORM. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED EVERY (6) MONTHS TO DETERMINE THE NEED FOR ANY REPAIR OR CLEARANCE OF SEDIMENT. SEDIMENT SHOULD BE REMOVED FROM THE STRUCTURES WHEN IT ACCUMULATES TO A POINT AT WHICH CONVEYANCE VOLUMES ARE REDUCED BELOW DESIGN LEVELS.

IN ADDITION, YOU OR YOUR DESIGNATED REPRESENTATIVE SHALL INSPECT THE RETENTION POND(S) ON A WEEKLY BASIS FOR THE FORMATION OF SINKHOLES. SHOULD A SINKHOLE FORM, YOU MUST FOLLOW ALL APPLICABLE PROCEDURES OUTLINED BY THE TYPICAL SINK CHIMNEY REPAIR DETAIL SHOWN ON THESE PLANS. AT SUCH TIME, YOU MUST ALSO NOTIFY THE SWFWMD WITHIN 48 HOURS OF DISCOVERY OF SAID SINKHOLE, AND SUBMIT A DETAILED REPAIR PLAN FOR WRITTEN APPROVAL WITHIN 30 DAYS OF SAID DISCOVERY. ANY CHANGES TO THE TYPICAL SINK CHIMNEY REPAIR DETAIL AS SHOWN ON THE ENGINEERING PLANS SHALL BE DETERMINED AT THIS TIME BASED ON ACTUAL CONDITIONS.

WAIVER REQUESTED			
CODE SECTION	WAIVERS REQUESTED	APPROVAL CONDITIONS	DATE
6.11.4.B(2)	_	_	_
6.12.12.D	_	_	_
6.13.4.C(6)	_	_	_
6.13.8.B(7)	_	_	_





SCALE AS SHOWN

GENERAL STATEMENT:

THE CHARACTER AND INTENDED USE OF THIS DEVELOPMENT SHALL BE TO CONSTRUCT A SMALL OFFICE BUILDING ALONG WITH OTHER BUILDINGS FOR A MINI-WAREHOUSE STORAGE FACILITY, TOGETHER WITH ALL REQUIRED IMPROVEMENTS AS SHOWN HEREON.

STANDARD NOTES:

- 1. REPRODUCTION OF THESE PLANS IS NOT VALID UNLESS SIGNED BY THE ENGINEER IN RESPONSIBLE CHARGE AND SEALED WITH RAISED EMBOSSED SEAL.
- 2. COPIES OF THESE PLANS AS DESIGNED BY THE PROFESSIONAL ENGINEER HAVE BEEN RETAINED BY THE ENGINEER AND HE WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSEQUENT UNAUTHORIZED CHANGES TO THE REPRODUCIBLE ORIGINAL

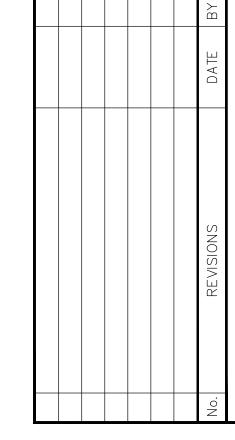
STATEMENT OF OWNERSHIP & CERTIFICATION

THIS IS TO HEREBY CERTIFY THAT WE, OUR SUCCESSORS AND ASSIGNS, SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS DESCRIBED IN THE OPERATION AND MAINTENANCE INSTRUCTIONS, AND AS SHOWN ON THESE PLANS.

TODD RUDNIANYN, MANAGER

DRAWING INDEX

C01 - MAJOR SITE PLAN COVER C02 - MAJOR SITE PLAN DEMOLITION C03 - MAJOR SITE PLAN LAYOUT & GRADING C04 - MAJOR SITE PLAN S.W.P.P.P.



LEGAL DESCRIPTION:

PER TITLE COMMITMENT FILE NO. 2016-AMERIS BANK-MARICAMP ROAD LLC, ISSUED BY

A PARCEL OF LAND IN SECTION 36, TOWNSHIP 15 SOUTH, RANGE 22 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

NORTHERLY RIGHT-OF-WAY LINE 525.69 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE N.34*41'29"E., 109.03 FEET; THENCE N.00°03'08"E., 117.12 FEET THENCE N.89*52'28"E., 346.79 FEET; THENCE N.01*17'10"E., 90.69 FEET; THENCE S.89°33'32"E., 235.33 FEET; THENCE N.00°30'12"E., 459.81 FEET; THENCE N.89°51'46"W. 630.92 FEET; THENCE S.00°04'50"E, 79.27 FEET TO THE POINT OF BEGINNING

SITE DATA:

STABILIZATION AREA..

NSC 2 OUTDOOR GRASS STORAGE EXPANSION PROJECT LOCATION .. · 4701 S.E. MARICAMP ROAD OCALA, FL 34480 SHIRLEY B. RUDNIANYN & OCALA WAREHOUSE COMPANY 2441 NE 3RD STREET SUITE 201 OCALA, FL 34470 PARCEL ACCT. NO. PORTION OF 31416-000-00 IMPERVIOUS AREA. \cdots 0 S.F. = 0% (PRE-DEVELOPMENT) 0 S.F. = 0% (POST-DEVELOPMENT) ..121,158 S.F. = 72.0%

CONCURRENCY DEFERRAL NOTE:

THIS PROJECT HAS NOT BEEN GRANTED CONCURRENCY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION, AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

SURVEY:

CONTACT: R.M. BARRINEAU & ASSOCIATES, INC. 1309 S.E. 25TH LOOP, SUITE 103 OCALA, FLORIDA 34471 phone: (352) 622-3133

> SEE TOPOGRAPHIC SURVEY BY R.M. BARRINEAU & ASSOCIATES, INC. FOR BEARINGS & DISTANCES, MONUMENTATION, SECTION DATA, DATUM, FENCES,

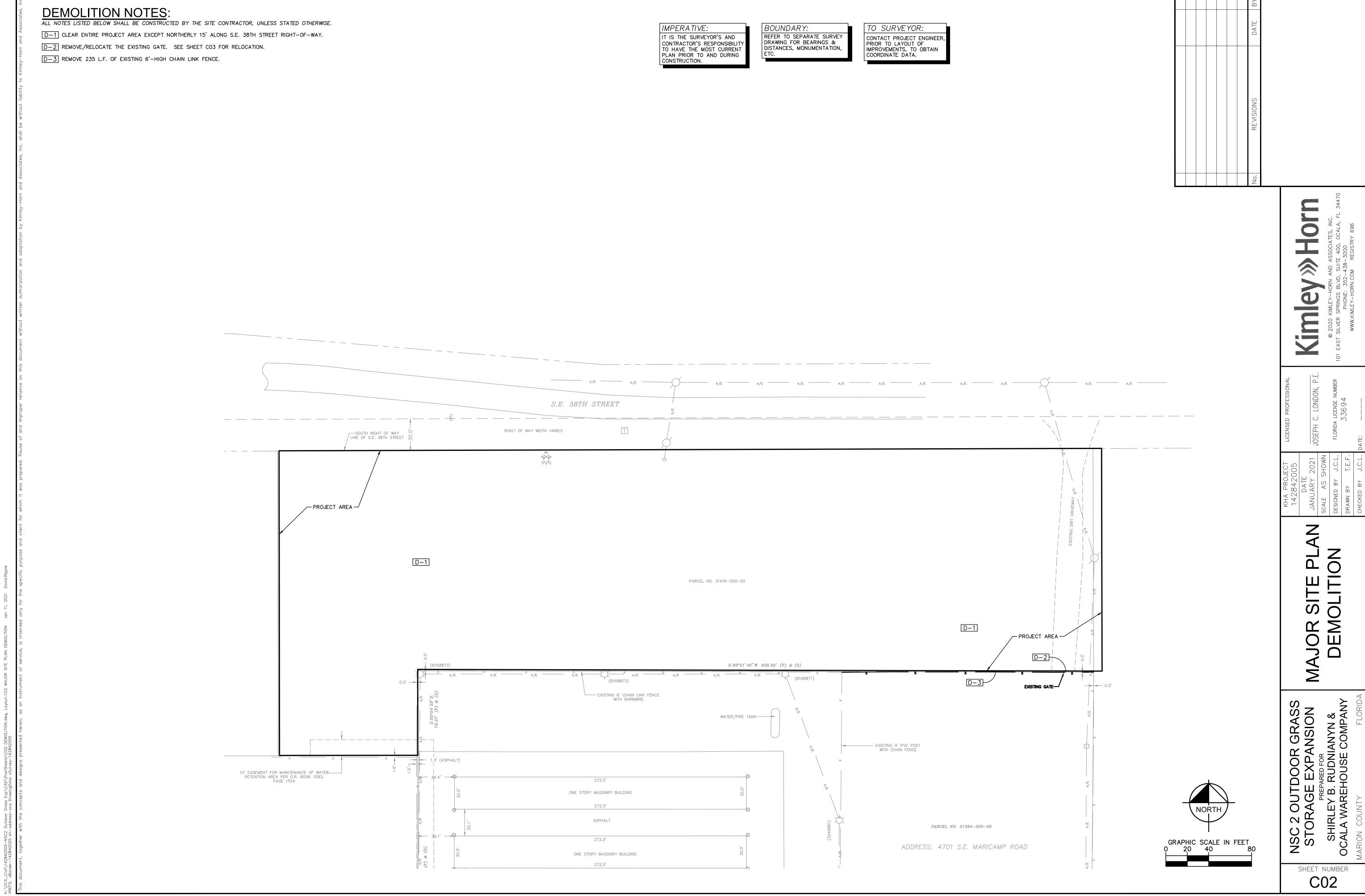
NOTES, AND SURVEYOR'S CERTIFICATION.

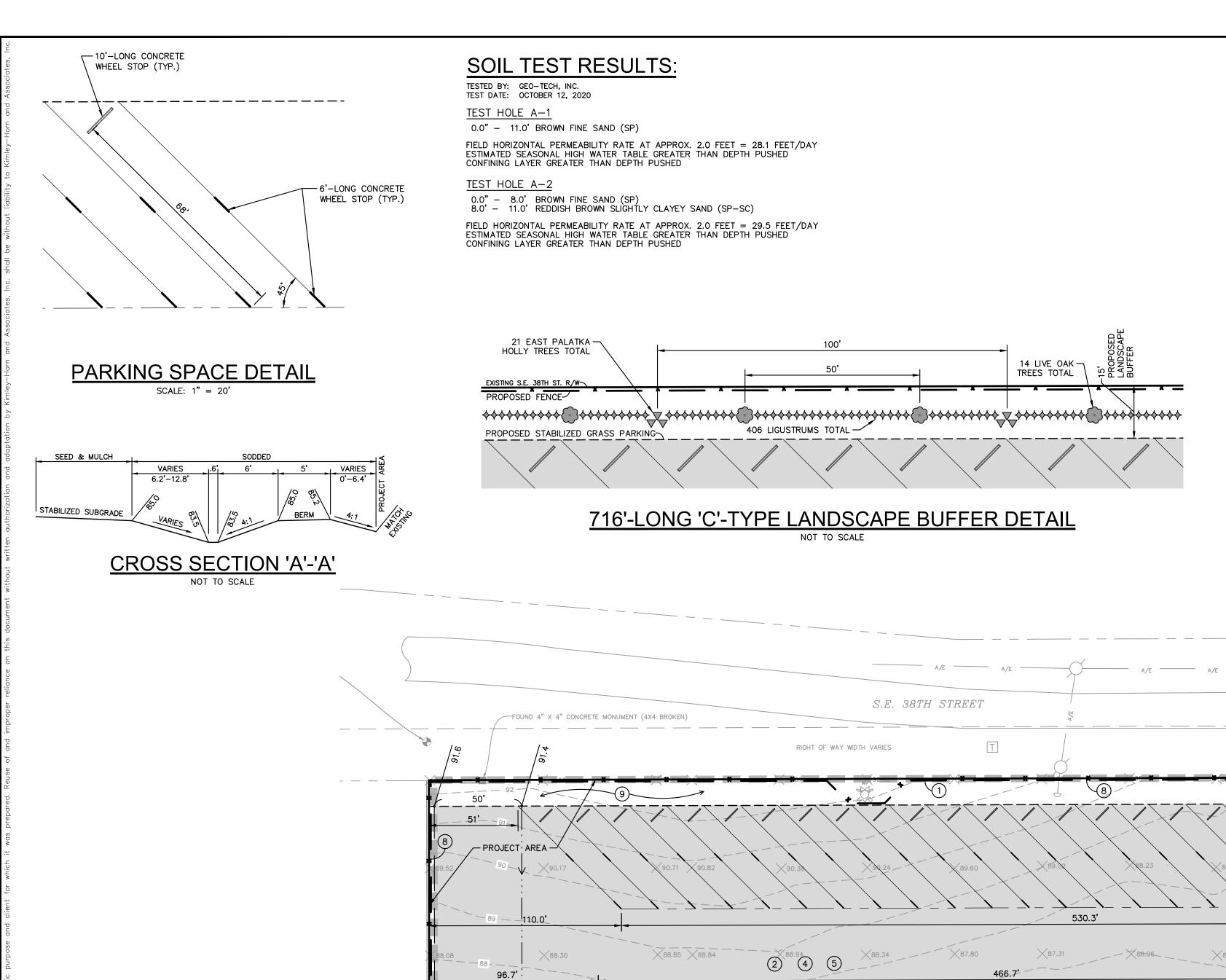
ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY "LAND DEVELOPMENT CODE" EXCEPT AS WAIVED, THAT THE ADJACENT PROPERTIES WILL BE PROTECTED FROM STORMWATER DAMAGE AS A RESULT OF THIS PROPOSED DEVELOPMENT, THAT THE DRAINAGE FACILITIES INCORPORATED HEREON ARE SUFFICIENT IN SIZE, AND THAT SIGHT DISTANCE AT DRIVEWAYS COMPLY WITH A.A.S.H.T.O. AND THE F.D.O.T. SITE IMPACT HANDBOOK. I FURTHER CERTIFY THAT THIS PLAN MEETS ALL REQUIREMENTS OF THE F.D.E.P. AND S.W.F.W.M.D.

OF KIMLEY-HORN AND ASSOCIATES, INC.

SHEET NUMBER C01





IMPERATIVE:

IT IS THE SURVEYOR'S AND
CONTRACTOR'S RESPONSIBILITY
TO HAVE THE MOST CURRENT
PLAN PRIOR TO AND DURING
CONSTRUCTION.

BOUNDARY:

REFER TO SEPARATE SURVEY
DRAWING FOR BEARINGS &
DISTANCES, MONUMENTATION,
ETC.

TO SURVEYOR:

CONTACT PROJECT ENGINEER,
PRIOR TO LAYOUT OF
IMPROVEMENTS, TO OBTAIN
COORDINATE DATA.

CONSTRUCTION NOTES:

ALL NOTES LISTED BELOW SHALL BE CONSTRUCTED BY THE SITE CONTRACTOR, UNLESS STATED OTHERWISE.

(1) INSTALL 890 L.F. TYPE III SILT FENCE WHERE SHOWN. SEE DETAIL.

(2) REGRADE SITE TO ELEVATIONS SHOWN.

(3) CONSTRUCT SODDED SWALE ALONG SOUTHERLY EDGE OF PROJECT AREA. SEE CROSS-SECTION 'A'-'A' ON THIS SHEET.

4 STABILIZE THE ENTIRE PROJECT AREA EXCEPT THE NORTHERLY 15' (LANDSCAPE BUFFER) AND THE SOUTHERLY ±22' (SODDED SWALE) BY ADDING 4" OF LIMEROCK TO THE EXISTING NATIVE SAND FOLLOWING THE DIRECTION OF THE GEOTECHNICAL REPORT PREPARED BY GEO-TECH. THE STABILIZATION AREA IS SHOWN SHADED _________.

SEE GENERAL NOTE 5.

(5) SEED AND MULCH THE AREA DESCRIBED IN CONSTRUCTION NOTE 4.

6 DELINEATE PARKING SPACES BY INSTALLING 6'-LONG PRE-CAST CONCRETE WHEEL STOPS (INSTALLED FLUSH WITH GROUND SURFACE) WITH BLUE REFLECTIVE PAVEMENT MARKERS ON TOP OF WHEEL STOPS WITH ONE AT EACH END. SEE DETAIL ON THIS SHEET.

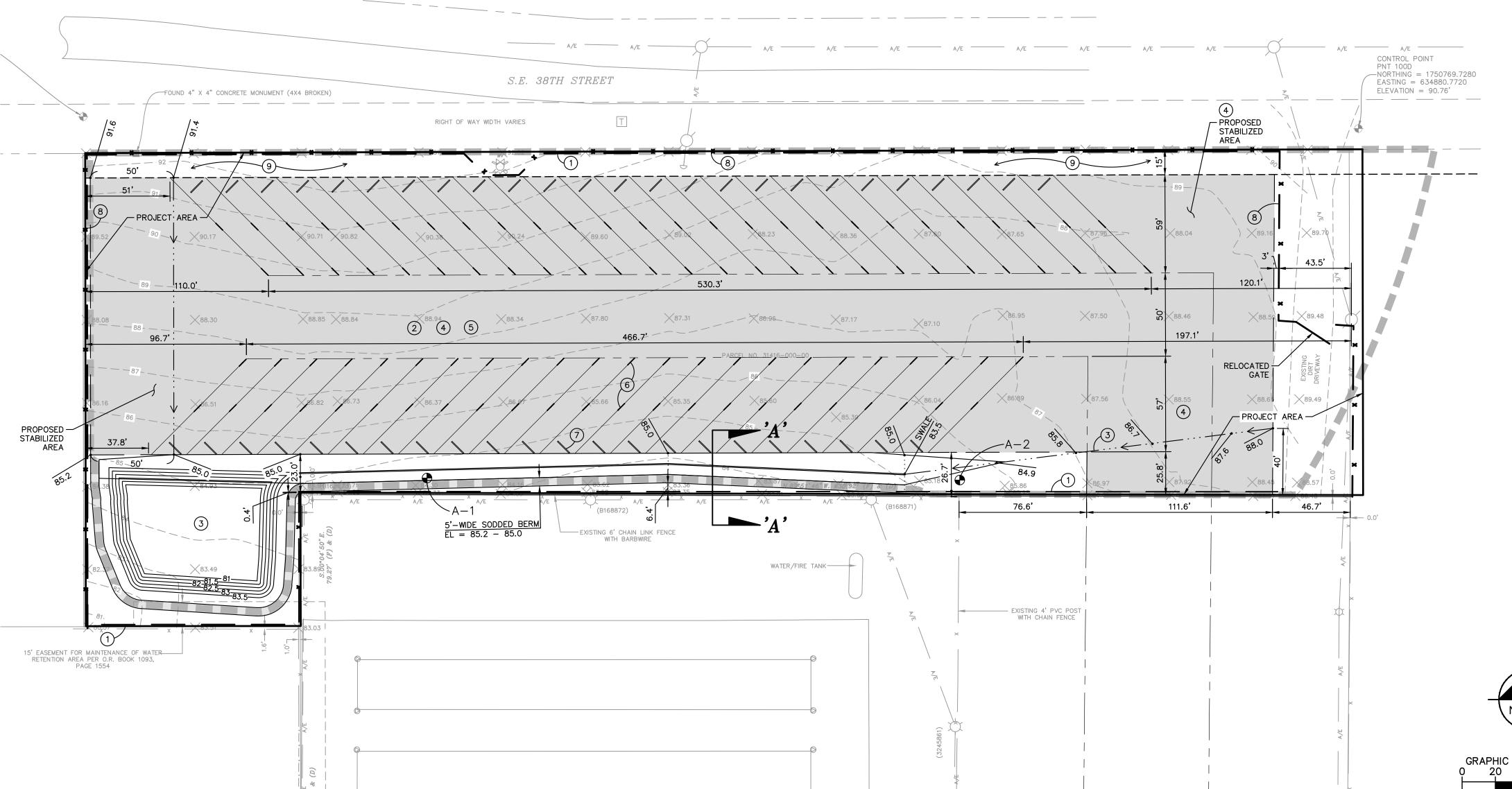
(7) INSTALL CONCRETE WHEEL STOPS WHERE INDICATED. SEE PARKING SPACE DETAIL ON THIS SHEET.

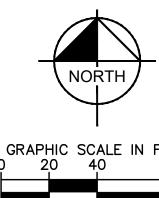
(8) INSTALL 1,237 L.F. OF 6'-HIGH CHAIN LINK FENCE.

9 INSTALL 15'-WIDE 'C'-TYPE LANDSCAPE BUFFER ALONG THE NORTH END OF THE PROJECT AREA. 'C'-TYPE BUFFER SHALL CONSIST OF A 15-FOOT WIDE LANDSCAPE STRIP WITHOUT A BUFFER WALL. THE BUFFER SHALL CONTAIN AT LEAST TWO SHADE TREES AND THREE ACCENT/ORNAMENTAL TREES FOR EVERY 100 LINEAL FEET OR FRACTIONAL PART THEREOF. SHRUBS AND GROUNDCOVERS, EXCLUDING TURFGRASS, SHALL COMPRISE AT LEAST 50 PERCENT OF THE REQUIRED BUFFER AND FORM A LAYERED LANDSCAPE SCREEN WITH A MINIMUM HEIGHT OF THREE FEET ACHIEVED WITHIN ONE YEAR. SEE "716'-LONG 'C'-TYPE LANDSCAPE BUFFER DETAIL" ON THIS SHEET.

PROPOSED PLANT LIST:

QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
406	♦	LIGUSTRUM (L)	LIGUSTRUM JAPONICUM	3 GAL (18" MIN. HT.)
14		LIVE OAK (QV)	QUERCUS VIRGINIANA	2-1/2" DBH
21	\bigcirc	EAST PALATKA HOLLY	ILEX OPACA "EAST PALATKA"	1-1/2" DBH





MAND ASSOCIATES, INC.

8LVD, SUITE 400, OCALA, FL 34470
352-438-3000
38 COM PECISTEY 606

© 2020 KIMLEY-HORN AND AS
101 EAST SILVER SPRINGS BLVD, SUITE
PHONE: 352-438-3
WWW.KIMLEY-HORN.COM R

2021
JOSEPH C. LONDON,
HOWN
J.C.L.
FLORIDA LICENSE NUME
33694

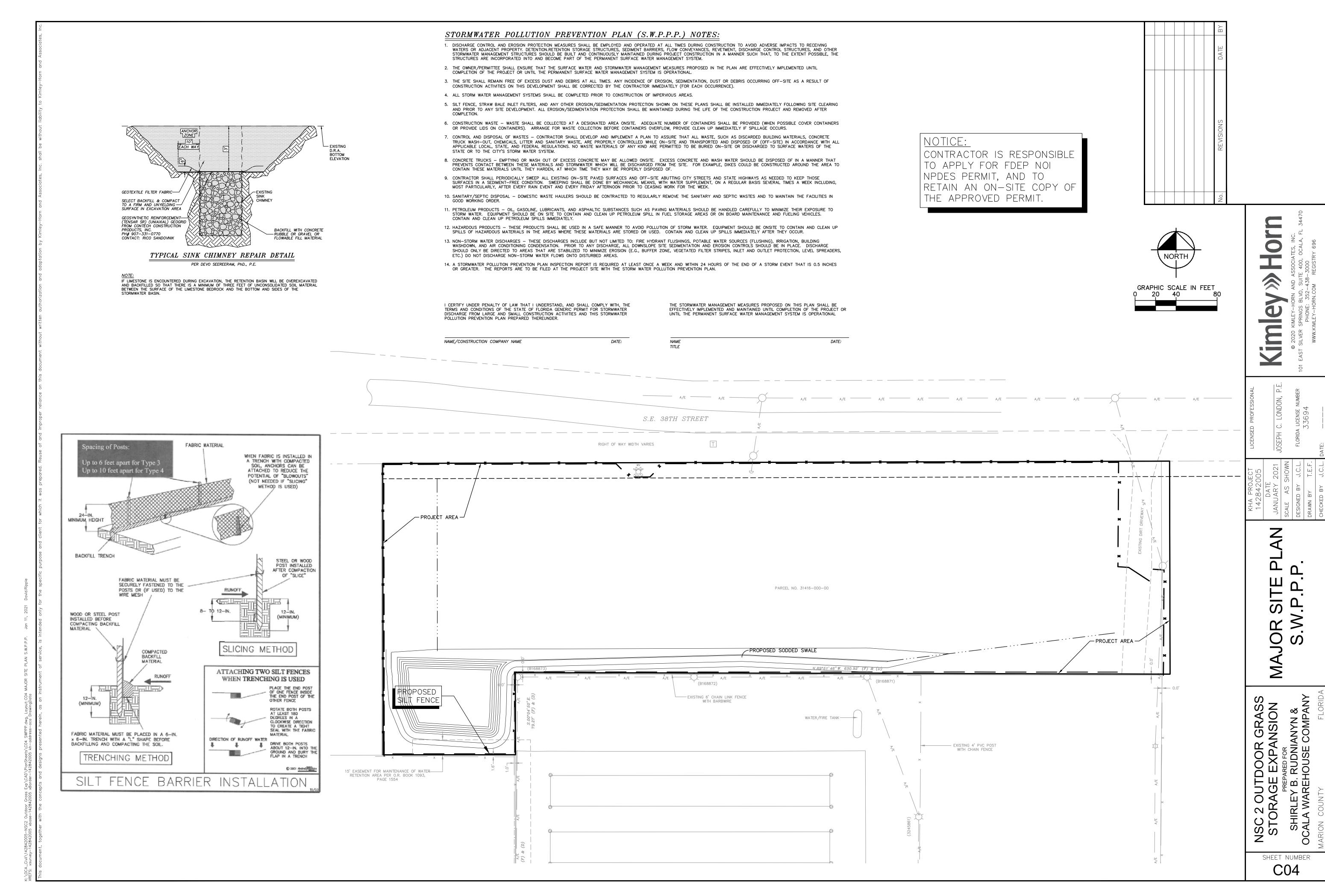
JANUARY 2021
SCALE AS SHOWN
DESIGNED BY J.C.L.

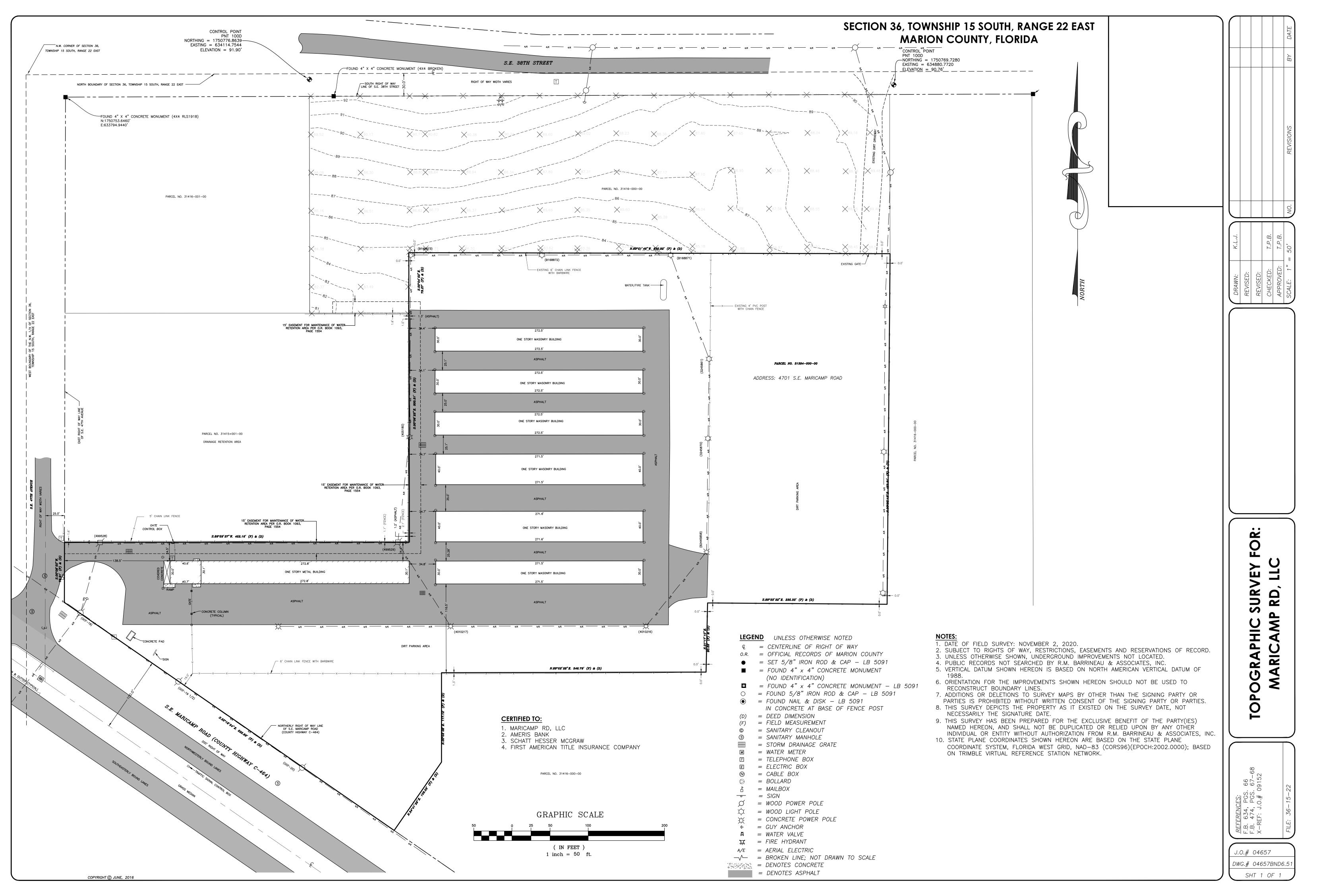
AAJOR SITE PLAN AYOUT & GRADING

NSC 2 OUTDOOR GRASS
STORAGE EXPANSION
PREPARED FOR
SHIRLEY B. RUDNIANYN &
OCALA WAREHOUSE COMPANY

SHEET NUMBER

— 16







Marion County

Development Review Committee

Agenda Item

Agenda Date: 5/17/2021 **Agenda No.:** 6.14. File No.: 2021-3178

SUBJECT:

FAMILY DOLLAR SALT SPRINGS @ CR 314 - MAJOR SITE PLAN

KER VIEW LOTS 6 & 7

Project #2021040075 #26609 Parcel #1140-006-000 & 1140-007-000

Berry Engineers

Initial comments review. Applicant did not meet with staff.

SUBJECT: INITIAL COMMENTS LETTER

PROJECT NAME: FAMILY DOLLAR SALT SPRINGS @ CR 314

PROJECT #2021040075

APPLICATION: MAJOR SITE PLAN #26609

Did not met with staff. DRC 5/17/21

 DEPARTMENT: ENGDRN - STORMWATER REVIEW REVIEW ITEM: 6.13.10.B - Copy of NPDES Permit or NOI

STATUS OF REVIEW: INFO

REMARKS: Prior to construction, please have contractor provide a copy of the NPDES Permit or NOI.

2. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Copy of District Permit (County Interest)

STATUS OF REVIEW: INFO

REMARKS: Prior to construction, please provide a copy of the SJRWMD permit or 10-2

Certification.

3. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: Additional Development Review Comments

STATUS OF REVIEW: INFO

REMARKS: After approval, plans will be electronically stamped by the County. The applicant will receive an email indicating that approved plans are available for download and are located in the ePlans project Approved folder. For Development Review submittals, with the exception of Final Plats and Minor Site Plans, applicants are required to print, obtain required signatures, and sign and seal two 24"x 36" sets of the electronically stamped approved plan and deliver them to the Office of County Engineer, Development Review Section, located at 412 SE 25th Avenue Ocala, FL 34471. Upon receipt, a development order will be issued. Until such time as that development order is issued, the project does not have final approval and construction, if applicable, shall not commence. For plans requiring As-Builts, As-Builts and associated documentation shall be submitted on paper in accordance with current county requirements.

4. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: 6.15.3 - Fire Protection/Fire Flow Capacity

STATUS OF REVIEW: INFO

REMARKS: defer to MCFR; water provided by private well

5. DEPARTMENT: FRMSH - FIRE MARSHAL REVIEW

REVIEW ITEM: Additional Fire comments

STATUS OF REVIEW: INFO

REMARKS: The dry hydrant connection will need to be protected from vehicular traffic. Please

make sure to add note to the plans.

6. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: Additional Planning Items:

STATUS OF REVIEW: INFO

REMARKS: No properties to the east or west are currently recognized under FLUE Policy 10.1.5. a pre-existing commercial uses eligible to continue or change use. This site may have been owned in common with one or more of those properties, however division of the property makes the site ineligible for commercial use per the FLUE Policy.

DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.3 - Landscape design standards

STATUS OF REVIEW: INFO

REMARKS: The Switch grass and Spirea may be difficult to find in this area

DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.9.2 - Irrigation plan requirements (details, legend, notes)

STATUS OF REVIEW: INFO

REMARKS: Will the Cypress trees be irrigated?

9. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.6 - Location of water and sewer. Does this need a special use permit?

STATUS OF REVIEW: INFO

REMARKS: Well to be at least 8 feet from property lines; Septic to be at least 5 feet from

property lines.

10. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: Additional Zoning comments

STATUS OF REVIEW: INFO

REMARKS: Please contact Planning/Zoning for Small Scale Amendment process and

application.

11. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2 A(1)/(2) - Contributing Basins/Tc

STATUS OF REVIEW: NO

REMARKS: Please include the pre- and post- basin maps in the plan set.

12. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(3) - Retention/Detention Area Design Parameters

STATUS OF REVIEW: NO

REMARKS: 1) Please add dimensions to the DRA. 2) Please show soil boring locations with ID labels on the plans. 3) Please add ESHWT to DRA Cross section detail, and please add pond bottom will be seeded and mulched. Note: If pond is deeper than 4', sodded bottom is required.

13. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(4) - Hydrologic Analysis

STATUS OF REVIEW: NO

REMARKS: 1) It appears 10.7" should be used for the 100 year, 24 hour storm based on SJRWMD and NOAA precipitation frequency maps. Please update or provide supporting documentation for the selection of 10".

14. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.4.C - Discharge Conditions

STATUS OF REVIEW: NO

REMARKS: Please add a grassed spreader swale at outfall of pond discharge structure to allow discharge to leave site in a sheet flow condition.

15. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(6) - Freeboard

STATUS OF REVIEW: NO

REMARKS: 6" freeboard required in pond.

16. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.8 - Stormwater Conveyance Criteria

STATUS OF REVIEW: NO

REMARKS: For the purposes of demonstrating conveyance, a tailwater condition at the receiving body must be assumed in the hydraulic analysis. Please use the peak stage at the 25 year, 24 hour storm as the tailwater condition.

17. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.B(5) - Hydraulic Analysis

STATUS OF REVIEW: NO

REMARKS: 1) The Hydraulic Analysis (Appendix E) was not included in the Stormwater Report. Please provide. Conveyance at the 25 year, 24 hour storm must be achieved. The FDOT Zone 7 IDF curves should be used for design.

18. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.2.A(11)(b) - Erosion Control

STATUS OF REVIEW: NO

REMARKS: Please extend silt fence around to include the limits of pond construction.

19. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.10 - Karst Topography and High Recharge Areas

STATUS OF REVIEW: NO

REMARKS: Please provide the Karst Analysis.

20. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: 6.13.12 - Operation and Maintenance

STATUS OF REVIEW: NO

REMARKS: Please provide an Operation and Maintenance document with procedures for the operation and maintenance of the stormwater facility with the Owner's Certification as follows "I hereby certify that I, my successors, and assigned shall perpetually operate and maintain the stormwater management and associated elements in accordance with the specifications show herein and on the approved plan." Owner must sign and date.

21. DEPARTMENT: ENGDRN - STORMWATER REVIEW

REVIEW ITEM: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

STATUS OF REVIEW: NO

REMARKS: Please provide a final signed and sealed hard copy signature page with references to the stormwater analysis or final hard copy of the full stormwater analysis.

22. DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.3 - Traffic Impact Analysis

STATUS OF REVIEW: NO

REMARKS: 4/26/21 - Provide a turn lane analysis based of FDOT and NCHRP 457 guidelines to determine the need for turn lanes.

23. DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.4.B - Cross access

STATUS OF REVIEW: NO

REMARKS: 4/26/21 - Provide the executed cross access easement and recording fee prior to final plan approval. The cross access easement template can be obtained from the Development Review Office.

24. DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.11.5 - Driveway access

STATUS OF REVIEW: WAIVER REQUESTED

REMARKS: 04/26/21 - 1. The driveway doesn't meet spacing requirements. Staff supports a waiver. 2. Confirm that the driveway meets FDOT sight distance requirements and provide a note on the plans stating such.

LDC 6.11.5.C(1) - Driveway Spacing

CODE states the minimum allowed distance between a commercial driveway and the nearest intersecting roadway or driveway shall be as shown in Table 6.11-2 and 6.11-3. APPLICANT requests waiver because the driveway spacing cannot be met. Maximum spacing is provided.

25. DEPARTMENT: ENGTRF - TRAFFIC REVIEW

REVIEW ITEM: 6.12.12 - Sidewalks

STATUS OF REVIEW: WAIVER REQUESTED

REMARKS: 04/26/21 - Sidewalk is required along CR 314. Staff supports a payment of a fee inlieu of sidewalk construction. If approved by the DRC, the fee comes out to \$4,000.00

LDC 6.12.12.D - Sidewalk Fee

CODE states at the discretion of the Development Review Committee, in-lieu-of construction along external streets, the developer may pay a sidewalk fee to the County in an amount necessary to complete construction.

APPLICANT requests waiver for fee in-lieu-of sidewalk due to rural location with no nearby sidewalk connections.

26. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.21.2.B - Major Site Plan fee of \$250.00 + (\$5.00 x total site acreage) made payable to Marion County BCC

STATUS OF REVIEW: NO

REMARKS: 5/11/21 - Due with resubmittal

27. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.K - List of approved waivers, their conditions, and the date of approval

STATUS OF REVIEW: NO

REMARKS: 5/11/21 - Update waivers after DRC

28. DEPARTMENT: ENGIN - DEVELOPMENT REVIEW

REVIEW ITEM: 2.12.4.L(1) - Parcel number

STATUS OF REVIEW: NO

REMARKS: 5/11/21 - Application lists 2 parcel numbers, but plan cover sheet lists only 1 which doesn't match either parcel on application.

29. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Utilities Plan Review Fee per Resolution 15-R-583 - payable to Marion County

Utilities

STATUS OF REVIEW: NO

REMARKS: \$130

30. DEPARTMENT: UTIL - MARION COUNTY UTILITIES

REVIEW ITEM: Additional Utilities comments

STATUS OF REVIEW: NO

REMARKS: INFO - Parcels within Marion County Utilities public service area but outside connection distance to utility provider's closest available water or sewer at this time.

NO - Plan note on Utility Sheet "When water or sewer become available from the public utility provider, parcel shall connect to respective service(s) within 365 days of notification."

31. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 2.12.4.L(2)/3.2.3 - Use Consistent with FLU Designation?

STATUS OF REVIEW: NO

REMARKS: The site's future land use designation is Low Residential and has been so since the initial compliance determination of the Comprehensive Plan. Obtaining a Comprehensive Plan Future Land Use Map Amendment to at least a Commercial future land use designation must be obtained for the site to be considered for the proposed use.

32. DEPARTMENT: LUCURR - LAND USE CURRENT REVIEW

REVIEW ITEM: 3.2.3 - NON-RESIDENTIAL - Complies with FAR?

STATUS OF REVIEW: NO

REMARKS: Commercial uses are not permitted uses within the Low Residential future land use designation, and this site is not qualified as a pre-existing commercial property eligible for use/expansion per FLUM Policy 10.1.5.

33. DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 2.12.28 - Correct road names supplied

STATUS OF REVIEW: NO

REMARKS: Sheet C-00 has incorrect road names in the Vicinity Map. NE County Rd 314 should be NE HWY 314. Forest Rd should be NE 244th Ter. NE 247th Court is north of NE HWY 314, the name changes to NFR 314-16.7 south of NE HWY 314.

34. DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: 6.2.1.F - North arrow and graphic drawing and written scale

STATUS OF REVIEW: NO

REMARKS: Sheet L-03 has two north arrows. The one furthest east is incorrect and needs to be removed.

35. DEPARTMENT: 911 - 911 MANAGEMENT

REVIEW ITEM: Additional 911 comments

STATUS OF REVIEW: NO

REMARKS: Sheet C-00 has the parcel incorrect as 1140-008-000 under the site data. It should be 1140-005-000, 1140-006-000 & 1140-007-000. Sheets C-01, C-02, C-03.1, C-04, SP-1 & Survey have an incorrect parcel number of 11431-004-00. It should be 11431-000-00.

36. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.4 - Shade tree requirements

STATUS OF REVIEW: NO

REMARKS: please confirm and clarify total disturbed area

37. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.6 - Tree removal submittal requirements

STATUS OF REVIEW: NO

REMARKS: Tree calculations appear incorrect - please confirm and clarify total disturbed area

38. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.8 - Protected tree replacement requirements

STATUS OF REVIEW: NO

REMARKS: Tree calculations appear incorrect - please confirm and clarify total disturbed area

39. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.7.9 - Replacement trees; general requirements

STATUS OF REVIEW: NO

REMARKS: Tree calculations appear incorrect - please confirm and clarify total disturbed area

40. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.2 - Landscape plan requirements (details, schedule, calculations, notes)

STATUS OF REVIEW: NO

REMARKS: Clarify Total disturbed area - cannot be more than total site area

41. DEPARTMENT: LSCAPE - LANDSCAPE DESIGN AND IRRIGATION

REVIEW ITEM: 6.8.6 - Buffers

STATUS OF REVIEW: NO

REMARKS: 1, Label buffers types on Landscape Plan 2. provide calculations in square foot to show 50% planting is met

42. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.4.L(1) - Parcel number

STATUS OF REVIEW: NO

REMARKS: Parcel ID listed is incorrect. Please list 1140-006-00 and 1140-007-00.

43. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.21/6.3.1.C(10) - Land use and zoning on project and on adjacent properties shown

STATUS OF REVIEW: NO

REMARKS: The correct land use and zoning is shown. However, the LR, Low Residential, prohibits commercial development. A small-scale amendment to the Future Land Use Map will be required.

44. DEPARTMENT: ZONE - ZONING DEPARTMENT

REVIEW ITEM: 2.12.23/4.2 -Setbacks, dimensions for all improvements, and easements

STATUS OF REVIEW: NO

REMARKS: Per plat, there is a 10' utility easement along rear lot lines. Please show on plans.



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

		Parcel Number(s):	1140-006-00	0 ; 1140-007-000	Permit Nun	nber:	
	mm/dd/yyyy	ODM ATHON					
Α.	PROJECTINFO	ORMATION: Fill in be	low as applicabl	e:			
		amily Dollar - Salt Sp ne (if applicable): Ker Vie			Commer	cial ☑ or Residen	tial 🗆
	UnitBloc	ckLot_6 & 7	=:				
В.	B. PROPERTY OWNER'S AUTHORIZATION: Attach a letter from the owner(s) or the owner(s) may sign below authorizing the applicant to act on the owner's behalf for this waiver request:				ЭW		
	Property Owner's	s Name (print): Noon &	salt Springs,	PLC			
	Property Owner's	s Signature:	/Carls	Cuito OFF			
		s Mailing Address: 83			Dhana # 122	206-2605	
	City: Citat	ttanooga State:	Zip (Jode: 37402	_Pnone # <u>423-</u>	200-2093	
C.	C. APPLICANT INFORMATION: The applicant will be the point of contact during this waiver process and will receive correspondence.					eive	
	Firm Name (if app	licable): Berry Engineers,		Contact	Name:	Chris Berry	
Mailing Address: 3555 Keith St, Suite 109 City: Cleveland State: TN Zip Code							
	Phone # 423-790			ternate Phone #_			
	Email address: Ct	perry@berryengineer	s.com				
D.	WAIVER INFO Section & Title o	f Code:		1.5.C(1) - Drive			
	Reason/Justificat	ion for Waiver Reques	t: Driveway	spacing cannot	be met. Max	imum spacing is	3
	provided.						
	SWEL OBJUDIUS	AND THE PROPERTY OF LANDS					
	EVELOPMENT F Received By:	LVIEW USE: Date Process	ed:	Project #		AR #	
ZO	NING USE: Par	rcel of record: Yes	No □	Eligible to appl		Division: Yes 🗆 🗎	
3	Zoned:	ESOZ:P.0 Date:).M	* **	Must Va	cate Plat: Yes 🗆	No □
	Land Use:	Date:		Verified by:			
Rev	vised 7/2017 Su	ıbmit via Email		Print Form		Clear Form	1

Empowering Marion for Success



Marion County Board of County Commissioners

Office of the County Engineer

412 SE 25th Ave. Ocala, FL 34471 Phone: 352-671-8686 Fax: 352-671-8687

DEVELOPMENT REVIEW COMMITTEE WAIVER REQUEST FORM

Section & Title of Code:	6.12.12 - Sidewalks			
Reason/Justification for Waiver Request: Request for fee in lieu of sidewalk due to rural location with				
-				
,				
Section & Title of Code:				
Reason/Justification for Waiver Request:				
Reason/sustification for warver request.				
Section & Title of Code:				
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Reason/Justification for waiver Request:				

Revised 7/2017

FAMILY DOLLAR SALT SPRINGS - MAJOR SITE PLAN

KER VIEW LOTS 6 & 7

Project #2021040075 #26609 Parcel #1140-006-000

BERRY ENGINEERS



MAJOR SITE PLAN:

FAMILY DOLLAR

NE COUNTY RD 314 MARION COUNTY, FL

OWNER CERTIFICATION

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY MAINTAIN THE IMPROVEMENTS AS SHOWN ON THIS PLAN.

JAMEY FLEGAL NOON SALT SPRINGS, LLC

STORMWATER MAINTENANCE CERTIFICATION

I HEREBY CERTIFY THAT I, MY SUCCESSORS, AND ASSIGNS SHALL PERPETUALLY OPERATE AND MAINTAIN THE STORMWATER MANAGEMENT AND ASSOCIATED ELEMENTS IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN HEREIN AND ON THE APPROVED PLAN.

JAMEY FLEGAL NOON SALT SPRINGS, LLC

DESIGN PROFESSIONAL CERTIFICATION

I HEREBY CERTIFIFY THAT THESE PLANS AND CALCULATIONS WERE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE MARION COUNTY LAND DEVELOPMENT CODE. EXCEPT AS WAIVED.

BENJAMIN M. BERRY; FL PE#76300 DATE BERRY ENGINEERS, LLC

2.12.4.K - LIST OF APPROVED WAIVERS

CODE SECTION	WAIVER DETAILS	APPROVAL DATE
6.11.5.C(1) DRIVEWAY SPACING	APPROVED SUBJECT TO AS IS SHOWN ON THE CURRENT PLANS.	
6.12.12 SIDEWALKS	APPROVED SUBJECT TO PAYMENT OF THE FEE-IN-LIEU OF CONSTRUCTION.	

TRAFFIC ASSESSMENT

THIS PROJECT HAS COMPLETED A TRAFFIC ASSESSMENT, BECAUSE IT IS EXPECTED TO GENERATE BETWEEN 50-99 PEAK HOUR TRIPS. A FULL TRAFFIC IMPACT STUDY IS NOT REQUIRED.

CONCURRENCY STATEMENT

THIS PROPOSED PROJECT HAS NOT BEEN GRANTED CONCURRECY APPROVAL AND/OR GRANTED AND/OR RESERVED ANY PUBLIC FACILITY CAPACITIES. FUTURE RIGHTS TO DEVELOP THE PROPERTY ARE SUBJECT TO A DEFERRED CONCURRENCY DETERMINATION AND FINAL APPROVAL TO DEVELOP THE PROPERTY HAS NOT BEEN OBTAINED. THE COMPLETION OF CONCURRENCY REVIEW AND/OR APPROVAL HAS BEEN DEFERRED TO LATER DEVELOPMENT REVIEW STAGES, SUCH AS, BUT NOT LIMITED TO, BUILDING PERMIT REVIEW.

CHANGES TO APPROVED PLAN

NO CHANGE TO THE WORK AS SHOWN ON THE APPROVED PLANS SHALL BE MADE WITHOUT NOTIFICATION TO AND APPROVAL BY THE OFFICE OF THE COUNTY ENGINEER

NE 130TH ST NE 129TH PI VICINITY MAP N.T.S.

OWNER/DEVELOPER:

NOON REAL ESTATE, LLC MR. JAMEY FLEGAL 832 GEORGIA AVE, SUITE 355 CHATTANOOGA, TN 37402 423-206-2695

ENGINEER:



3555 KEITH STREET, SUITE 109 (423) 790-5880 CLEVELAND, TN 37312

INDEX OF SHEETS

CIVIL ENGINEERING PLANS

COVER SHEET **EXISTING CONDITIONS** SITE LAYOUT & PAVING PLAN

C-03.1 SITE GRADING & DRAINAGE PLAN DETENTION BASIN PLAN

EROSION CONTROL PLAN

SITE UTILITY PLAN

SITE DETAILS SITE DETAILS

SITE DETAILS C-08

SITE DETAILS C-09

LANDSCAPE PLAN

LANDSCAPE DETAILS

IRRIGATION PLAN L - 03

IRRIGATION DETAILS L-04 SITE LIGHTING PHOTOMETRICS

SITE LIGHTING DETAILS

BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)

SITE DATA

FUTURE LAND USE:

PROJECT DESCRIPTION: NEW CONSTRUCTION OF A FAMILY DOLLAR STORE

NE COUNTY RD 314, SALT SPRINGS, FL LOCATION: PARCEL: 1140-008-000 **ZONING:** B-5 (HEAVY BUSINESS)

OVERLAY ZONE: SECONDARY SPRINGS PROTECTION ZONE FLOOD ZONE: ZONE X, AS SHOWN ON MAP NO. 12160C0405D DATED 08/28/2008

PROVIDED 33

LR (LOW RESIDENTIAL)

SITE AREA: 2.00 ACRES DISTURBED AREA: 1.5± ACRES

LAND COVERAGE BUILDING AREA COVERAGE 10,500 SF (12%) ON-SITE IMPERVIOUS 0.82 ACRES (41%) ON-SITE LANDSCAPE 1.08 ACRES (59%)

PROVIDED 102.6' REQUIRED **BUILDING SETBACKS:** 218.2 12.0' 95.0'

REQUIRED 33

PARKING SUMMARY: STANDARD ACCESSIBLE

REAR (N)

SIDE (W)

SIDE (E)

PARKING CALCULATIONS: 1 SPACE PER 300 SF

10,500 SF / 300 SF = 35 REQUIRED SPACES

ARCHITECT:

CLARK, GEER, LATHAM, & ASSOCIATES 3901 SPRINGHILL AVE MOBILE, AL 36608 251-344-7073

SEPTIC DESIGNER:

GEO-TECH, INC. MR. GERALD GREEN 1016 SE 3RD AVENUE OCALA, FL 34471 352-694-7711

LOCAL CONTACTS

MARION COUNTY - PLANNING PHONE: 352-438-2600 MR. JEREMY CRAIG MR. JOHN HARVEY

MARION COUNTY - TRAFFIC PHONE: 352-671-8356 MR. CHRIS ZEIGLER

MARION COUNTY - DEVELOPMENT REVIEW PHONE: 352-671-8682 MS. CARLA SANSONE

MARION COUNTY - BUILDING SAFETY

MARION COUNTY - ENGINEERING PHONE: 352-671-8686

PHONE: 352-438-2400 MARION COUNTY - FIRE MARSHAL

PHONE: 352-291-8000

MARION COUNTY - WATER/SEWER PHONE: 352-307-6000 MR. JOSH KRAMER MS. CARRIE LYN HYDE

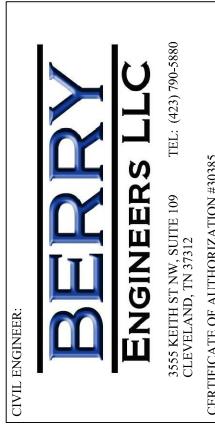
MARION COUNTY - STORMWATER PHONE: 352-671-8366 MR. JAMES HULSEY

MARION COUNTY - ENV. HEALTH PHONE: 352-622-7744

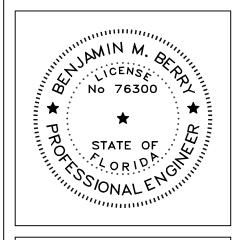
FLORIDA DEPT. OF HEALTH - SEPTIC MR. ED BROWN PHONE: 352-629-0137

SECO ENERGY - ELECTRIC PHONE: 352-237-4107 MR. JERRY BOLDUC PHONE: 352-569-9633

TECO - NATURAL GAS MR. CHUCK HUMPHREY PHONE: 352-427-0743 CMHUMPHREY@TECOENERGY.COM



OR MAJ



BENJAMIN M. BERRY, STATE OF FLORIDA, ROFESSIONAL ENGINEER, LICENSE NO. 763 THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BENJAMIN M. BERRY, PE ON DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

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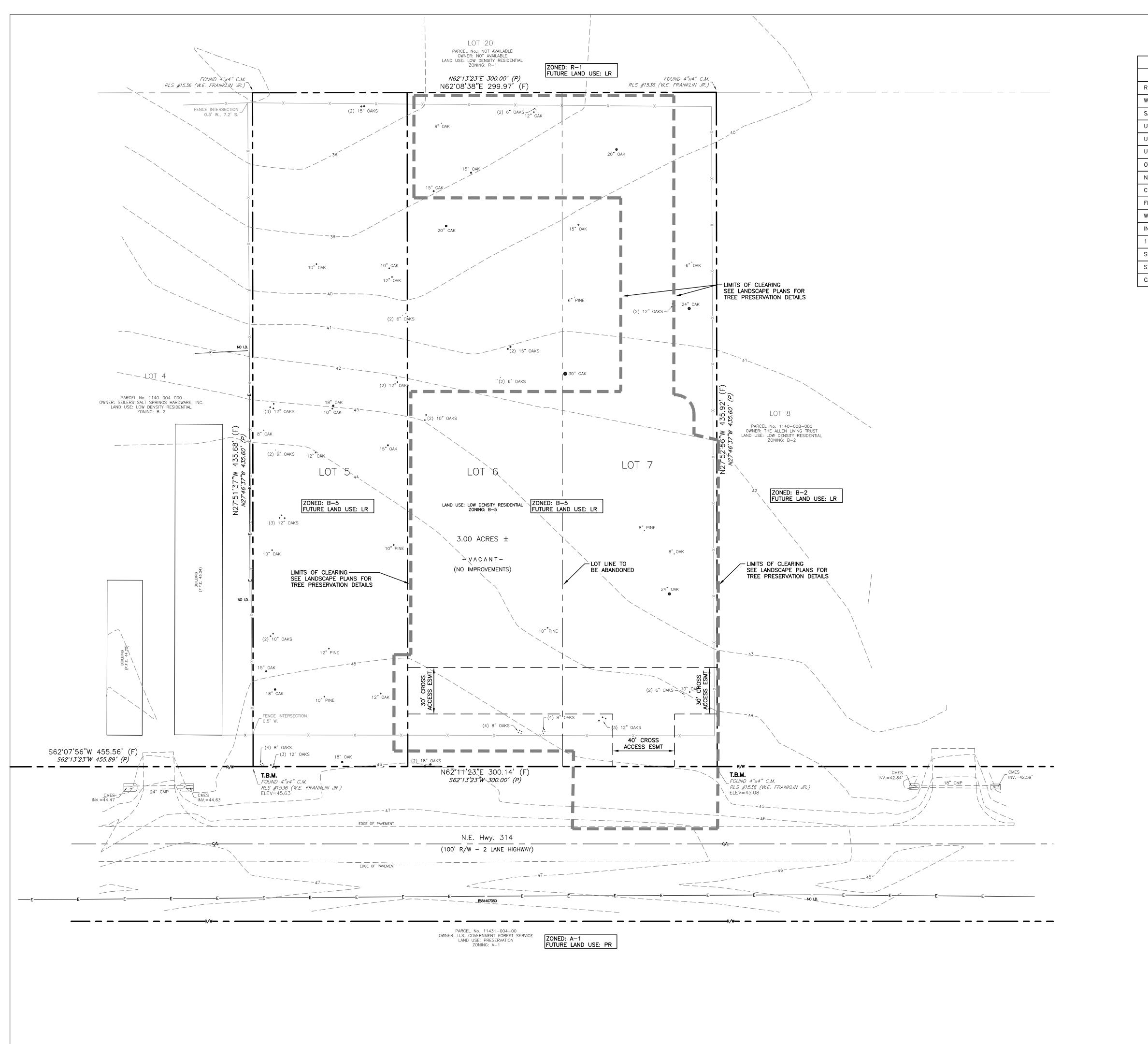
SHEET NAME: COVER SHEET

04/23/2021 DATE:

DRAWN BY: CHECKED BY: BMB

PROJECT NO.: 21015 SHEET NUMBER:

C-00



EXISTING CONDITIONS SHOWN ARE BASED UPON A SURVEY BY OTHERS

UTILITIES & GI	RADING LEGEND	
	EXISTING	
RIGHT-OF-WAY/PROPERTY LINE		
WATER LINE		
SANITARY SEWER / SEPTIC		
UTILITY POLE	Ø	
UNDERGROUND POWER LINE		
UNDERGROUND TELEPHONE/DATA LINE		
OVERHEAD ELECTRIC LINE	— Е —	
NATURAL GAS LINE		
CLEANOUT		
FIRE HYDRANT		
WATER VALVE		
INDEX CONTOURS	40	
1' INTERVALS	41	
SPOT ELEVATION	×40.50	
STORM SEWER		
CATCH BASIN		



NOON REAL ESTATE, LLC 832 GEORGIA AVE, SUITE 355 CHATTANOOGA, TN 37402 423-206-2695

MAJOR SITE PLA.
FAMILY DOLLAR
STORE
NE COUNTY RD 314



BENJAMIN M. BERRY, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 76300

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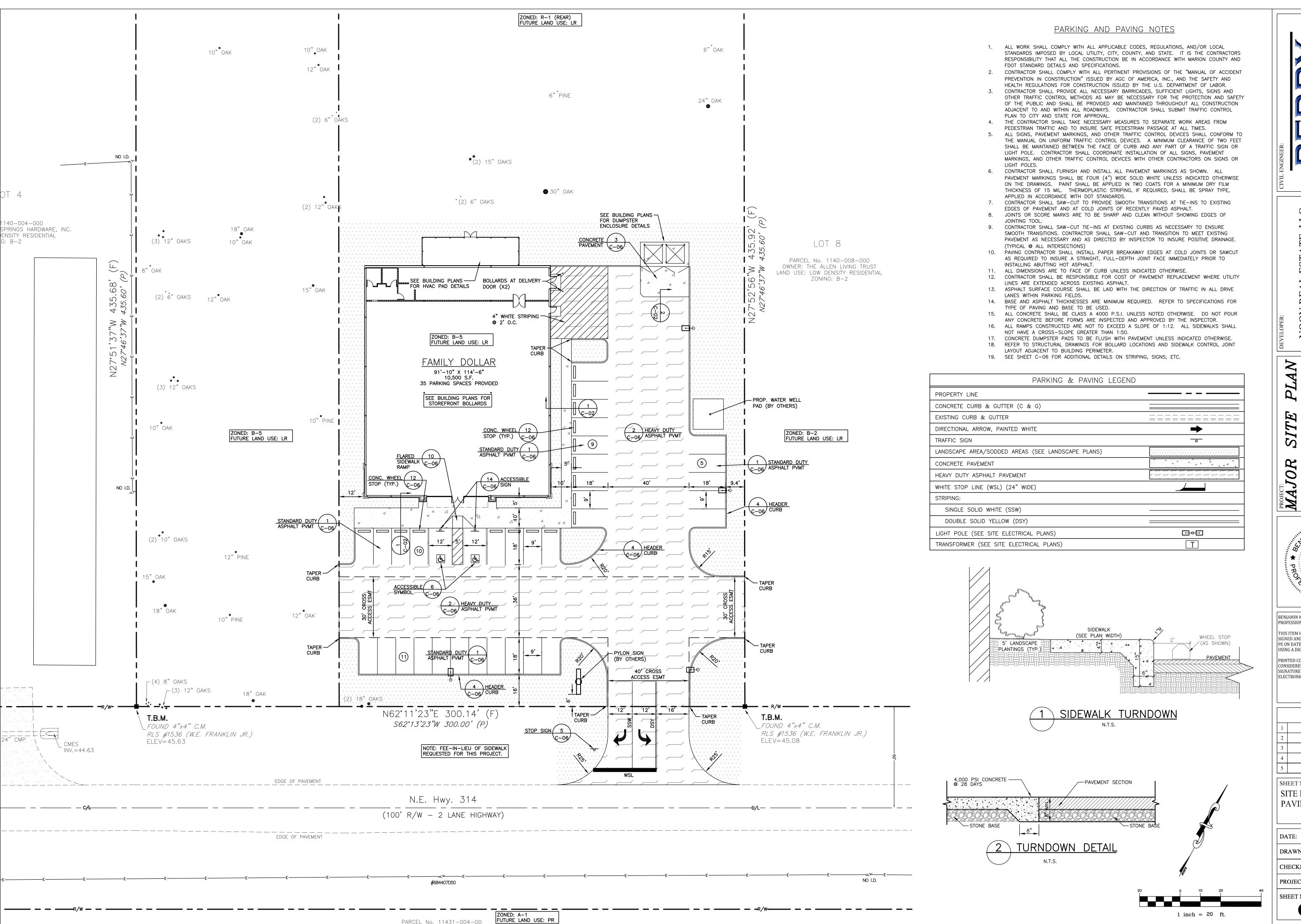
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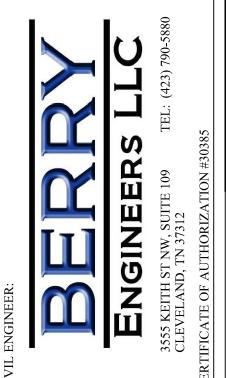
REVISIONS		
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SHEET NAME:
EXISTING
CONDITIONS &
DEMOLITION PLAN

DATE:	04/23/2021
DRAWN BY:	CMB
CHECKED BY:	BMB
PROJECT NO.:	21015
SHEET NUMBER	· ·

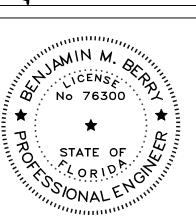
1 inch = 30 ft.





NOON REAL ESTATE, LLC 832 GEORGIA AVE, SUITE 355 CHATTANOOGA, TN 37402 423-206-2695

MAJOR SITE FLA
FAMILY DOLLAR
STORE
NE COUNTY RD 314



BENJAMIN M. BERRY, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 76300

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SHEET NAME:
SITE LAYOUT &
PAVING PLAN

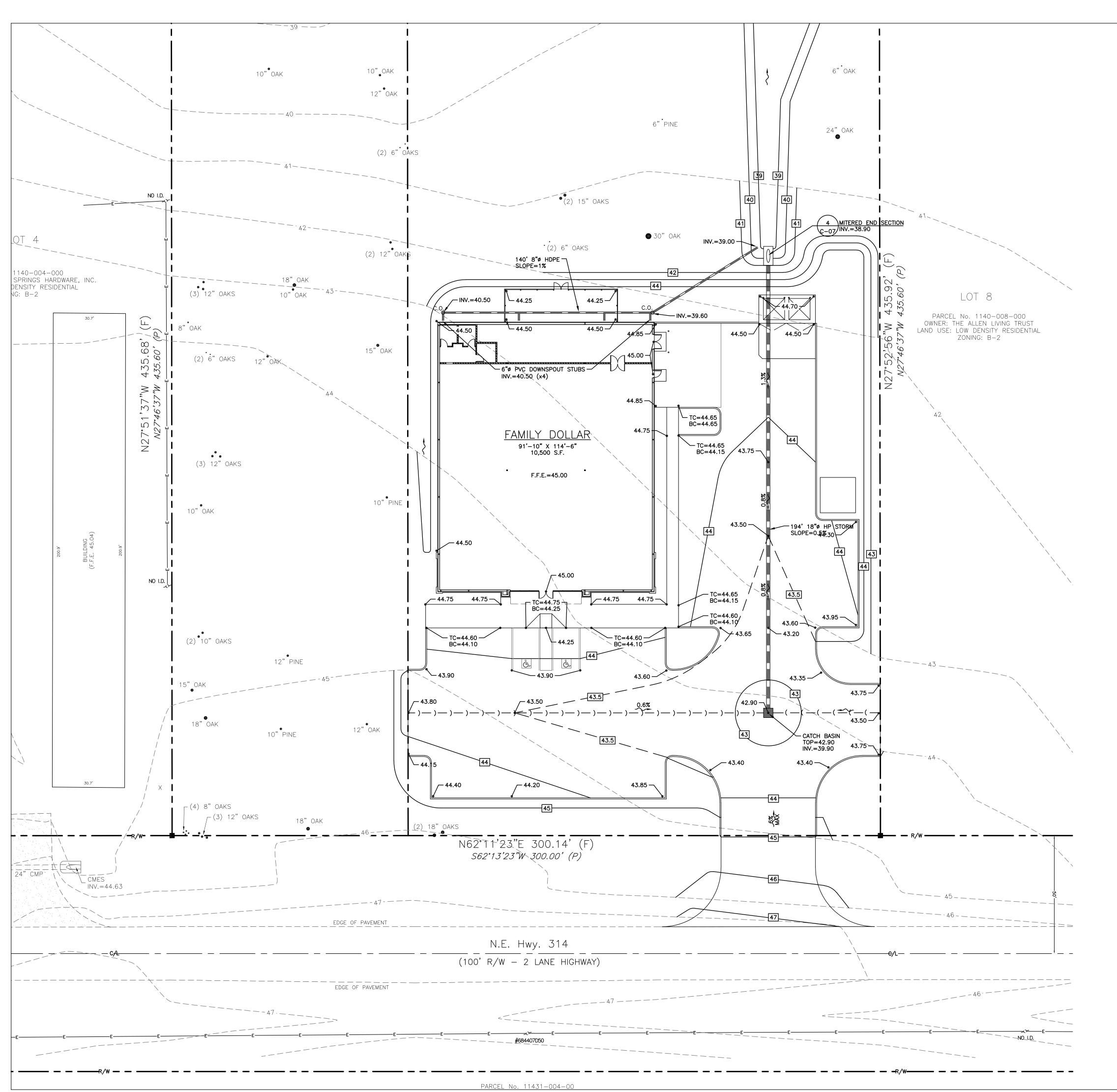
DATE: 04/23/2021

DRAWN BY: CMB

CHECKED BY: BMB

PROJECT NO.: 21015

SHEET NUMBER:



SITE GRADING NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM A SURVEY DATED 03/25/21 BY: ROGERS ENGINEERING, LLC.

TEL. 352-622-9214 EMAIL: rkrogers@rogerseng.com

EXISTING SOIL INFORMATION IS AVAILABLE FROM:

GEO-TECH, INC. TEL. 352-694-7711

SOIL REPORT DATED 04/19/2021 CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS MADE IN THIS REPORT UNLESS OTHERWISE NOTED. 2. NEW FINISHED CONTOURS SHOWN ARE TOP OF FUTURE PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF

TOPSOIL IN PLANTING AREAS. 3. ROUGH GRADE ELEVATIONS SHALL BE AS FOLLOWS**:

4" BELOW FINISHED CONTOURS IN GRASS AREAS. 8" BELOW FINISHED CONTOURS IN CONCRETE PAVEMENT AREAS.

7.5" BELOW FINISHED CONTOURS IN STANDARD DUTY ASPHALT PAVEMENT AREAS.

12" BELOW FINISHED CONTOURS IN HEAVY DUTY ASPHALT PAVEMENT AREAS. 8" BELOW FLOOR ELEVATIONS WITHIN THE BUILDING AND SIDEWALK AREAS, UNLESS OTHERWISE NOTED. **NOTE: DEPTH DOES NOT INCLUDE STABILIZED SUBGRADE DEPTH.

4. RCP STORM DRAIN PIPE IS CLASS III REINFORCED CONCRETE CONFORMING TO ASTM C-76. PVC STORM DRAIN PIPE IS SDR35. HDPE STORM DRAIN PIPE IS ADS N-12 IB WT. DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAY-OUT

FOOTINGS. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION INFORMATION. GRADING CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH THE

ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES TO REMAIN AS REQUIRED TO MATCH FINISHED GRADES. GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON

THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT. 8. THE GRADING CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTORS SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND NOT BEFORE THE

ESTABLISHMENT OF A STAND OF GRASS SUFFICIENT TO PREVENT EROSION. 9. FOR ANY WORK ON THE STATE OR CITY RIGHT-OF-WAY, THE GRADING CONTRACTOR SHALL: NOT STORE MATERIAL, EXCESS DIRT, OR EQUIPMENT IN THE RIGHT-OF-WAY IN CASE OF MULTILANE HIGHWAYS. THE PAVEMENT SHALL BE KEPT FREE FROM ANY MUD OR EXCAVATION WASTE FROM TRUCKS

OR OTHER EQUIPMENT. ON COMPLETION OF THE WORK, ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE RIGHT-OF-WAY. PROVIDE ALL NECESSARY AND ADEQUATE SAFETY PRECAUTIONS SUCH AS SIGNS, FLAGS, LIGHT BARRICADES, AND FLAGMEN AS REQUIRED BY THE LOCAL AUTHORITIES AND IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THE GRADING CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HOLD HARMLESS THE CITY, STATE, ARCHITECT, ENGINEER, AND OWNER FROM ANY

CLAIMS FOR DAMAGE DONE TO EXISTING PRIVATE PROPERTY, PUBLIC UTILITIES, OR TO THE TRAVELING COMPLETE WORK TO THE SATISFACTION OF THE CITY PUBLIC WORKS DEPARTMENT AND OBTAIN A LETTER FROM THE DEPARTMENT STATING THAT THE WORK IS ACCEPTABLE. 10. A QUALIFIED SOILS LABORATORY SHALL BE ON-SITE DURING EXCAVATING TO DETERMINE THE SUITABILITY OF THE EXISTING SUB-GRADE AND EXISTING ON-SITE MATERIAL PRIOR TO BEGINNING ANY FILLING OPERATION.

CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY ENGINEER AND/OR OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST TO OWNER.

11. GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL

12. SITE GRADING CONTRACTOR SHALL TERMINATE ALL STORM DRAIN PIPES FIVE FEET MAXIMUM FROM BUILDING UNLESS OTHERWISE NOTED. 13. STORM SEWER LEAD-INS TO BUILDING SHALL NOT BE INSTALLED UNTIL BUILDING PLANS ARE COMPLETED AND

LOCATIONS ESTABLISHED ON THE ARCHITECTURAL PLANS. LEAD-INS MAY CHANGE 15' HORIZONTALLY AND 3' VERTICALLY PRIOR TO INSTALLATION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM PRIME CONTRACTOR PRIOR TO INSTALLATION OF LEAD-INS. CONTRACTOR SHALL COORDINATE LOCATIONS, SIZE, AND INVERT ELEVATIONS OF STORM SEWERS WITH APPROVED BUILDING PLUMBING PLANS.

15. ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. 16. BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION. OWNER MUST APPROVE

STAKED ITEMS PRIOR TO CONSTRUCTION. 17. TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO BEGINNING OF GRADING. CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES AND SHALL REMOVE SILT FROM BERM DITCHES, SILT DAMS, AND SILT FENCES AS NEEDED. INSPECT DEVICES WITH GENERAL CONTRACTOR AT LEAST ONCE A

18. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS, (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS & CONSTRUCTION TO BE

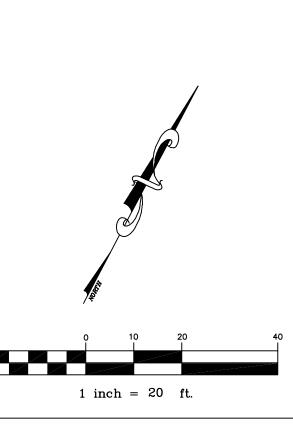
19. CUT AND FILL SLOPES ARE NOT TO EXCEED 3:1 UNLESS OTHERWISE NOTED. 20. IN NO CASE SHALL ANY PAVED AREAS BE LESS THAN A SLOPE OF 1.0%. ALL ACCESSIBLE SIDEWALKS AND

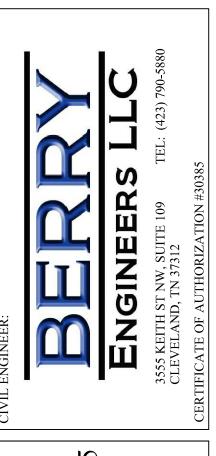
AISLE SLOPES NOT TO EXCEED 2% CROSS-SLOPE. 21. CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF HIS WORK. 22. ALL LINEAR FOOTAGE FOR ALL UTILITY PIPES ARE APPROXIMATE, ACTUAL INSTALLED QUANTITIES MAY VARY.

23. GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO BASE AND PAVING OPERATIONS COMMENCING.

24. GRADING CONTRACTOR SHALL MAINTAIN ALL WEATHER CONSTRUCTION ACCESS ROADS AS REQUIRED BY GENERAL

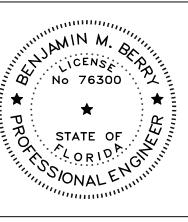
UTILITIES & GRADING LEGEND		
	EXISTING	PROPOSED
RIGHT-OF-WAY/PROPERTY LINE		
WATER LINE		w _
SANITARY SEWER / SEPTIC		ss
UTILITY POLE	Ø	
UNDERGROUND POWER LINE		——uge —
UNDERGROUND TELEPHONE/DATA LINE		ugt
OVERHEAD ELECTRIC LINE	— Е —	
NATURAL GAS LINE		
CLEANOUT		%
FIRE HYDRANT		
WATER VALVE		
INDEX CONTOURS	40	40
1' INTERVALS	41	41
SPOT ELEVATION	× ^{40.50}	-40.50
STORM SEWER		
CATCH BASIN		





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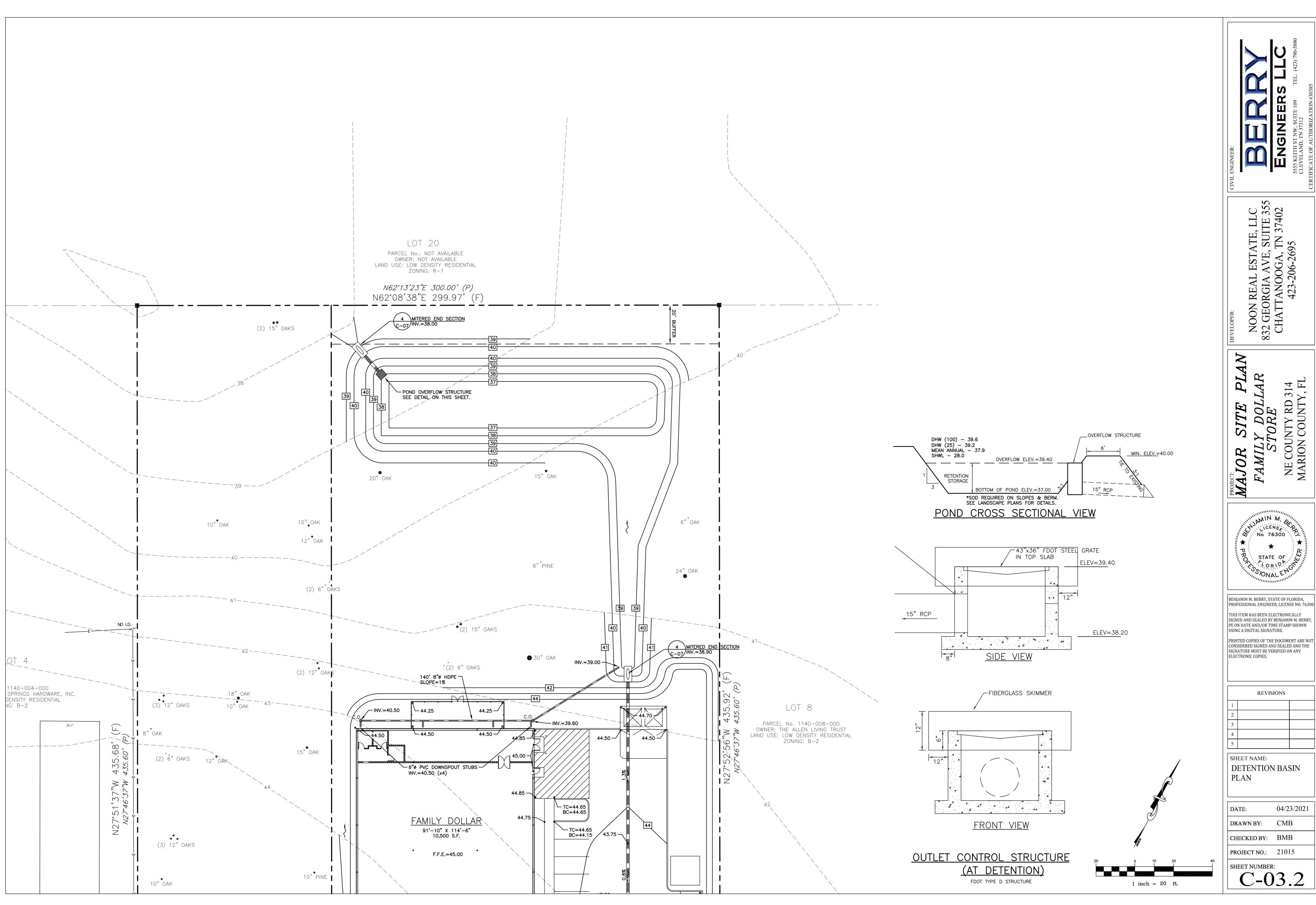
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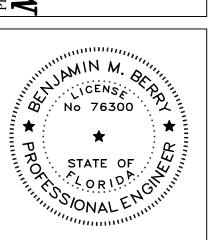
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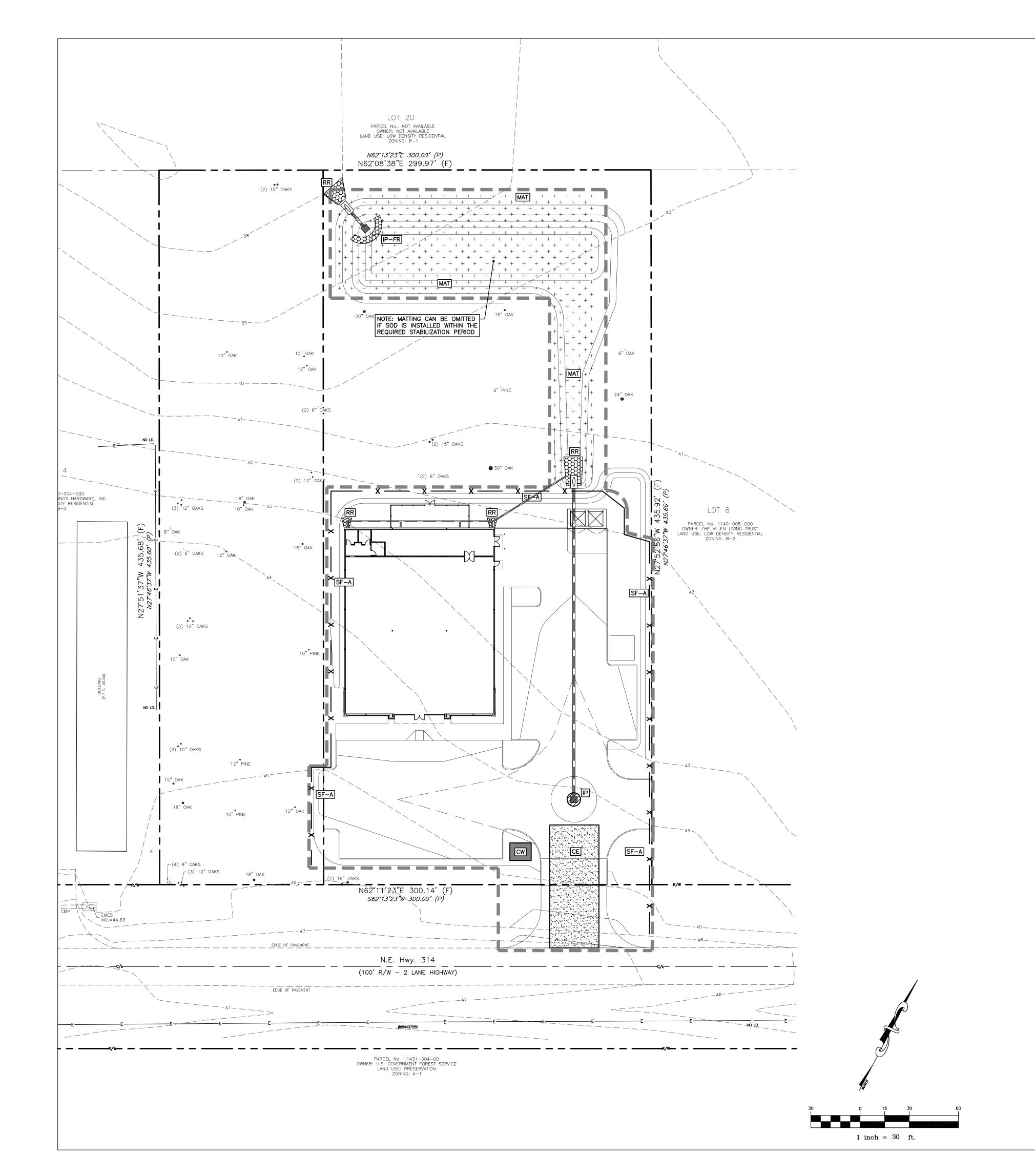
REVISIONS

SHEET NAME: SITE GRADING & DRAINAGE PLAN

04/23/2021 DATE: DRAWN BY: CHECKED BY: BMB PROJECT NO.: 21015 SHEET NUMBER:







EROSION CONTROL NOTES

- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES.
- 2. TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED, AND REDISTRIBUTED OVER ALL GRADED AREAS TO A MINIMUM OF 4". ALL AREAS NOT
- COVERED BY BUILDINGS OR PAVING TO RECEIVE TOPSOIL.

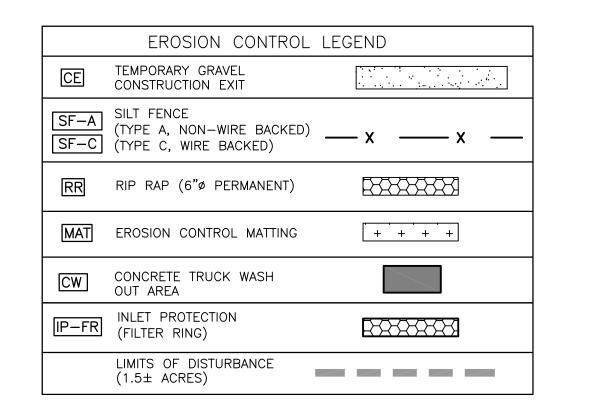
 3. ALL GRADED AREAS INCLUDING SLOPES ARE TO BE STABILIZED WITHIN 14 DAYS AFTER GRADING IS COMPLETED. COORDINATE WITH LANDSCAPING DRAWINGS AS TO TYPE OF PERMANENT GROUND COVER TO BE USED. AT A MINIMUM, ALL DISTURBED AREAS ARE TO BE SEEDED AND MULCHED.
- 4. CUT AND FILL SLOPES ARE NOT TO EXCEED 3:1 UNLESS OTHERWISE NOTED.
- CONSTRUCT EROSION CONTROL DEVICES AS SHOWN AND WHERE DESIGNATED BY THE ENGINEER.
- 6. ALL NEW STRUCTURES AND EXISTING STRUCTURES SHALL HAVE ALL SEDIMENT REMOVED PRIOR TO ACCEPTANCE.
- 7. ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL EROSION AND WATER POLLUTION
- CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS NECESSARY TO BE EFFECTIVE.
- 8. WHEN THE TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE THEY SHALL BE REMOVED.
- 9. SILT FENCES ARE TO BE REPLACED WHEN EFFECTIVENESS IS SIGNIFICANTLY REDUCED,
- 10. EROSION CONTROL MEASURES SHALL MEET OR EXCEED MINIMUM CRITERIA, STANDARDS AND SPECIFICATIONS SET BY MARION COUNTY.
- 11. CONTRACTOR SHALL ENSURE THAT ANY EROSION CONTROL MEASURES DO NOT CAUSE WATER TO ENTER ONTO ROADWAY.
- 12. CONTRACTOR IS RESPONSIBLE TO PERFORM ALL REQUIRED INSPECTIONS AND TO SUBMIT ALL REQUIRED DOCUMENTATION TO THE LOCAL AUTHORITY.
- 13. TOPSOIL MATERIAL AND SEEDING
 A. TOPSOIL MATERIAL HAS BEEN SAVED FOR USE IN FINISH GRADING. AFTER SIFTING OUT ALL PLANT GROWTH, RUBBISH, AND STONES, USE FOR AREAS DESIGNATED TO RECEIVE GRASS. IF STOCKPILED TOPSOIL IS NOT SUFFICIENT QUANTITY TO COMPLETE WORK, FURNISH ACCEPTABLE TOPSOIL FOR GRASS AREAS UNLESS NOTED OTHERWISE ON THE DRAWINGS. GRASS AREAS SHALL BE DEFINED AS THAT GRADED AREA DISTURBED DURING CONSTRUCTION NOT TO BE
 - PAVED OR BUILT UPON.

 B. ACCEPTABLE TOPSOIL MATERIAL SHALL BE DEFINED AS NATURAL FERTILE,
 AGRICULTURAL SOIL, CAPABLE FOR SUSTAINING VIGOROUS PLANT GROWTH,
 UNIFORM COMPOSITION THROUGHOUT, WITHOUT ADMIXTURE OF SUBSOIL, FREE OF
 STONES LUMPS PLANTS AND THEIR ROOTS STICKS OR OTHER EXTRANEOUS
 - STONES, LUMPS, PLANTS AND THEIR ROOTS, STICKS,OR OTHER EXTRANEOUS MATTER; DO NOT DELIVER WHILE IN A FROZEN OR MUDDY CONDITION.

 C. GRASS SEED SHALL BE OF THE PREVIOUS SEASON'S CROP AND THE DATE OF ANALYSIS SHOWN ON EACH BAG FOR TESTING. GRADING CONTRACTOR SHALL
 - HIRE A QUALIFIED LANDSCAPE CONTRACTOR TO PREP FOR AND PERFORM ALL PERMANENT SEEDING.

 D. THE SEED SHALL COMPLY WITH ALL PROVISIONS OF THE U.S. DEPARTMENT OF
 - AGRICULTURE AS TO LABELING, PURITY, AND GERMINATION.

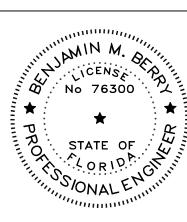
 E. PERMANENT STAND OF GRASS SHALL BE ESTABLISHED 30 DAYS PRIOR TO GRAND OPENING. ALL WATERING, MAINTENANCE, MOWING, ETC. SHALL BE PERFORMED BY THE SITE CONTRACTOR WITH ACCEPTANCE BY OWNER.
- 14. SEE SHEET C-07 FOR ADDITIONAL DETAILS ON EROSION AND SEDIMENT CONTROL.





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FAMILY DOLLAR
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NE COUNTY RD 314
MARION COUNTY, FL



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SHEET NAME:
EROSION CONTROL
PLAN

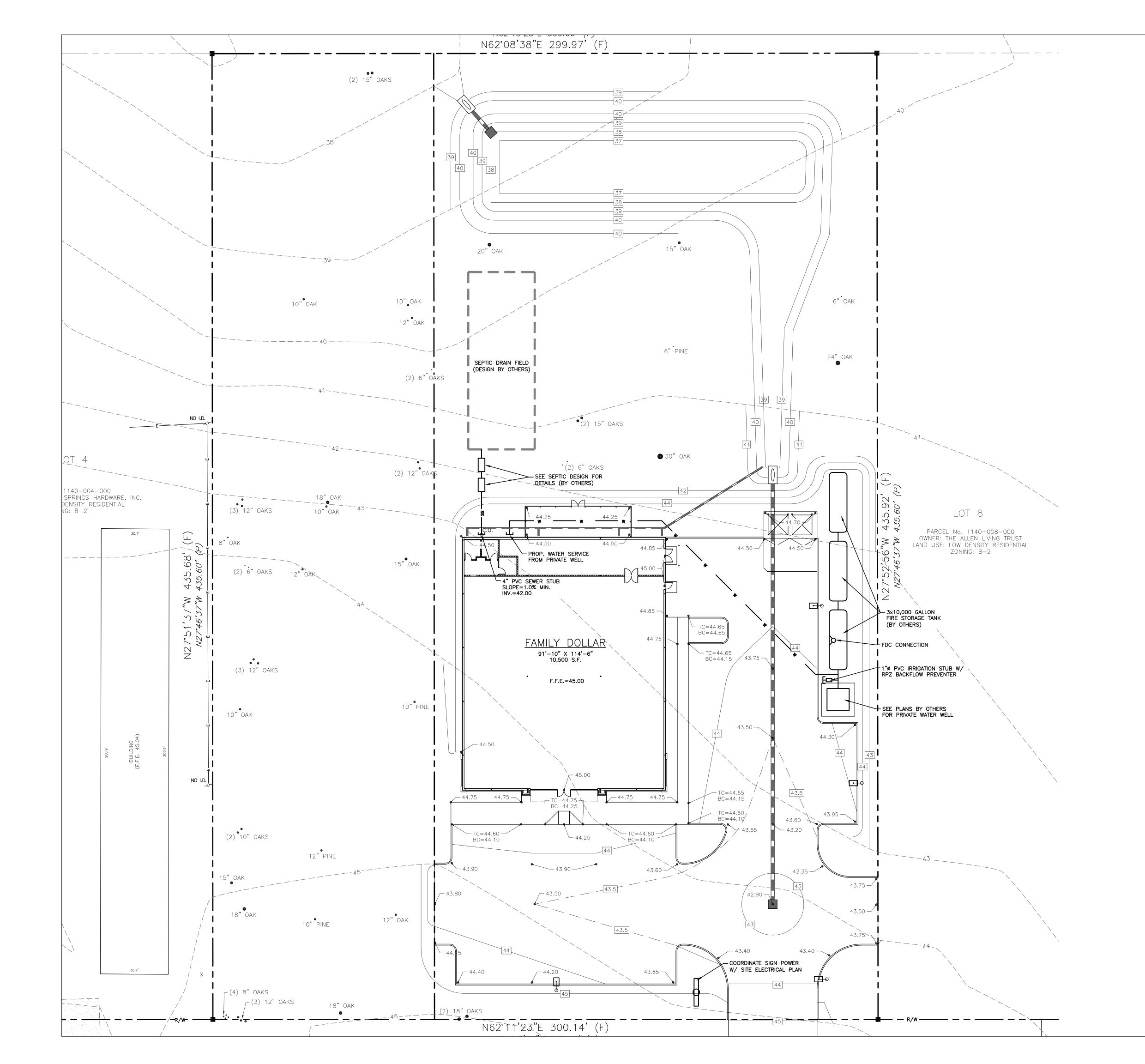
DATE: 04/23/2021

DRAWN BY: CMB

CHECKED BY: BMB

PROJECT NO.: 21015

SHEET NUMBER:



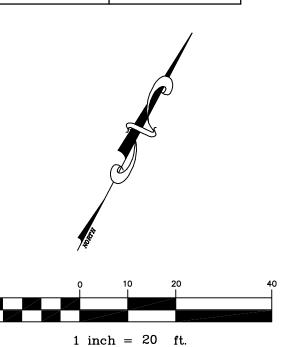
SITE UTILITY NOTES

- 1. THE SITE UTILITY PLAN IS FOR SANITARY SEWER AND WATER LINE CONSTRUCTION
- ONLY. DO NOT USE FOR GRADING OR STORM SEWER CONSTRUCTION.

 2. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- 3. ALL DOMESTIC WATER AND SANITARY SEWER STUBS TO BE TERMINATED 5 FEET OUTSIDE OF THE BUILDING UNLESS OTHERWISE NOTED. THE END OF THESE SERVICE LINES SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED UNTIL SUCH TIME AS CONNECTION IS MADE INSIDE BUILDING BY PLUMBING CONTRACTOR.
- 4. SITE UTILITY CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF THE UTILITIES. ALL PIPE AND FITTINGS SHALL BE INSPECTED BY THE WATER DEPARTMENT INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING PRESSURE TESTING AND DISINFECTION OF LATERALS AND HIS SIGNATURE OF APPROVAL IS REQUIRED.
- 5. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY, AND MARION COUNTY.
- 6. THE SITE UTILITY CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE LOCAL UTILITY AUTHORITIES FOR CONNECTION TO THE EXISTING MAINS AND PAY ALL APPLICABLE
- 7. ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 36" ABOVE TOP OF PIPE.
- 8. CONTRACTOR SHALL ADJUST LOCATION OF PROPOSED WATER LINES AS REQUIRED TO AVOID CONFLICTS WITH STORM SEWER OR OTHER UTILITIES AT NO EXTRA COST.
- 9. BASED ON THE CURRENT EDITION OF THE INTERNATIONAL PLUMBING CODE, CLEANOUTS ARE REQUIRED AT A MAXIMUM SPACING OF 100 FEET ON UTILITY LEAD—INS TO BUILDING. CONTRACTOR TO PROVIDE A CLEANOUT WITHIN 5 FEET OF BUILDING AND AT
- 10. THE SITE UTILITY CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS ON THE SITE.
- 11. ALL MATERIALS SHALL BE U.L. LISTED AND APPROVED BY THE LOCAL UTILITY COMPANY UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- 12. THE EXISTING UTILITY FACILITIES AND LOCATIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM READILY AVAILABLE INFORMATION. THE ACTUAL LOCATIONS OF THE UTILITY FACILITIES MAY VARY SOMEWHAT FROM THE LOCATIONS SHOWN OR INDICATED ON THE DRAWINGS. THE SITE UTILITY CONTRACTOR SHALL CONTACT ALL AGENCIES WITH UTILITY FACILITIES IN THE VICINITY OF THE WORK AND SHALL LOCATE ALL UNDERGROUND FACILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL PROTECT ALL UTILITY FACILITIES AND REPAIR ANY DAMAGES RESULTING FROM THEIR WORK, IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS AND RELOCATE IF REQUIRED.
- 13. ALL PVC WATER LINES SHALL MEET AWWA C900 SPECIFICATIONS WITH GASKET JOINTS MEETING ASTM F477 AND ASTM D3139. PVC WATER LINES OVER 4"Ø SHALL BE PRESSURE CLASS DR 25 (165 PSI). FIRE LINES TO BUILDINGS SHALL BE PRESSURE CLASS DR 18 (235 PSI). PVC WATER LINES 4"Ø OR LESS SHALL BE SDR-21 OR SDR-26 MEETING ASTM D-2241. POLYETHYLENE (PE) PLASTIC PIPE OR TUBING MAY BE USED FOR 2"Ø OR LESS SERVICE LINES. PE PIPE OR TUBING SHALL MEET AWWA C901 SPECIFICATIONS AND ASTM D2239 OR ASTM D2737.
- ALL SANITARY SEWER PIPE SHALL BE SDR 35 MEETING ASTM D3034 WITH GASKET TYPE JOINTS MEETING ASTM F477.
- 15. UTILITY LEAD—INS TO BUILDING SHALL NOT BE INSTALLED UNTIL BUILDING PLANS ARE COMPLETED AND LOCATIONS ESTABLISHED ON THE ARCHITECTURAL PLUMBING PLANS. LEAD—INS MAY CHANGE 15' HORIZONTALLY AND 3' VERTICALLY PRIOR TO INSTALLATIONS AT NO ADDITIONAL COST TO THE OWNER. UTILITY CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM PRIME CONTRACTOR PRIOR TO INSTALLATION OF LEAD—INS. LOCATION, SIZE, AND INVERT ELEVATIONS OF SANITARY SEWER SHALL BE COORDINATED WITH THE APPROVED PLUMBING PLANS FOR THE
- 16. BUILDING PLUMBING CONTRACTOR SHALL PAY ALL COST FOR WATER METERS, METER BOXES, VALVES, ETC. TO PROVIDE A COMPLETE JOB PER LOCAL AUTHORITY REQUIREMENTS
- 17. THRUST BLOCKS SHALL BE PROVIDED AT ALL TEES, ELBOWS, AND BENDS OF SUFFICIENT SIZE TO COMPLY WITH MINIMUM STANDARDS OF N.F.P.A. EXISTING SOIL
- 18. SHOULD LATENT SOIL CONDITIONS NECESSITATE, CONTRACTOR SHALL INSTALL SPECIAL SUPPORTS FOR PIPING AND/OR APPURTENANCES INCLUDING THE REMOVAL OF UNSUITABLE MATERIAL AND BACKFILLING WITH GRAVEL OR OTHER MATERIAL. CONTRACTOR SHALL PERFORM ANY SUCH WORK AS DIRECTED BY THE CIVIL ENGINEER AND/OR SOILS ENGINEER AT NO COST TO OWNER.
- 19. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PREPARED.
- 20. THE SITE UTILITY CONTRACTOR SHALL COORDINATE AND PAY FOR ALL SANITARY SEWER CONNECTIONS. SANITARY SEWER CONNECTION FINAL TIE—IN TO THE EXISTING MANHOLE(S) SHALL NOT BE MADE UNTIL COMPLETION OF THE PROPOSED SYSTEM AND ALL MANHOLES HAVE BEEN BROUGHT ABOVE GROUND TO INSURE SEDIMENT DOES NOT ENTER SYSTEM. LINES SHALL BE PROPERLY CLEANED, IF NEEDED.
- 21. CONNECTIONS TO EXISTING WATER LINE MAY BE PERFORMED BY THE CONTRACTOR. THE SITE UTILITY CONTRACTOR SHALL VERIFY REQUIREMENTS AND PAY ALL COSTS.
- 22. SITE UTILITY CONTRACTOR TO COORD. WITH IRRIGATION CONTRACTOR TO PROVIDE POWER IN CONDUIT TO IRRIGATION CONTROLLER PER MANUFACTURERS RECOMMENDATIONS. VERIFY EXACT LOCATION OF CONTROLLER W/ OWNER PRIOR TO
- INSTALLATION.

 23. SEE SHEET C-08 ADDITIONAL UTILITY DETAILS.

UTILITIES & G	RADING LEGEND	
	EXISTING	PROPOSED
RIGHT-OF-WAY/PROPERTY LINE		
WATER LINE		w
SANITARY SEWER / SEPTIC		ss
UTILITY POLE	Ø	
UNDERGROUND POWER LINE		———UGE ——
UNDERGROUND TELEPHONE/DATA LINE		ugt
OVERHEAD ELECTRIC LINE	— Е —	
NATURAL GAS LINE		
CLEANOUT		%
FIRE HYDRANT		
WATER VALVE		
INDEX CONTOURS	40	40
1' INTERVALS	41 — —	41
SPOT ELEVATION	× ^{40.50}	~ -40.50
STORM SEWER		
CATCH BASIN		

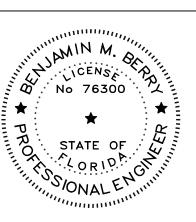




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REVISIONS

SHEET NAME:
SITE UTILITY PLAN

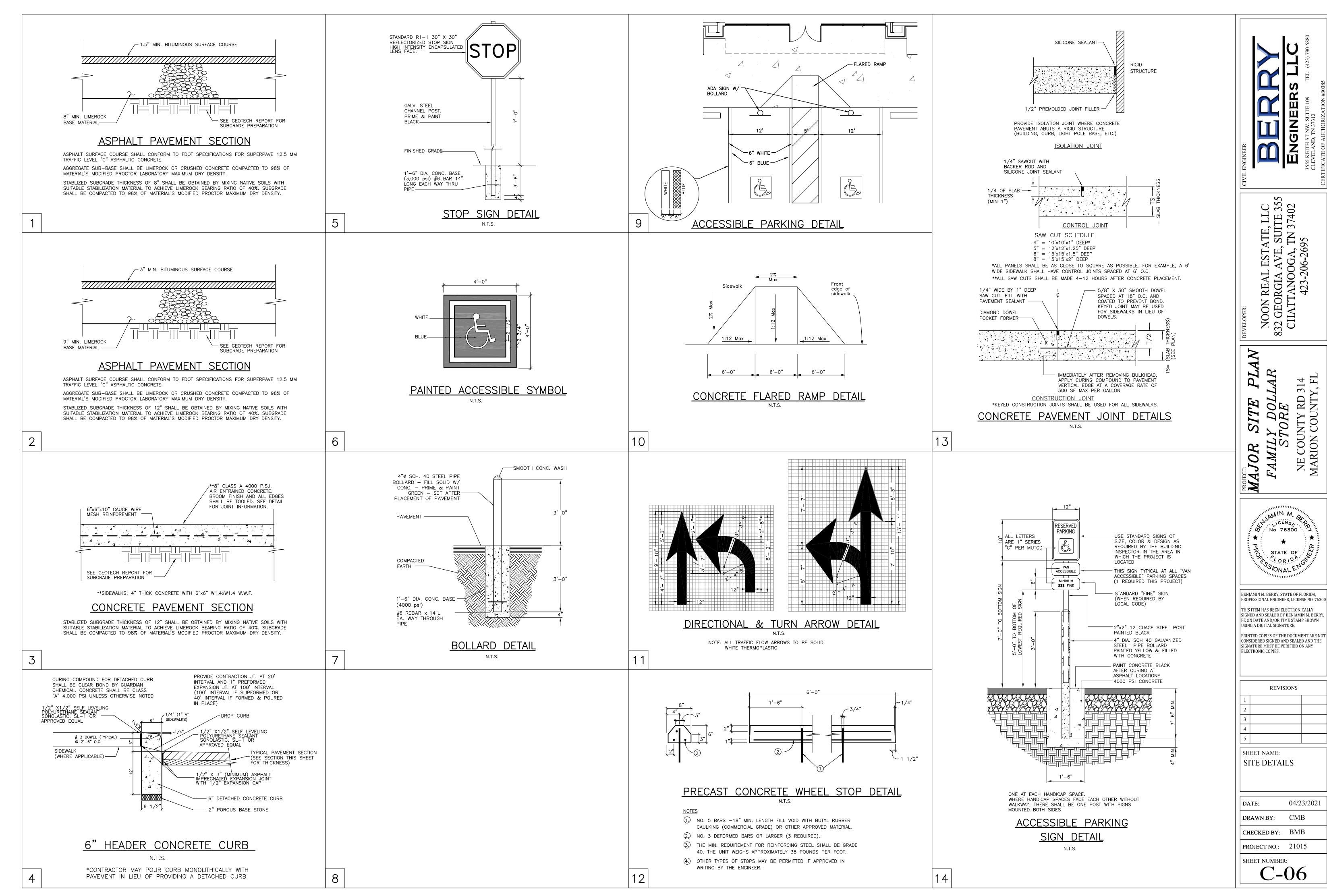
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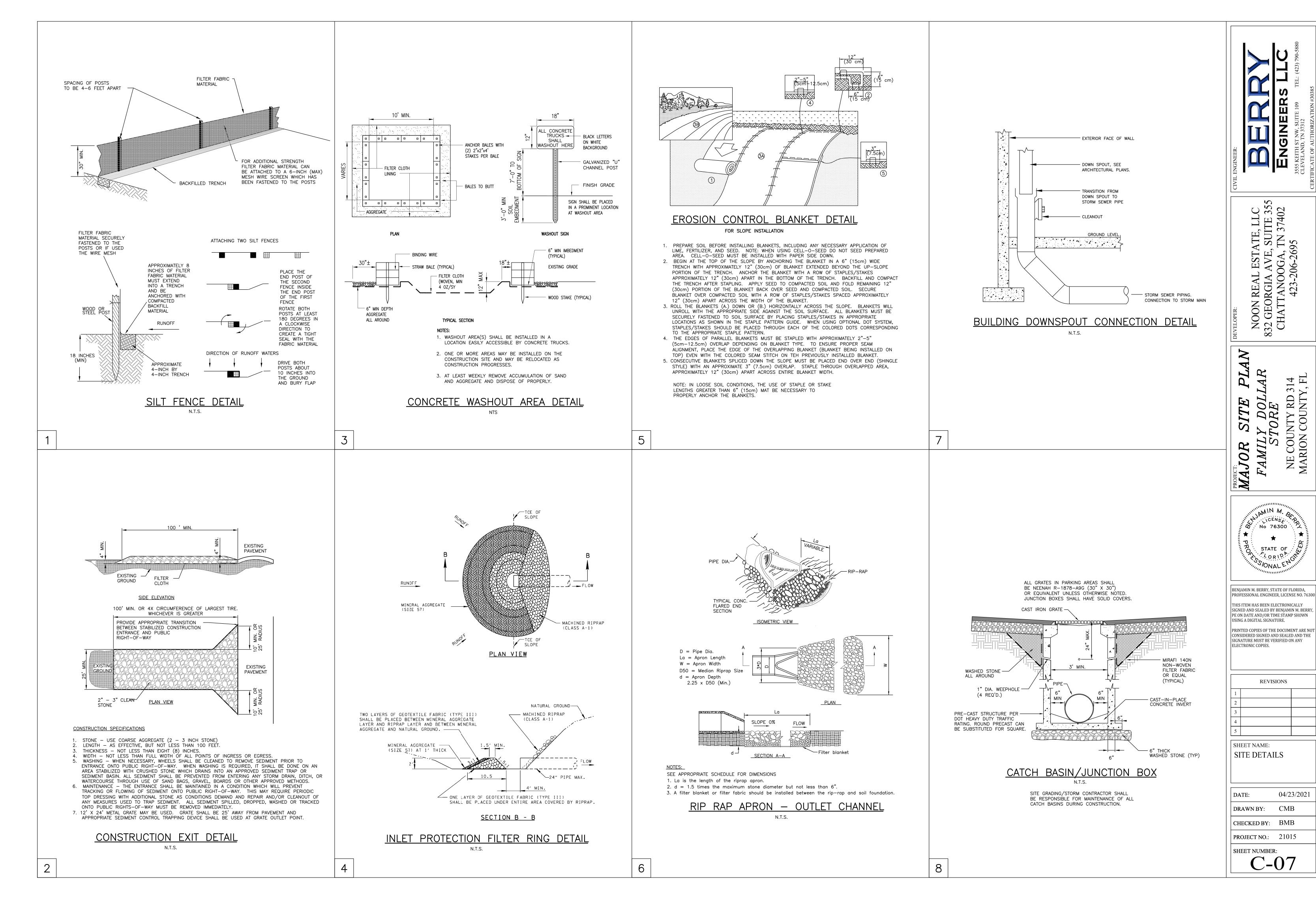
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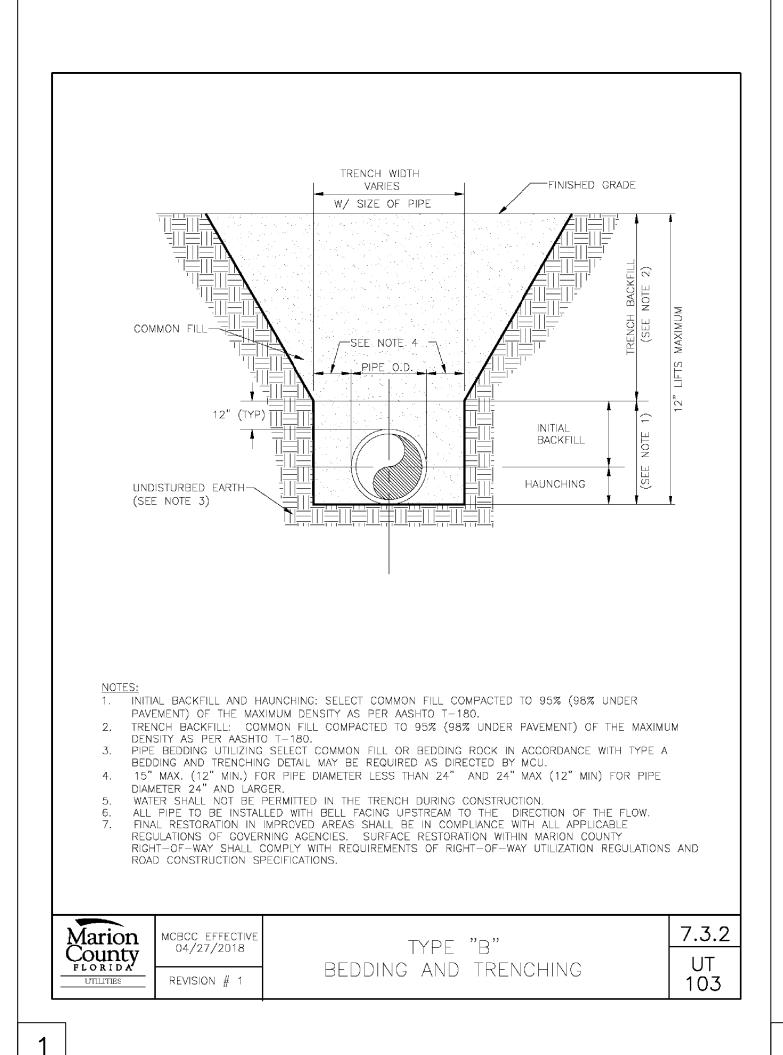
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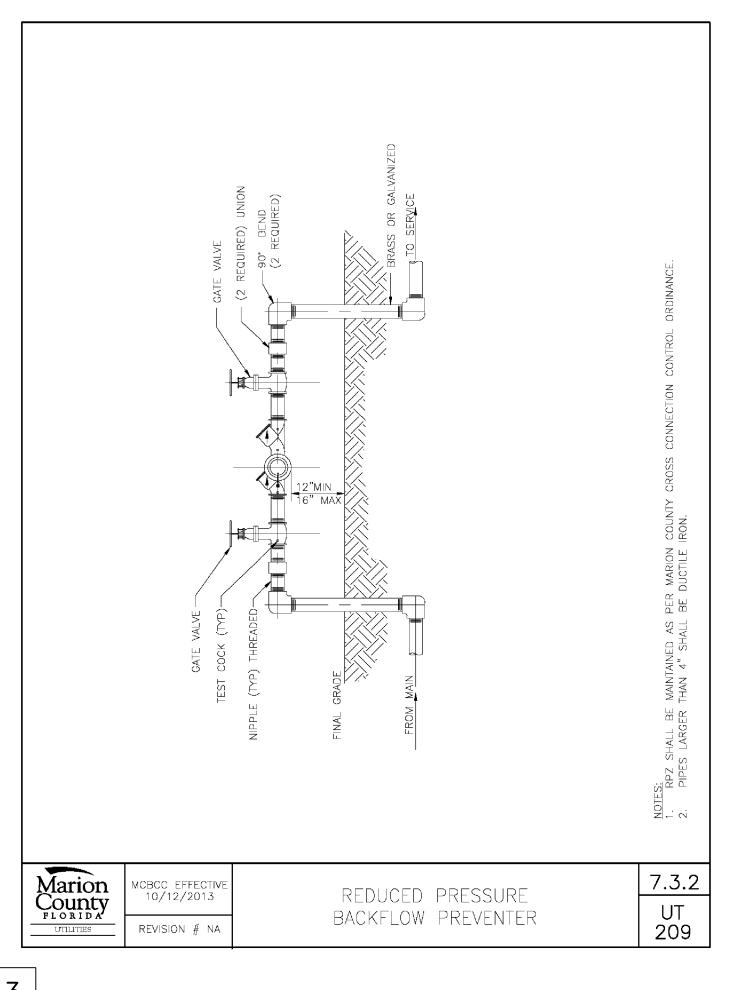
PROJECT NO.: 21015

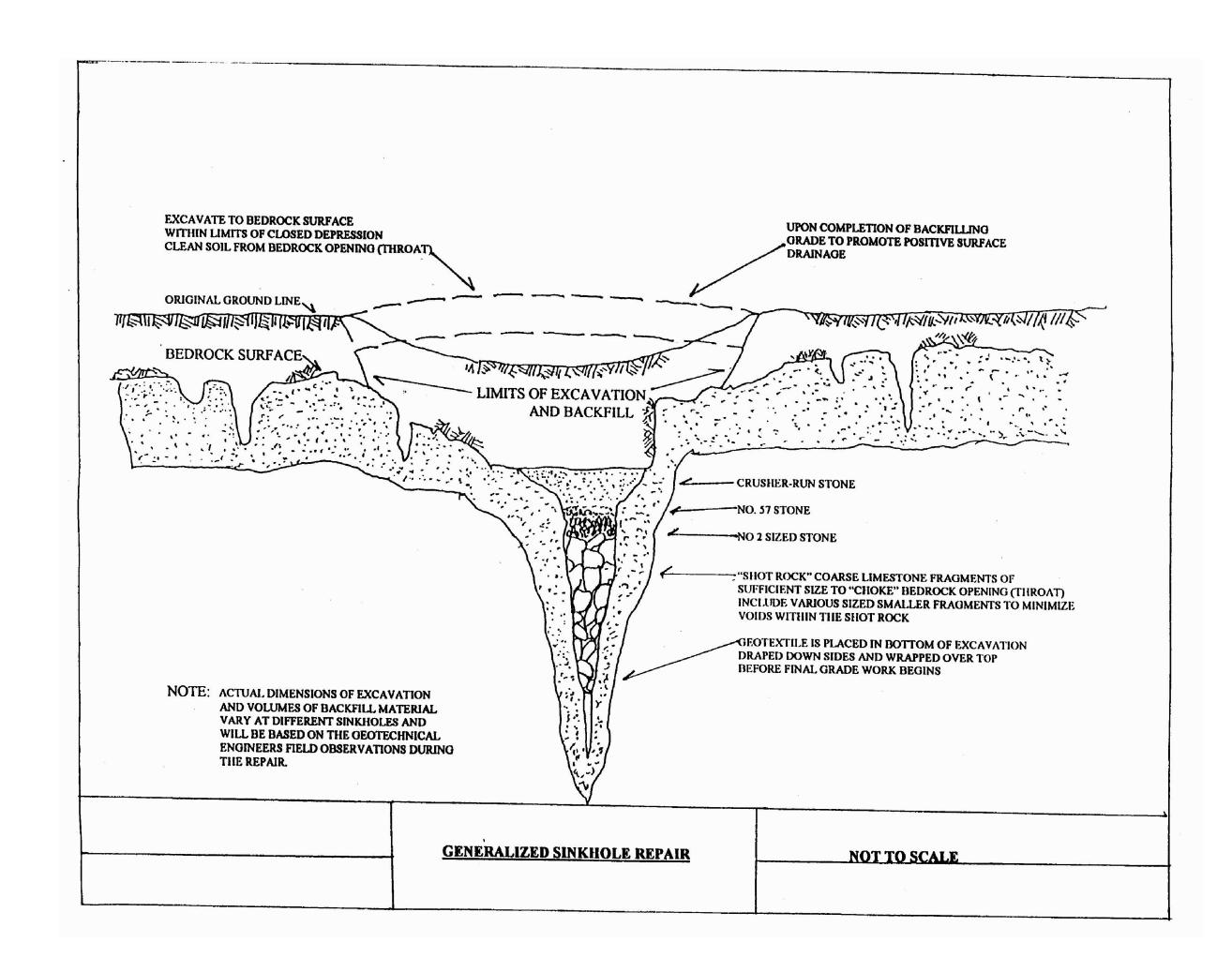
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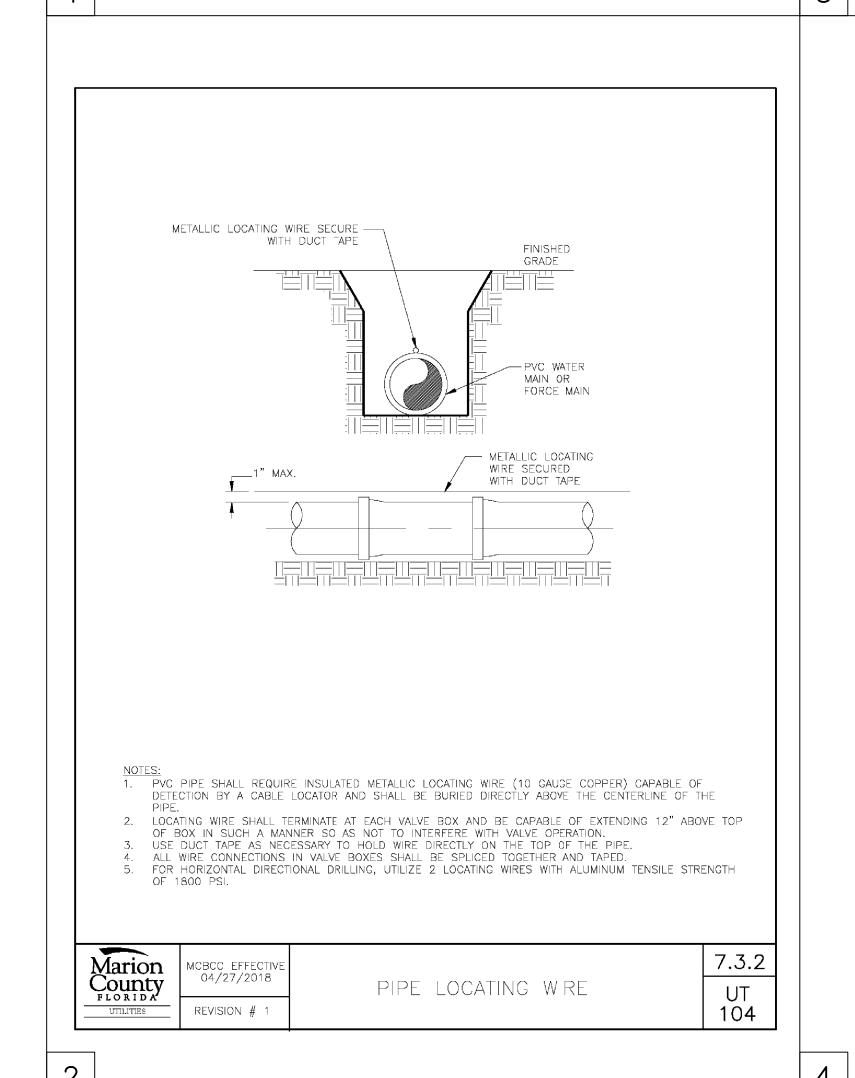


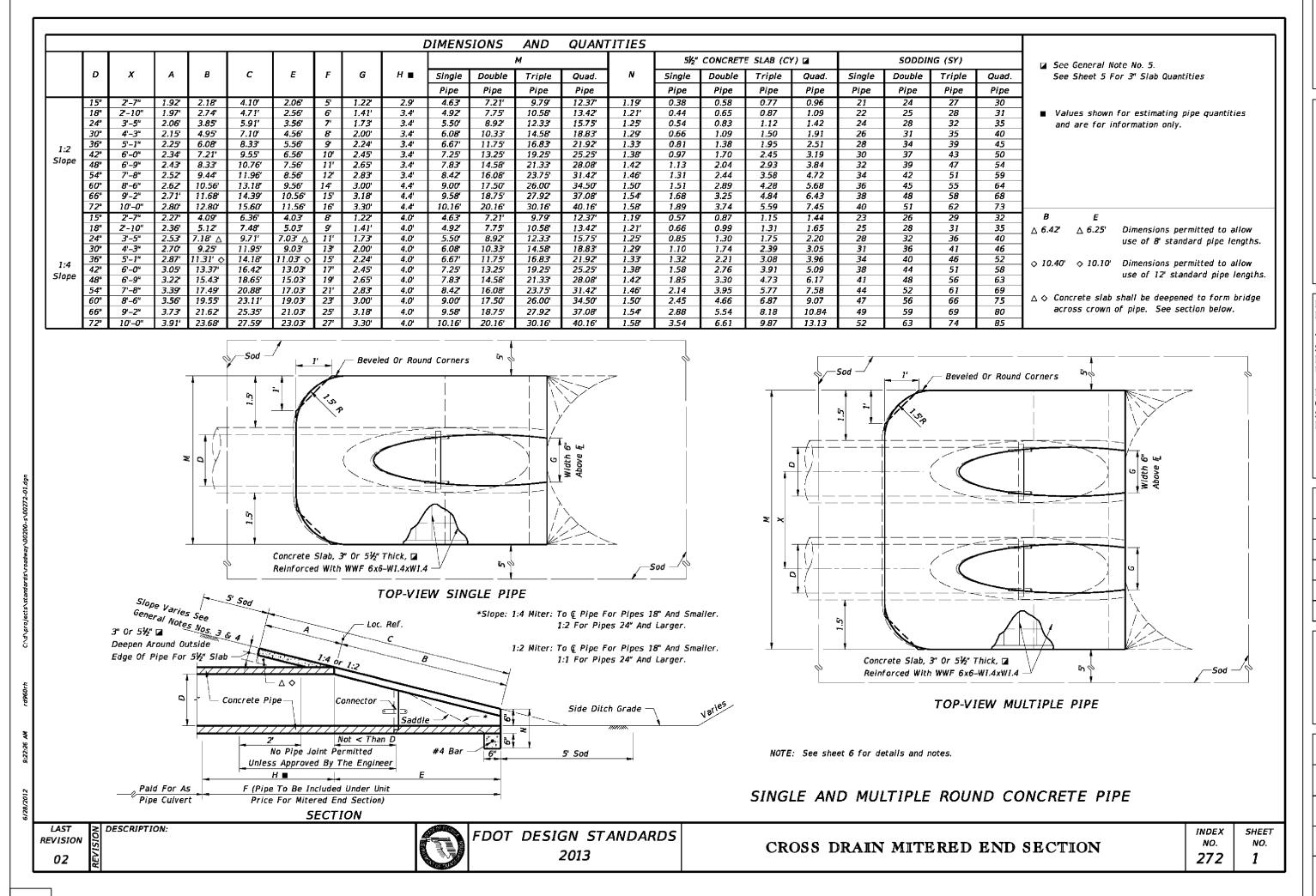


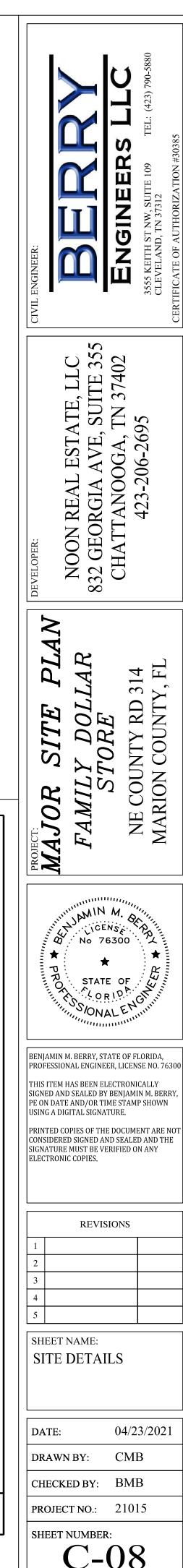


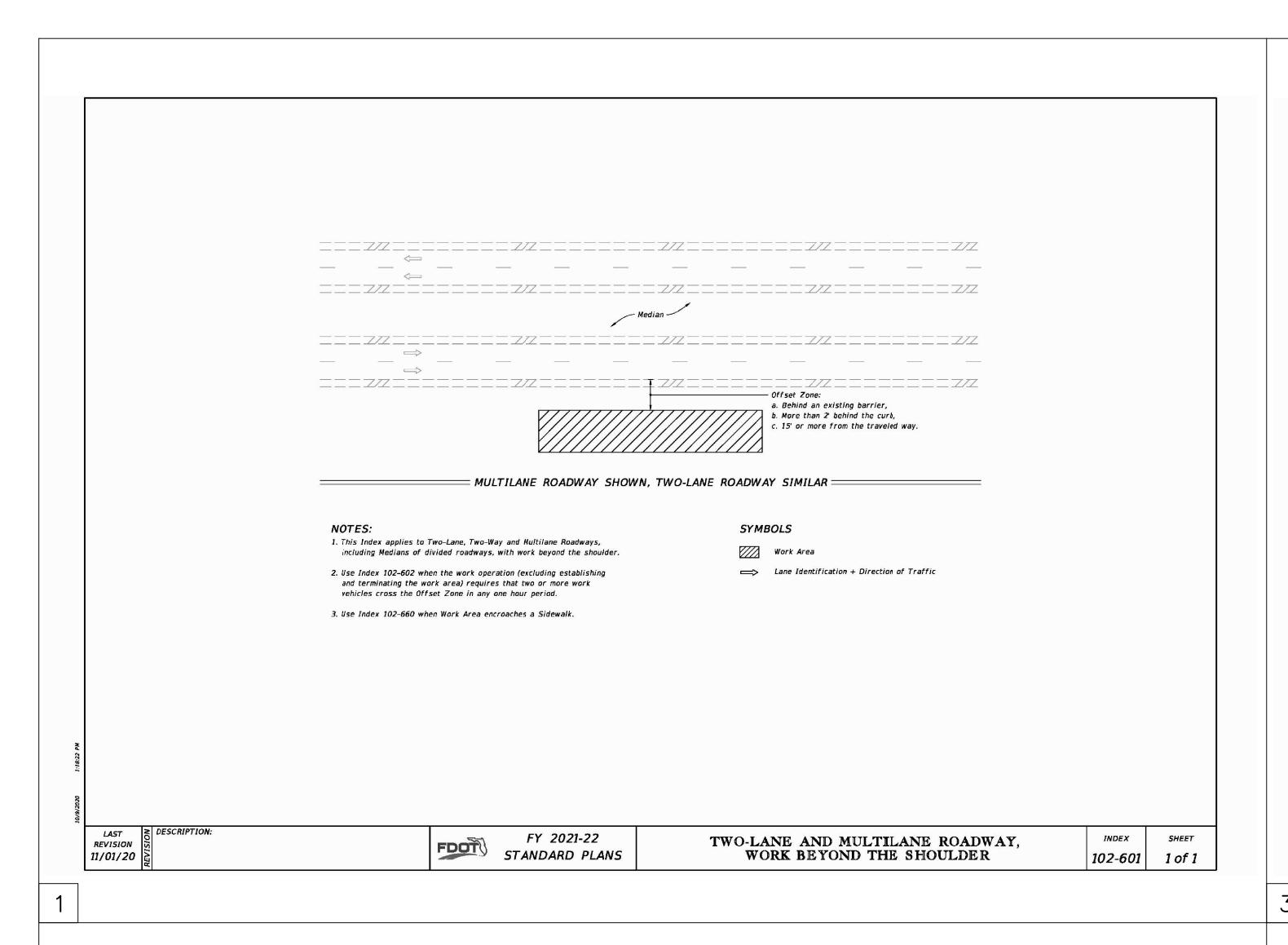


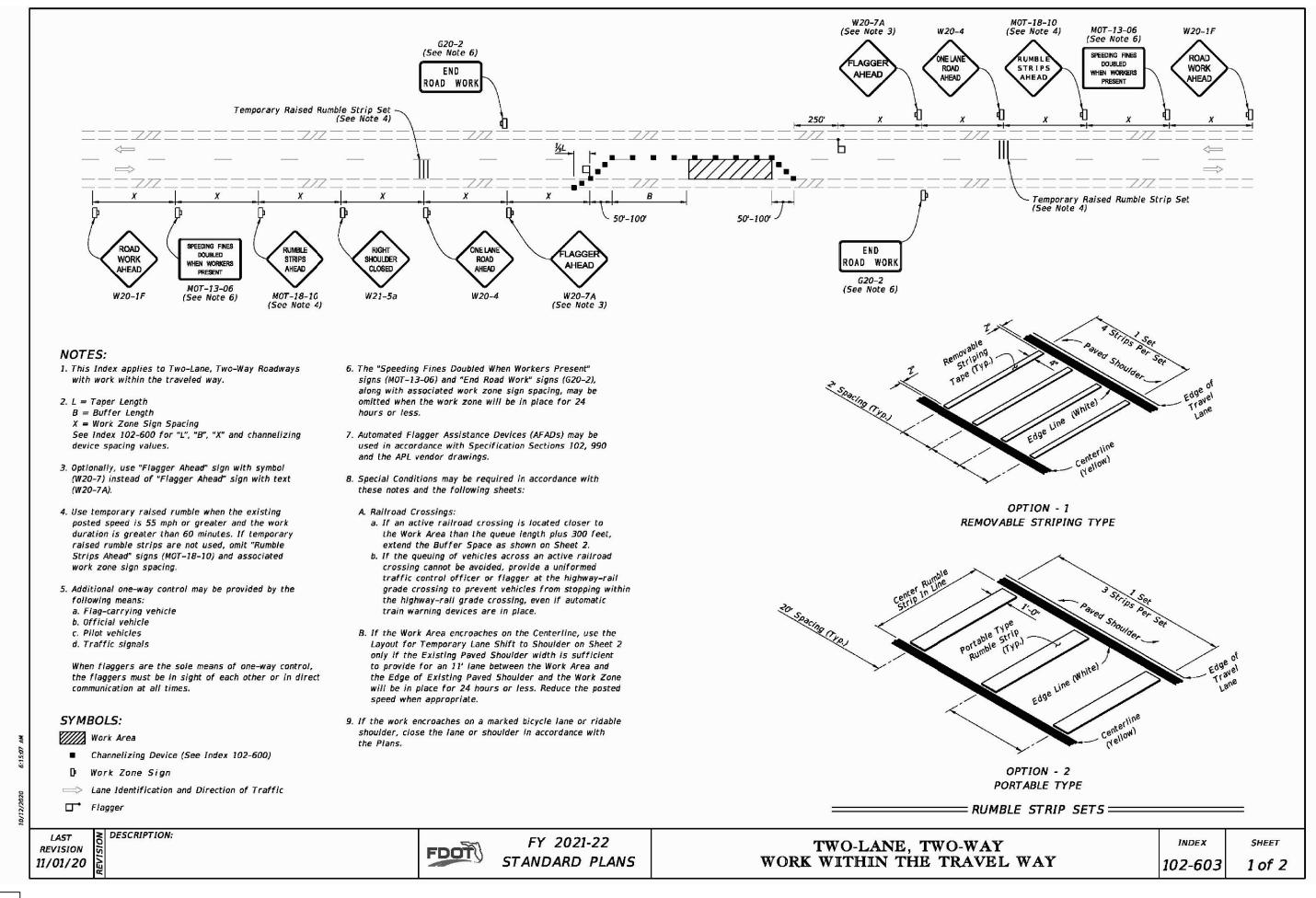
A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL SHALL BE PROVIDED BETWEEN THE SURFACE OF ANY LIMESTONE BEDROCK AND THE BOTTOM AND SIDES OF ANY STORMWATER FACILITY.



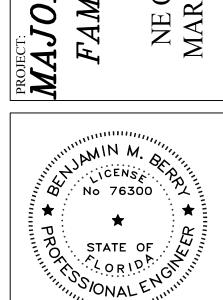








Speeding fines Doubled When Workers Present NOTES: 6" White (See Note 7) -1. This Index applies to Two-Lane, Two-Way and Multilane Roadways, including Medians of divided roadways, with work on the shoulder. 10' Min. ---7 2. L = Taper LengthX = Work Zone Sign Spacing B = Buffer LengthSee Index 102-600 for "L", "X", "B", and channelizing device spacing values. 3. For incidental work (e.g. mowing or litter removal), only the Road Work Ahead sign 4. When four or more work vehicles enter the through traffic lanes in a one hour period (excluding establishing and terminating the work area), use a flagger or lane closure = TWO-LANE ROADWAY == to accommodate work vehicle ingress and SHOULDER WORK LESS THAN 2' FROM THE TRAVELED WAY WITH WORK ZONE SPEED OF 45 MPH OR LESS 5. For work less than two feet from the traveled way and work zone speed is greater than 45 MPH, use a lane closure. 6. The "Speeding Fines Doubled When Workers Present"signs (MOT-13-06) and "End Road Work" Signs (G20-2) along with the associated work zone sign spacing distances may be omitted when the temporary condition is in place for 24 hours or less. 7. Temporary pavement markings may be omitted when the work zone is in place for 3 days or less. 8. If the work encroaches on a marked bicycle lane or ridable shoulder, close the lane or shoulder in accordance with the Plans. 9. Omit "Shoulder Closed" signs (W21-5a) along with associated work zone sign spacing distances for work on the median SYMBOLS: Work Area ■ Channelizing Device (See Index 102-600) D Work Zone Sign TWO-LANE ROADWAY ⇒ Lane Identification and Direction of Traffic SHOULDER WORK BETWEEN 2' AND 15' FROM THE TRAVELED WAY LAST FY 2021-22 FDOT STANDARD PLANS **REVISION** TWO-LANE AND MULTILANE, WORK ON SHOULDER 11/01/20 102-602 1 of 2



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REVISIONS

SHEET NAME: SITE DETAILS

04/23/2021 CMB DRAWN BY:

PROJECT NO.: 21015

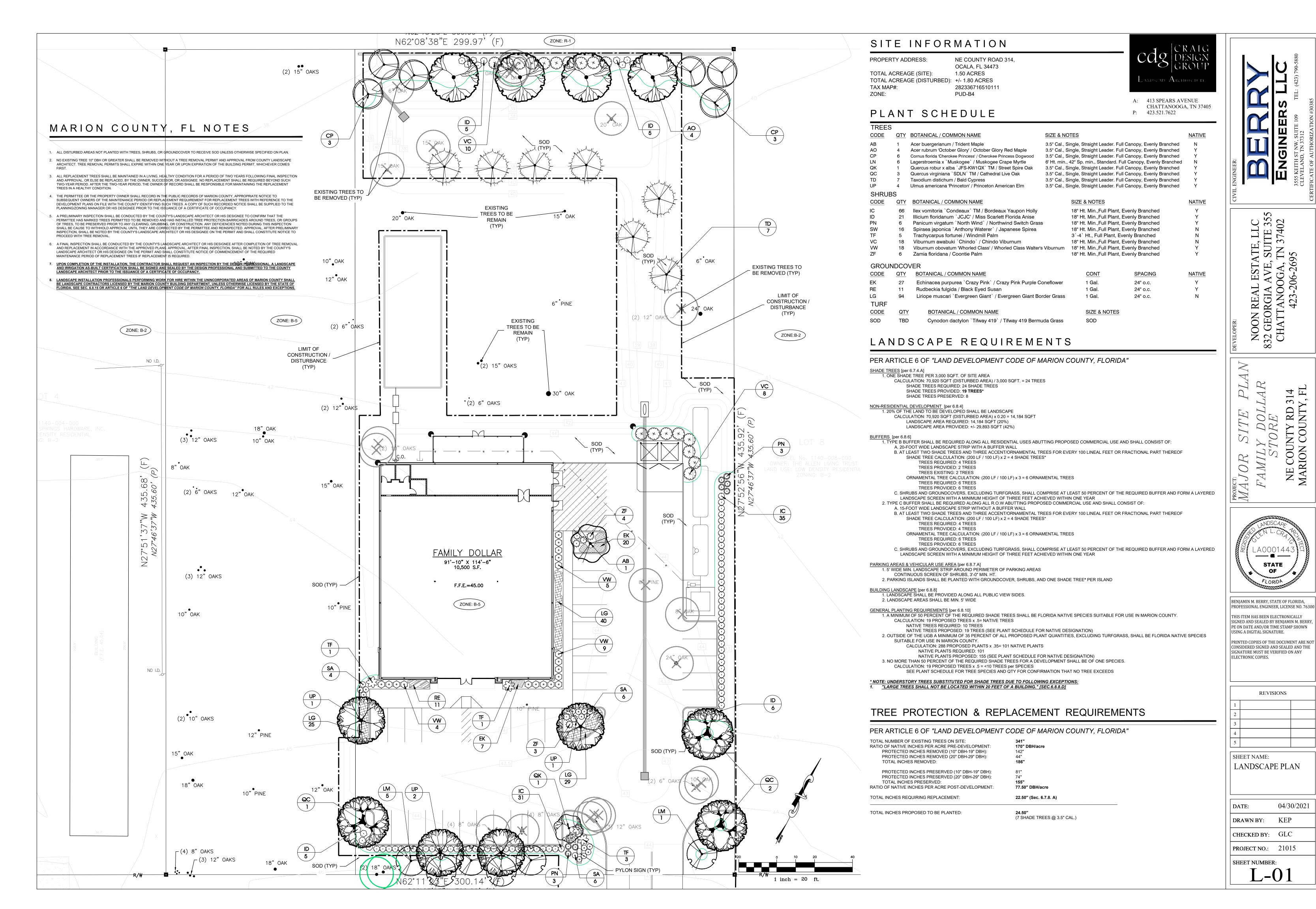
NOON REAL 1 32 GEORGIA A CHATTANOO

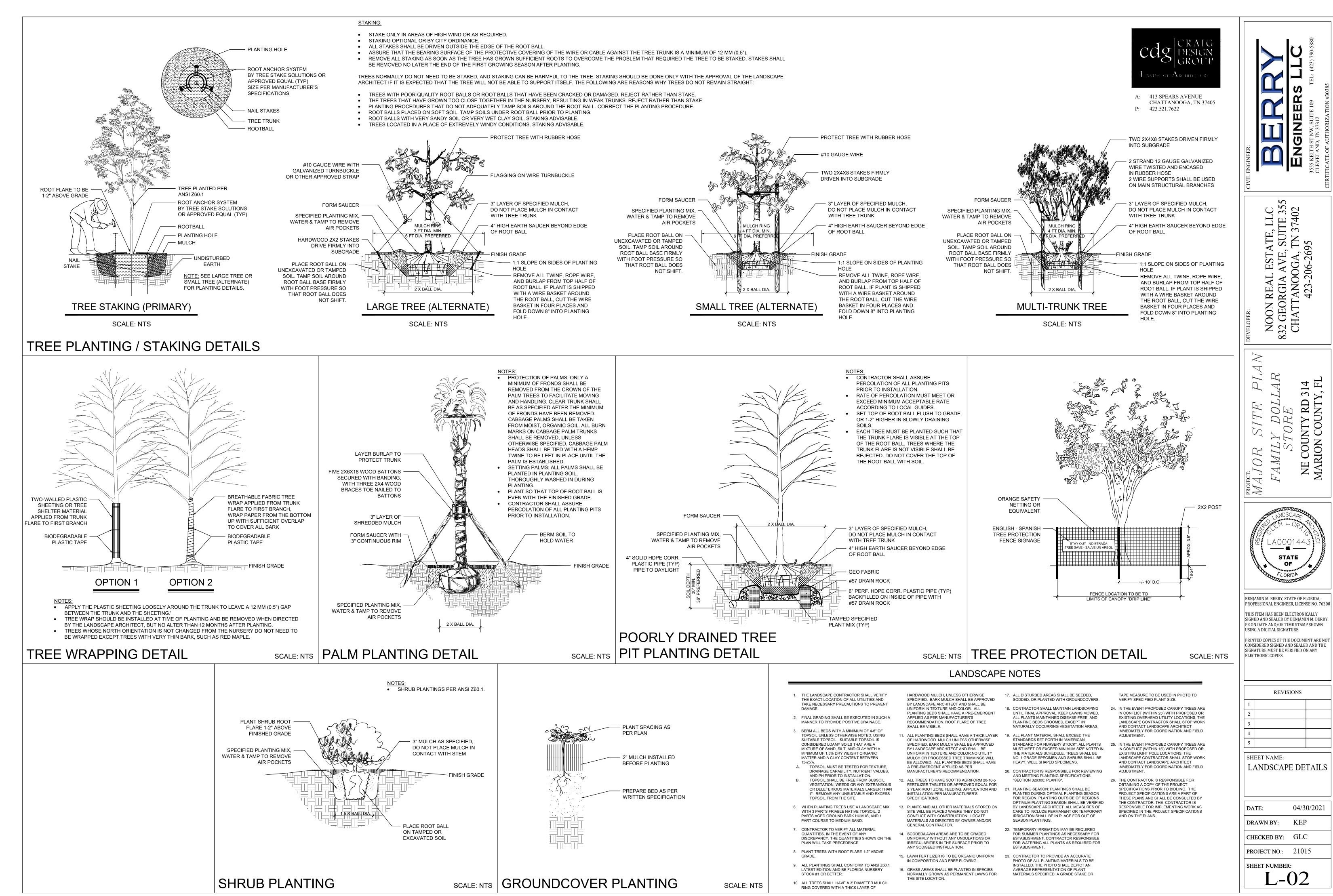
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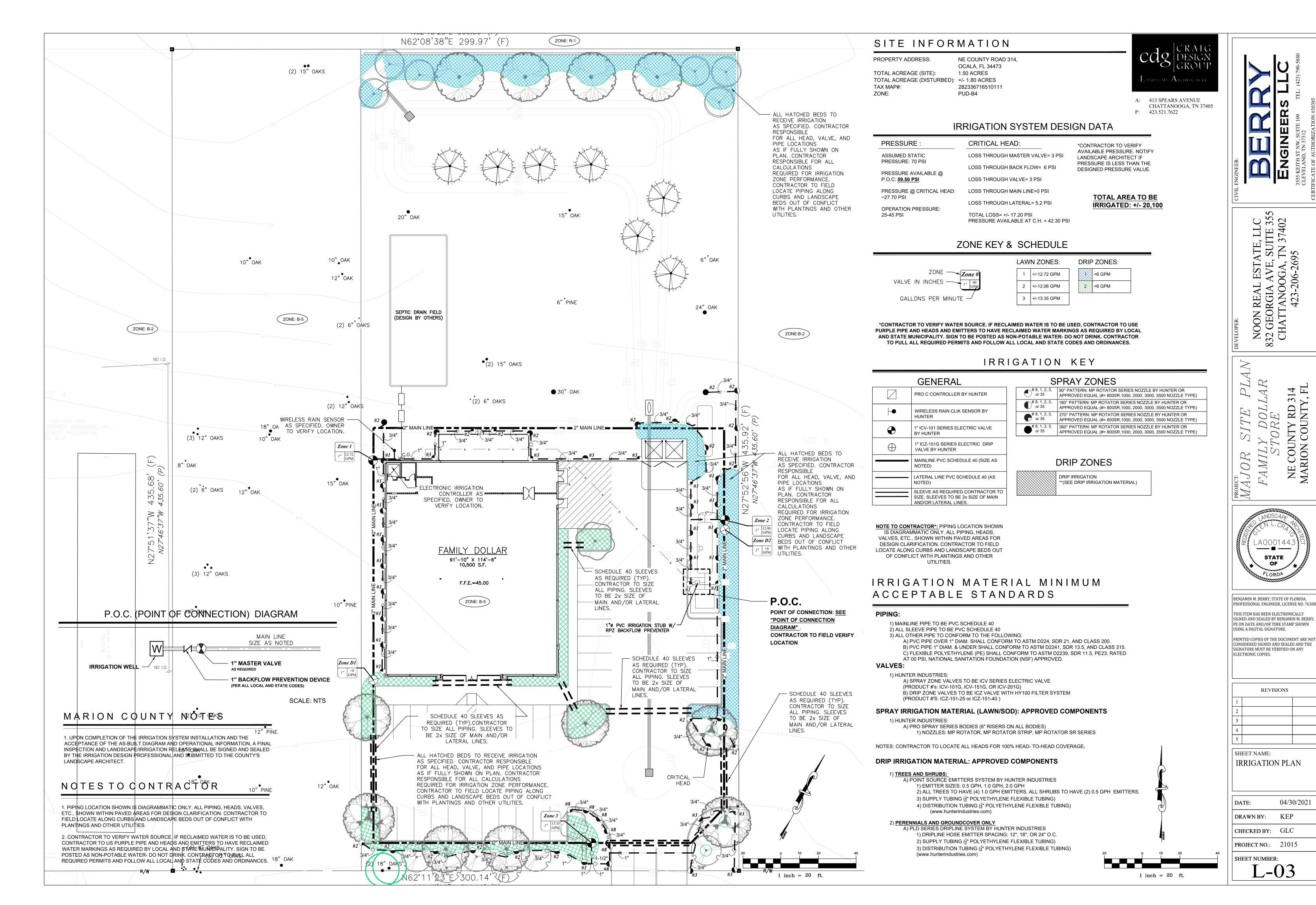
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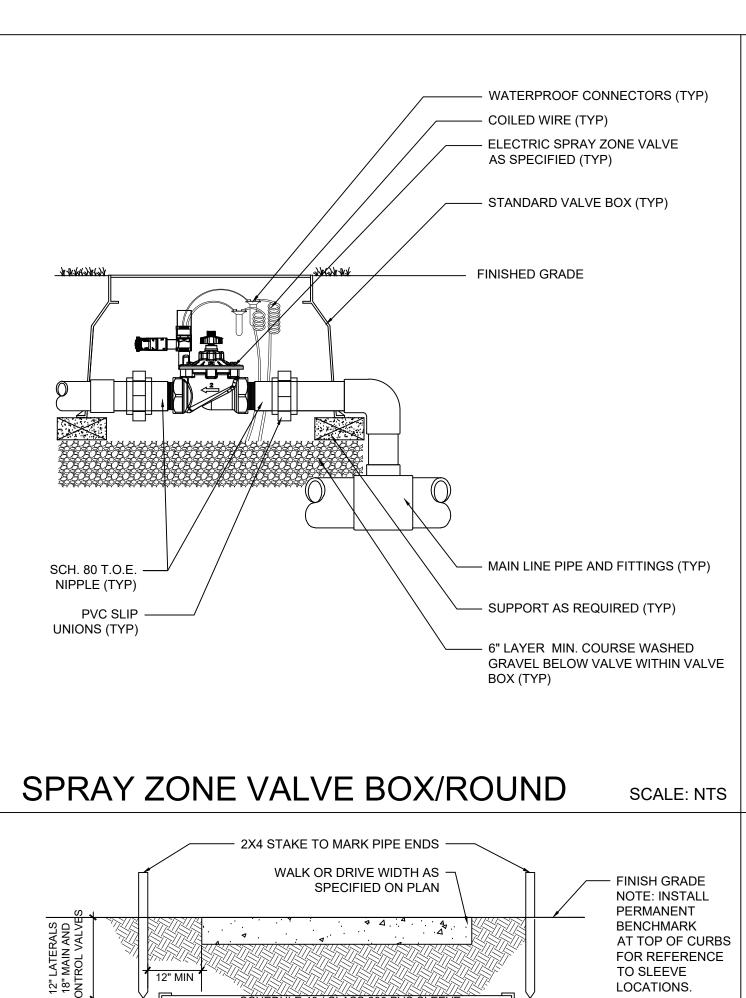
SHEET NUMBER:

JOR FAMI









SIDEWALK SLEEVING

SCALE: NTS

NOTES:

INSTALLER OF SLEEVES SHALL BE RESPONSIBLE TO LOCATE SLEEVES IF NOT PROPERLY INSTALLED.

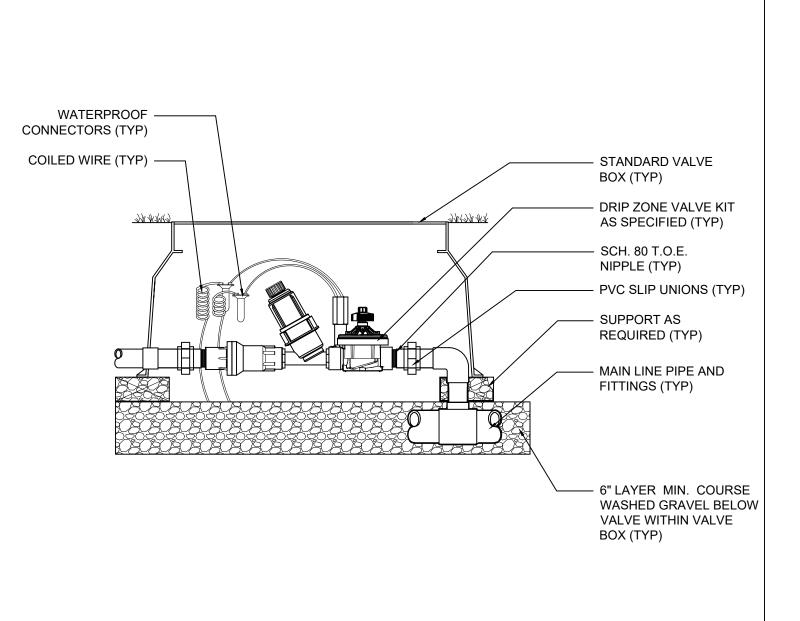
DRIVES, PARKING, AND ROAD SLEEVING

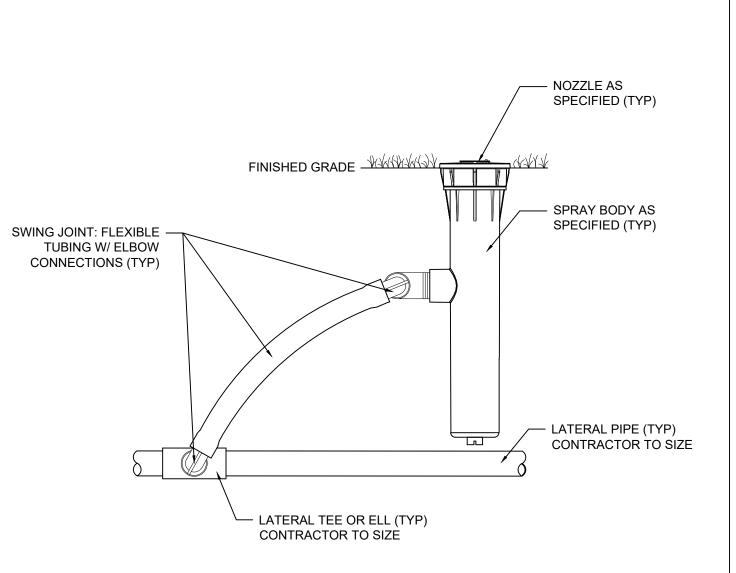
SCALE: NTS

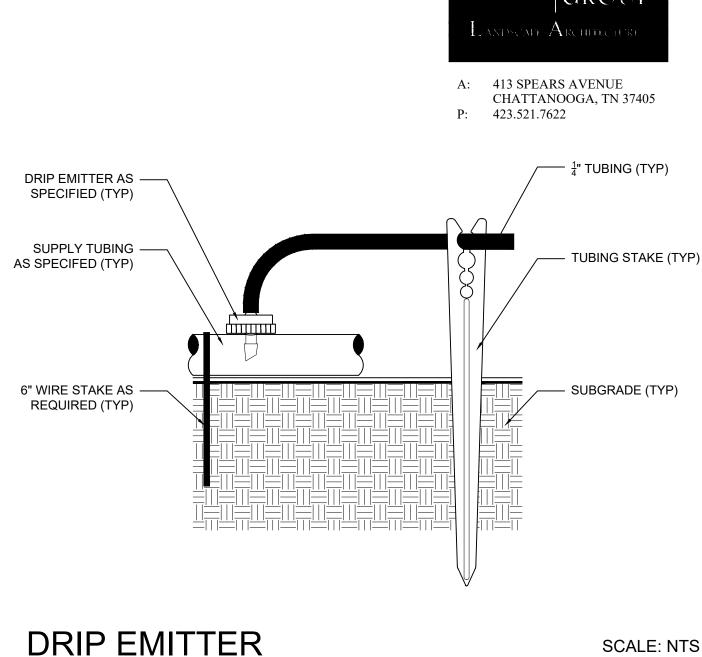
OPTIONAL 2X4 STAKE MAY BE DRIVEN SECURELY IN FRONT OF SLEEVE AND

GRANULAR FILL

SPRAY PAINTED FLUORESCENT GREEN.







TREE CANOPY (TYP)

TREE TRUNK (TYP)

SOLID DISTRIBUTION

TUBING AS

SPECIFIED (TYP)

SHRUB CANOPY (TYP) -

DRIPLINE TUBING (TYP)

EMITTER SPACING AS

SPECIFIED

 $\frac{1}{4}$ " TUBING (TYP)

DRIP EMITTER

AS SPECIFIED (TYP)

SOLID DISTRIBUTION

TUBING AS SPECIFIED (TYP)

DRIP EMITTER AS SPECIFIED (TYP)

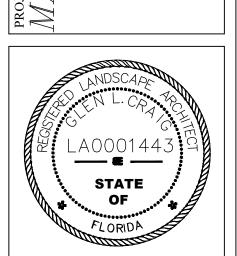
1/4" TUBING (TYP) ─

DRIPLINE TUBING (TYP)

EMITTER SPACING AS

SCALE: NTS

 $Z \neq$



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REVISIONS

IRRIGATION DETAILS

04/30/2021

KEP DRAWN BY: CHECKED BY: GLC

PROJECT NO.: 21015

SHEET NUMBER:

DRIP ZONE VALVE BOX/ROUND

WRAP PIPE END SECURELY WITH DUCT TAPE PROTECTIVE ENCLOSURE ·

PER LOCAL AND STATE

CODES AND ORDINANCES

FILL BOTTOM WITH MINIMUM

3" GRAVEL LAYER

BACKFLOW PREVENTER

PRESSURE REDUCER —

AS REQUIRED (TYP)

BACKFLOW DEVICE -

INSTALLATION NOTES:

SPECIFICATIONS.

IRRIGATION PLANS.

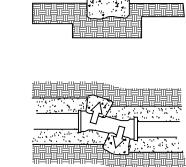
SPRAY BODY AND NOZZLE

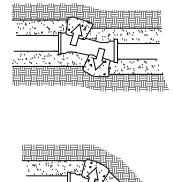
1. ALL MAINLINE TO BE INSTALLED PER MANUFACTURER'S

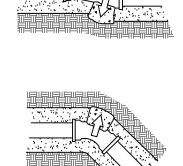
ALL TRENCH DEPTH AND WIDTH SHALL BE AS SHOWN ON THE

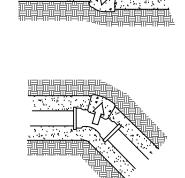
SERVICE OF THE MANUFACTURER'S QUALIFIED INSTRUCTOR.

3. THE SUCCESSFUL CONTRACTOR SHALL ARRANGE FOR THE









SHRUBS & GROUNDCOVER

SCALE: NTS

DRIPLINE SYSTEM

DRIP EMITTER SYSTEM

SCALE: NTS

TREES

 $^\prime$ SHRUBS & GROUNDCOVER

IRRIGATION NOTES

PAVEMENT SLEEVING

1. SYSTEM IS DIAGRAMMATIC FOR GRAPHIC CLARITY. ALL MAINLINE PIPING ELECTRICAL VALVES AND WIRING ARE TO BE INSTALLED IN LANDSCAPE AREAS AND WITHIN PROPERTY BOUNDARIES. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN PRIOR TO THE INSTALLATION OF THE PIPING TO AVOID INTERFERENCE WITH PLANT MATERIALS EXISTING OR NEW.

BEDDING AND COMPACTION PER GEO-TECHNICAL ENGINEER SPECIFICATIONS

2. IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION (POC) ONLY. THE DESIGN IS BASED ON GALLONS PER MINUTE (GPM) AND POUNDS PER SQUARE INCH (PSI), DESIGNED PER ASSUMED VALUES. CONTRACTOR TO VERIFY LOCATION AND VALUES.

3. COORDINATE FINAL LOCATION OF ALL DRIP TUBING, SPRINKLERS, AND NOZZLES SELECTION WITH APPROVED LANDSCAPE. ALL PIPE AND VALVE LOCATIONS ARE DIAGRAMMATIC, CONTRACTOR SHALL FIELD VERIFY.

- 4. ALL VALVES AND BOXES SHALL BE PLACED, WHERE POSSIBLE, IN PLANTED AREAS.
- 5. ALL MAINLINES TO HAVE A MINIMUM OF 12" OF COVER. (SCH 40 PVC PIPE).
- 6. ALL LATERAL AND SUB-MAIN PIPE TO HAVE A MINIMUM OF 8" OF COVER. (CLASS 200 PVC PIPE).
- 7. ALL PIPE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE OR LIQUID TEFLON.
- 8. ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS. SPRINKLER AND RELATED EQUIPMENT TO BE INSTALLED AS PER DETAILS. ALL ELECTRICAL JOINTS TO BE MADE USING WATERPROOF CONNECTIONS AS SHOWN ON DETAILS.
- 9. INSTALL ALL PIPING AS FAR FROM TREES AND ROOT BALLS AS POSSIBLE WHILE MAINTAINING THE SPRINKLER AND DRIP TUBE SPACING. ALL CONTROL WIRE SHALL BE OF GAUGE AS NECESSARY TO OPERATE AUTOMATIC VALVES, AND SHOULD BE SIZED ACCORDING TO RUNS.
- 10. NO ROCKS, BOULDER, OR OTHER EXTRANEOUS MATERIALS TO BE USED IN BACKFILLING OF TRENCH.
- 11. ALL ROTORS AND SPRAY POP-UPS SHALL BE INSTALLED ON SWING PIPE OR SWING JOINT ASSEMBLY. ALL SWING PIPE ASSEMBLIES MINIMUM LENGTH TO BE 12" AND MAXIMUM LENGTH TO BE 24".
- 12. ALL REMOTE CONTROL VALVES SHALL BE LOCATED IN VALVE BOXES OF APPROPRIATE SIZE, FLUSH WITH GRADE.
- 13. ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH WATERPROOF WIRE CONNECTIONS AND BE IN VALVE OR SPLICE BOXES. ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE UL APPROVED FOR DIRECT BURY.
- 14. NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR
- 15. CONTRACTOR SHALL PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX (WRAP AROUND 3/4" PIPE 12 TIMES).
- 16. WIRE SHALL BE COLORED CODED; COMMON- WHITE, CONTROL-RED, OR MULTI-STRAND.
- 17. CONTRACTOR SHALL VERIFY THAT ALL MANUFACTURERS' RECOMMENDED GROUND FAULT AND LIGHTNING PROTECTION IS INSTALLED.

18. ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER: TWO WRENCHES FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED. TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLERS.

SCALE: NTS

TWO QUICK COUPLER KEYS WITH MATCHING HOSE SWIVELS.

- 19. ALL ABOVE GROUND WIRING, INSIDE AND OUTSIDE OF BUILDING, SHALL BE INSTALLED IN RIGID METALLIC CONDUIT FOR PROTECTION.
- 20. IRRIGATION PIPE THAT CROSSES UNDER THE CONCRETE OR ASPHALT IN EXCESS OF 4' SHALL BE PLACED IN RIGID SLEEVING 2 TIMES THE PIPE'S OUTSIDE

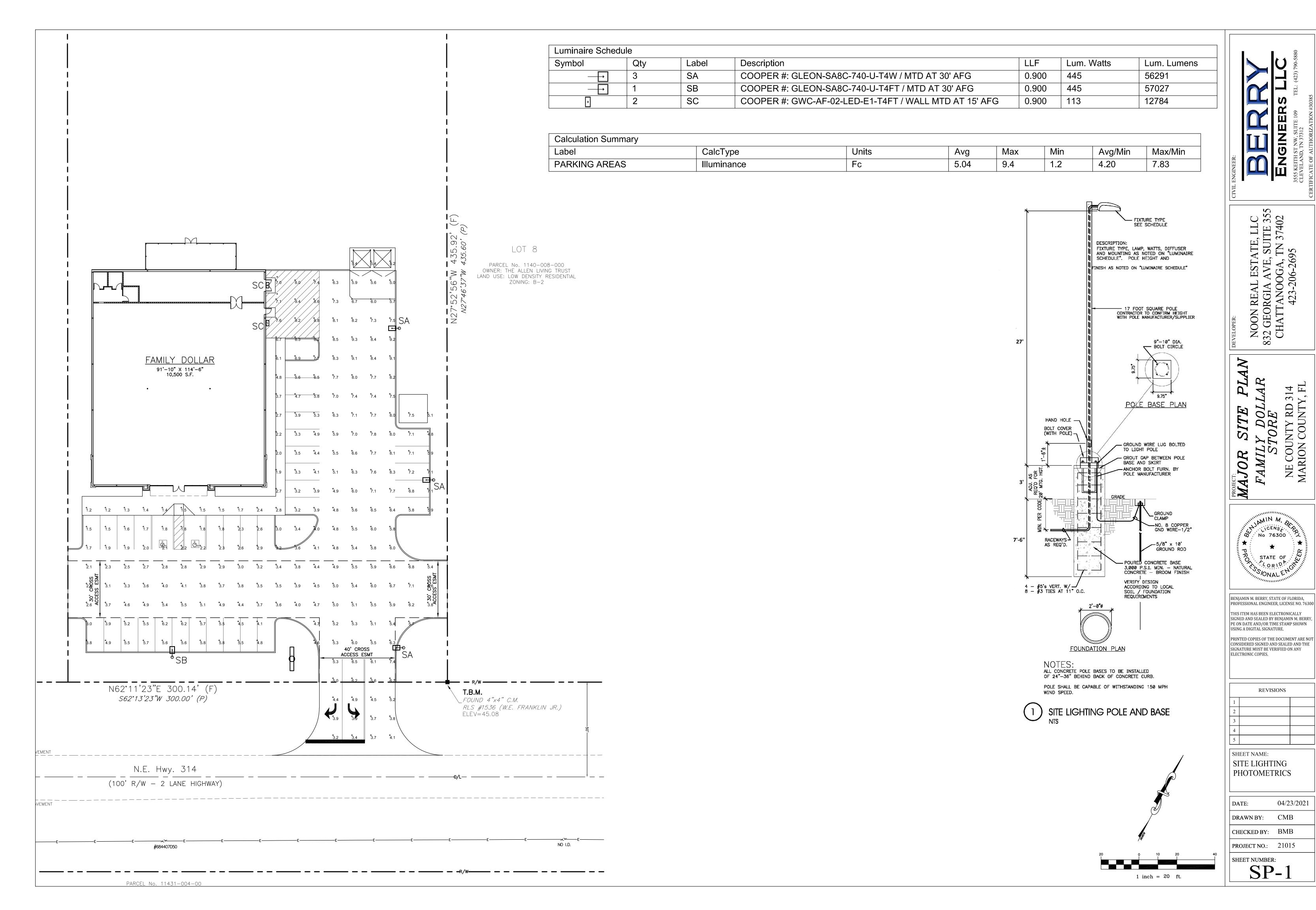
THRUST BLOCK

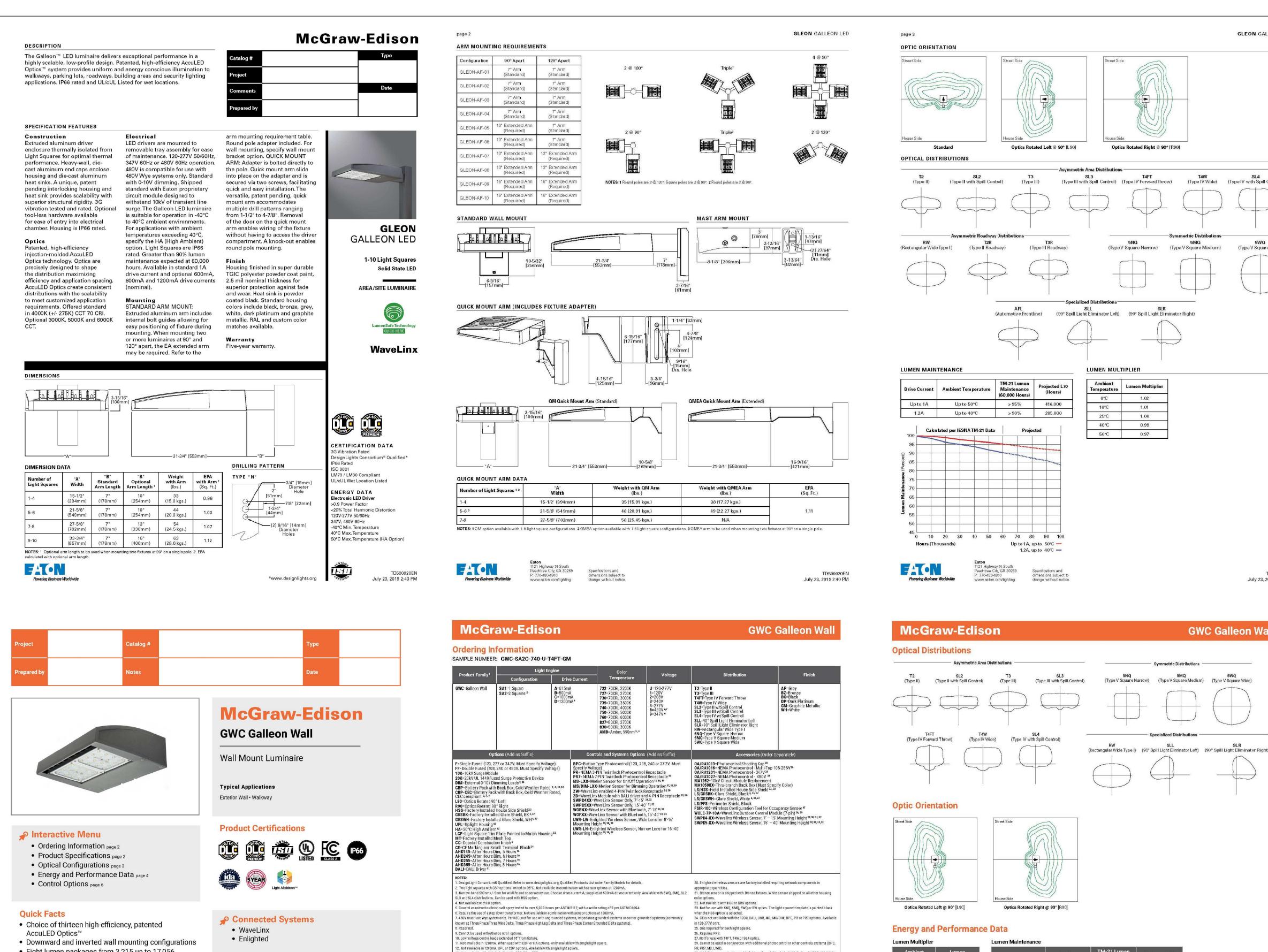
- 21. FLOW PATTERN AND DISTANCE OF SPRAY SHALL BE REGULATED WITH THE USE OF ADJUSTMENT SCREW(S) TO MINIMIZE OVERTHROW ONTO PAVED AREAS, HOWEVER, RADIUS SHALL NOT BE REDUCED MORE THAN MANUFACTURER AVAILABLE RANGE OR ALLOWED TO CAUSE LACK OF COVERAGE.
- 22. CONTRACTOR SHALL INSTALL SPRINKLER EQUIPMENT 12" FROM FOUNDATIONS. ALSO INSTALL SPRINKLERS 4" FROM CURB OR WALKS.
- 23. CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED. I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
- 24. CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTINGS. 25. CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR. ALL SPRINKLERS TO BE MOUNTED ON SWING
- JOINTS REFER TO DETAILS. CONTRACTOR SHALL UTILIZE VALVE I.D. TAGS ON ALL REMOTE CONTROL VALVES.
- 26. CONTRACTOR TO ADD EXTENSION RISER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE (HEAD-TO-HEAD).
- 27. IN-LINE DRIP TUBING TO BE INSTALLED 6" FROM ALL MASONRY WALLS, PLANTER SIDEWALLS, AND CURBING, ON 18" CENTER TO CENTER ROW SPACING. 28. FLUSH ALL LATERAL LINES BEFORE INSTALLING IN-LINE DRIP TUBING OR SPRINKLERS.
- 29. STAKE IN-LINE DRIP TUBING AT MINIMUM 5 FOOT INTERVALS TO PREVENT MOVEMENT.
- 30. IN—LINE DRIP TUBING TO BE INSTALLED 4" BELOW GRADE UNDER MULCH. NO DRIPPER LINE TUBING SHALL BE VISIBLE TO THE NAKED EYE. INSTALL AUTOMATIC FLUSH PORTS AT LOWEST POINT OF PVC EXHAUST HEADER, GENERALLY WHERE SHOWN ON THE DRAWINGS.
- 31. INSTALL AIR VACUUM/RELIEF VALVES AT HIGH POINT OF IN-LINE DRIP TUBING, GENERALLY WHERE SHOWN ON THE DRAWINGS.
- 32. SPRINKLERS FOR TURF SHALL HAVE 6" POP UP HEIGHT. ALL OTHER HEAD HEIGHTS AS REQUIRED FOR EVEN COVERAGE.
- 33. CONTRACTOR SHALL TEST THE PRESSURE BEFORE STARTING THE WORK, REPORT ANY DEVIATION FROM PRESSURE REQUIRED TO OWNER'S REPRESENTATIVE BEFORE CONTINUING.

- 34. INSTALL CONTROLLERS IN MECHANICAL ROOM, OR AS NOTED ON PLANS, AS DIRECTED BY OWNERS REPRESENTATIVE, HARD WIRE TO 120 VOLT DEDICATED 20 AMP CIRCUIT, BUILDING POWER SUPPLY BY USING LICENSED ELECTRICIAN. ROUTE ALL ZONE AND SPARE WIRES TO CONTROLLER VIA CONDUITS.
- 35. INSTALL RAIN SENSORS ON OUTSIDE OF BUILDING WALL WHERE DIRECTED BY OWNERS REPRESENTATIVE OR PER PLAN. USE WIRELESS SYSTEM OR AS SPECIFIED ON PLANS. 36. COORDINATE LOCATION OF ALL EXISTING AND FUTURE UTILITIES ON SITE. CONTACT PROPER AUTHORITIES AND UTILITY COMPANIES BEFORE START OF
- 37. NO ALLOWANCES MADE FOR OBSTRUCTIONS NOT SHOWN ON PLAN. ALL NECESSARY FIELD ADJUSTMENTS TO BE MADE BY THE CONTRACTOR. 38. CHANGES ARE NOT PERMITTED TO THE IRRIGATION PLAN OR MATERIALS WITHOUT CONSENT OF LANDSCAPE ARCHITECT.

DRIP IRRIGATION LAYOUT

- 39. BIDDING CONTRACTORS SHOULD BECOME THOROUGHLY FAMILIAR WITH ALL FACETS OF THE PROPOSED IRRIGATION SYSTEM.
- 40. PRIOR TO BID, IRRIGATION CONTRACTOR SHALL VERIFY RIGHT-OF-WAY AND BACKFLOW REQUIREMENTS NO LATER THAN 5 DAYS BEFORE THE BID SUBMITTALS CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CHANGES FROM PLANS OR SPECIFICATIONS.
- 41. CONTRACTOR MUST SUBMIT SHOP DRAWINGS AS PER THE WRITTEN SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIAL AND BEGINNING WORK. ALL EQUIPMENT NOT SPECIFIED IN THE LEGEND SHALL BE DETERMINED AND FURNISHED BY THE CONTRACTOR.
- 42. ALL MATERIAL SUBSTITUTIONS WHICH VARY FROM THE SPECIFIED PRODUCTS MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL AS PART OF THE SUBMITTAL PROCESS.
- 43. ONCE APPROVED SUBMITTALS HAVE BEEN RETURNED TO THE CONTRACTOR, WORK MAY BEGIN. THE LANDSCAPE ARCHITECT MUST BE NOTIFIED A MINIMUM OF 7-WORKING DAYS IN ADVANCE OF INSTALLATION TO COORDINATE ON-SITE SUPERVISION AND ADMINISTRATION.
- 44. IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER AND THE LANDSCAPE ARCHITECT WITH AS-BUILT DRAWING OF THE INSTALLED IRRIGATION SYSTEM BEFORE FINAL ACCEPTANCE.
- 45. A 1-YEAR WARRANTY PERIOD SHALL BE PROVIDED FOR SYSTEM AFTER SUBSTANTIAL COMPLETION IS ACCEPTED.
- 46. PRIOR TO BID, CONTRACTOR SHALL VERIFY THAT ALL MATERIALS, INSTALLATION PARAMETERS AND OPERATIONS CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/DESIGNER OF ANY CHANGES REQUIRED DUE TO CURRENT CODE OR ORDINANCE DISCREPANCIES. IF CONTRACTOR DOES NOT COMPLY TO THIS NOTIFICATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY INSTALLATION CHANGE AND REDESIGN COST FOR NON-COMPLIANCE.
- 47. IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION ALSO TO BE AS PER LOCAL CODE.
- 48. IRRIGATION CONTRACTOR TO BE RESPONSIBLE FOR FIRST TIME BACKFLOW TESTING AS REQUIRED BY LOCAL MUNICIPALITIES AND/OR LOCAL CODES. 49. ANY DISCREPANCY BETWEEN THIS SHEET AND OTHER IN THIS SET MUST BE REFERRED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE





3. Not available with \$L2, SL3, SL4, HA, CBP, PR or PR7 options.

Includes integral photosens or.

Construction

IP66 rated housing

1.5G vibration rated

Optics technology

13 optical distributions

COOPER
Lighting Solutions

Product Specifications

for optimal thermal performance

• Die-cast aluminum heat sinks

Driver enclosure thermally isolated from optics

Patented, high-efficiency injection-molded AccuLED

IDA Certified (3000K CCT and warmer only)

. Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.

representative at Cooper Lighting Solutions for more information. 18. Replace LXX with L08 (<81 mounting), L20 (8'-20' mounting) or L4 0W (21'-40' mounting.)

4. Operates a single light square only. Operates at -20°C to +40°C. Backbox is non-IP rated. Control option limited to BP

6. Requires the use of BPC photocontrol or the PR7 or PR photocontrol receptable with photocontrol accessory. See After Hours Dim supplemental guide for

Electrical

maintenance

configuration.

• LED driver assembly mounted for ease of

 Suitable for operation in -40C to 40C ambient environments. Optional 50C high ambient (HA)

Gasketed and zinc plated rigid steel mounting

"Hook-N-Lock" mechanism for easy installation

Standard with 0-10V dimming

Optional 10kV or 20kV surge module

17. The FSIR-100 configuration tool is required to adjust parameters such as high and low modes, sensitivity, time delay and cutoff. Consult your lighting

PR, PR7, MS, LWR).

PoE injector) power supply if need ed. 31. Recuires ZW or ZD receptacle.

32. Replace XX with sensor color (WH, BZ, or BK). 33. Specify 120V or 277V.

30. WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to

Housing finished in super durable TGIC polyester

Heat sink is powder coated black

Five-year warranty

· RAL and custom color matches available

Coastal Construction (CC) option available

Lumen Maintenance 1.02 > 416,000 Up to 50°C > 95% Up to 1A 1.01 1.2A > 90% > 205,000 Up to 40°C 1.00 0.99 Calculated per IESNA TM-21 Data 0.97 Hours (Thousands) Up to 1A, up to 50°C -1.2A, up to 40°C -

GLEON GALLEON LED

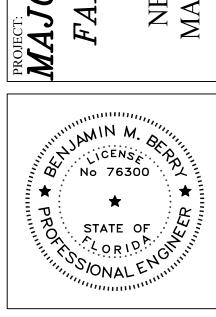
July 23, 201 9 2:40 PM

GWC Galleon Wa

1 inch = 20 ft.

STATE, LLC VE, SUITE 355 3A, TN 37402 -2695 NOON REAL I 332 GEORGIA A CHATTANOO

OR



BENJAMIN M. BERRY, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 7630 THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY BENJAMIN M. BERRY, PE ON DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THE DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS

SHEET NAME: SITE LIGHTING DETAILS

DATE:

CMB DRAWN BY: | CHECKED BY: BMB | PROJECT NO.: 21015

04/23/2021

SHEET NUMBER:

0°C

10°C

25°C

40°C

50°C

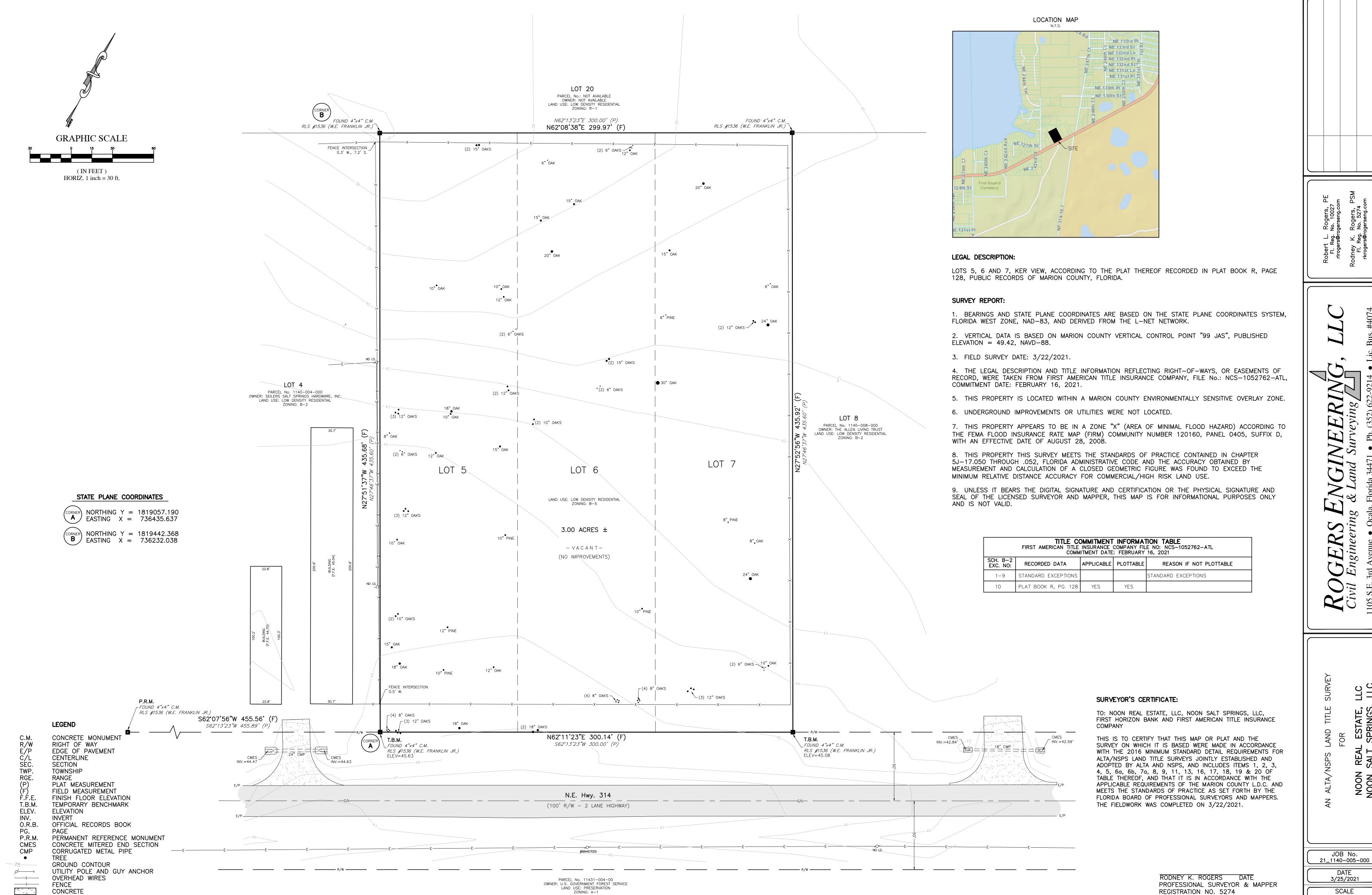
• Eight lumen packages from 3,215 up to 17,056

• Efficacies up to 154 lumens per watt

Dimensional Details

O COOPER

—— 15-11/16" [400mm]



CONCRETE ASPHALT

~8.

SCALE 1" = 30'

SHEET 1 OF 1

REGISTRATION NO. 5274

STATE OF FLORIDA